

ORDINANCE NO. F- 1165

**AN ORDINANCE GRANTING A SIDE YARD VARIATION
FOR NEW SINGLE FAMILY RESIDENCE AND DETACHED GARAGE ON A
CERTAIN PIECE OF PROPERTY COMMONLY KNOWN AS 1600 EAST LIBERTY
DRIVE-WALLING/WELLTHOT HOMES AND DEVELOPMENT, LLC**

WHEREAS, written application has been made requesting a variation from the provisions of Article 10.2.5 of the Wheaton Zoning Ordinance to allow for the construction of a new single-family residence and a detached garage with a side yard setback abutting Liberty Drive of 25 feet in lieu of the required 30.14 feet on certain property legally described herein and commonly known as 1600 East Liberty Drive, Wheaton, Illinois; and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board ("Board") on April 11, 2006, to consider the variation request; and the Board has recommended approval of the zoning variation, pursuant to certain conditions and requirements.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: Pursuant to the Findings of Fact determined by the Board, the existing single family residence on the subject property may be demolished and a new single family residence and detached garage may be constructed thereon pursuant to the plans entitled, "Custom Home for Welthot Homes LLC, prepared by SG Architects, Sheets 1-5 dated September 26, 2005 and revised January 23, 2006, and the Plat of Survey with Topography dated May 9, 2005, prepared by Lambert and Associates", and a variation from the requirements of Article 10.2.5 of the Wheaton Zoning Ordinance is granted to permit the new improvements to have a side yard setback abutting Liberty Drive of 25 feet in lieu of the required 30.14 feet on the following-described property:

PARCEL 1: LOT 18, EXCEPTING THAT PART OF LOT 18 DESCRIBED BY BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 18; THENCE WESTERLY ON THE SOUTH LINE OF SAID LOT 18, 78.515 FEET MORE OR LESS TO THE MIDPOINT OF THE SOUTH LINE OF SAID LOT; THENCE EASTERLY TO A POINT ON THE EAST LINE OF SAID LOT 18, SAID POINT BEING 3.00 FEET NORTH OF THE POINT OF BEGINNING; THENCE SOUTH 3.00 FEET TO THE POINT OF BEGINNING, ALL IN BLOCK 10 IN ARTHUR T. MCINTOSH AND COMPANY'S LORRAINE ROAD SUBDIVISION, IN THE SOUTH HALF OF SECTION 15, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 6, 1926 AS DOCUMENT #202765 AND CERTIFICATE OF CORRECTION RECORDED OCTOBER 29, 1927 AS DOCUMENT #245767, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2: THAT PART OF LOT 17 DESCRIBED BY BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 17; THENCE EASTERLY ON THE NORTH LINE OF SAID LOT 17, 78.515 FEET MORE OR LESS TO THE MIDPOINT OF THE NORTH LINE OF SAID LOT; THENCE WESTERLY TO A POINT ON THE WEST LINE OF SAID LOT 17, SAID POINT BEING 3.00 FEET SOUTH OF THE POINT OF BEGINNING; THENCE NORTH 3.00 FEET TO THE POINT OF BEGINNING; ALL IN BLOCK 10 IN ARTHUR T. MCINTOSH AND COMPANY'S LORRAINE ROAD SUBDIVISION, IN THE SOUTH HALF OF SECTION 15, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 6, 1926 AS DOCUMENT #202765, AND CERTIFICATE OF CORRECTION RECORDED OCTOBER 29, 1927 AS DOCUMENT #245767, IN DUPAGE COUNTY, ILLINOIS
P.I.N. 05-15-314-001

This property is commonly known as 1600 East Liberty Drive, Wheaton, IL 60187 (subject property").


Section 2: It shall be a condition precedent to the effectiveness of the variation granted pursuant to Section 1 of this ordinance that the improvements constructed on the subject property shall fully comply with the following conditions, restrictions and requirements:

1. The height of the new single family residence shall not exceed 30 feet; and
2. The proposed north window bay of the residence shall not extend more than 2 feet into the 25 foot Liberty Drive setback

Section 3: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 4: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.

ATTEST:



City Clerk



Mayor

Roll Call Vote

Ayes: Councilwoman Corry
Councilman Johnson
Mayor Carr
Councilman Seuss

Councilman Bolds

Nays: None

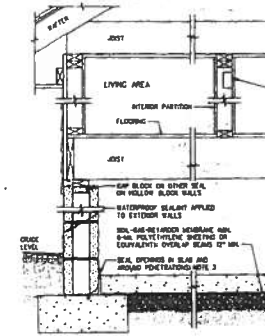
**Absent: Councilman Levine
Councilman Mouhelis**

Motion Carried Unanimously

**Passed: May 1, 2006
Published: May 2, 2006**

PASSIVE SUB-SLAB DEPRESSURIZATION RADON CONTROL SYSTEM FOR NEW CONSTRUCTION

- NOTES:**
1. ALL CONCRETE SLABS THAT COME IN CONTACT WITH THE GROUND SHALL BE LAID OVER A GAS PERMEABLE MATERIAL MADE UP OF EITHER A 3/8" OR 1/2" THICK LAYER OF CLEAN GRANULAR SOIL OR A 3/8" OR 1/2" THICK LAYER OF CLEAN GRANULAR SOIL OR A 3/8" OR 1/2" THICK LAYER OF CLEAN GRANULAR SOIL OR A 3/8" OR 1/2" THICK LAYER OF CLEAN GRANULAR SOIL.
 2. ALL CONCRETE FLOOR SLABS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH LOCAL BUILDING CODES, NATIONAL RESEARCH COUNCIL ON BUILT ENVIRONMENT PUBLICATION, NUMBER 18, "DESIGN AND CONSTRUCTION OF POST-TENSIONED SLABS ON GRADE".
 3. ALL OPENING CAPS AND JOINTS IN FLOOR AND WALL ASSEMBLIES IN CONTACT WITH GAS PERMEABLE MATERIAL SHALL BE SEALED WITH AN AMERICAN CONCRETE INSTITUTE PUBLICATION, NUMBER 18, "DESIGN AND CONSTRUCTION OF POST-TENSIONED SLABS ON GRADE".
 4. WHEN APPLICABLE, ALL JOINTS IN FLOOR AND WALL ASSEMBLIES IN CONTACT WITH GAS PERMEABLE MATERIAL SHALL BE SEALED WITH AN AMERICAN CONCRETE INSTITUTE PUBLICATION, NUMBER 18, "DESIGN AND CONSTRUCTION OF POST-TENSIONED SLABS ON GRADE".
 5. CIRCUITS SHOULD BE A MINIMUM 4 AMP 120 VOLT.



ROOFING PREPARATION NOTES

1. ALL ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
2. ALL ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
3. ALL ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
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GENERAL NOTES

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DESIGN CRITERIA

FLOOR	+ 400 LL 10# DL	ALL AREAS EXCEPT SLEEPING
FLOOR	+ 500 LL 10# DL	SLEEPING AREAS
WALL	+ 600 PLF OF ACTUAL LOAD	
CEILING	+ 200 LL 10# DL	ROOF SLOPES OVER 3 IN 12
CEILING	+ 100 LL 5# DL	ROOF SLOPES 3 IN 12 OR LESS
ROOF	+ 300 LL 10# DL	ALL SLOPES
CATHEDRAL	+ 400 LL 15# DL	ALL SLOPES
EXT DECK	+ 400 LL 10# DL	
BALCONY	+ 600 LL 10# DL	EXTERIOR

FRAMING LUMBER

FLOOR JOISTS, CEILING JOISTS, RAFTERS, HEADERS AND BEAMS	
GRADE #2 SPECIES	MEM-PIN (DOMESTIC) OR CANADIAN
PRESSURE TREATED	YES OR (X)
GRADE #2 SPECIES	3-2 (DOMESTIC) OR CANADIAN
PRESSURE TREATED	YES OR (X)

SOUTHERN PINE FRAMING LUMBER

GRADE	
PRESSURE TREATED	YES OR NO

ENGINEERED WOOD PRODUCT

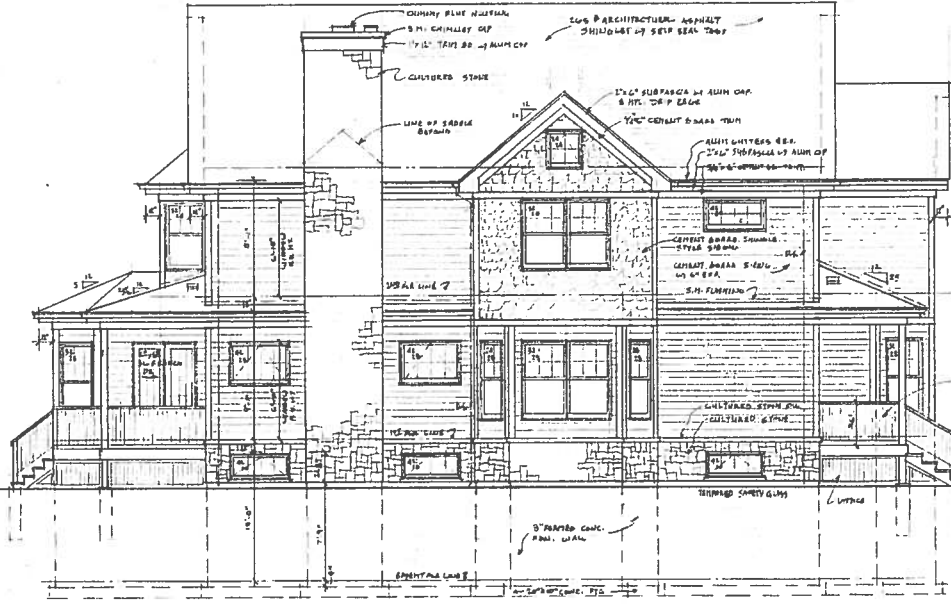
BEAMS & GIRDERS	
MANUFACTURE	TRUSS JOIST MANUFACTURE
PRODUCT TYPE	LVL
SIZE	9-1/4" 11-1/4" 11-7/8" 16" BASE FIB 2000 1" 1.0
PRESSURE TREATED	YES OR (X)

ENGINEERED WOOD PRODUCT

MANUFACTURE	NAME	SERIES #	SIZE
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REVISIONS

NO.	DATE	BY
13	1/14/04	J.C.



LEFT SIDE ELEVATION
Scale: 1/8" = 1'-0"



FRONT ELEVATION
Scale: 1/8" = 1'-0"

2950/968

DATE: 2/28/04
DRAWN: J.C.K.
JOB: 13509
SHEET: 1

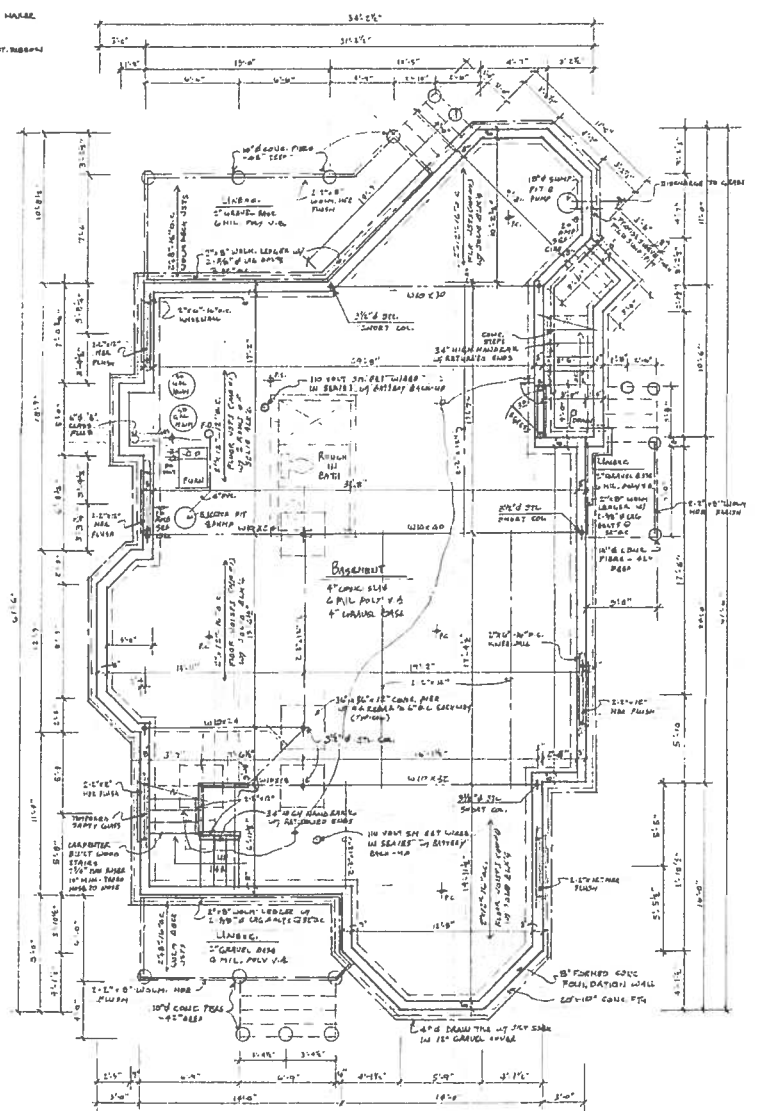
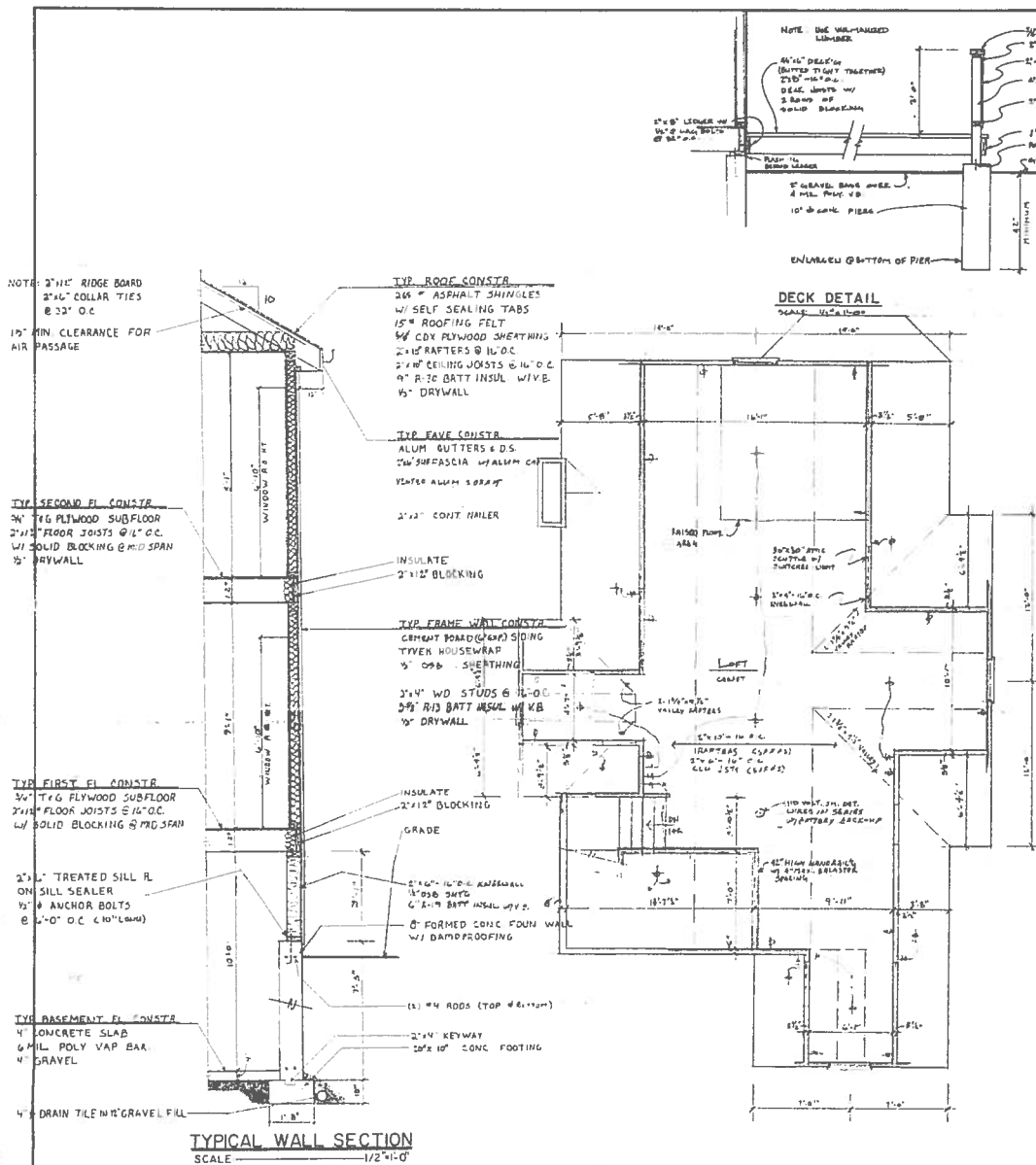
EXHIBIT ARCHIVED
STATE OF ALABAMA
SIGNED: J.C.K.
DATE: 2/28/04

NOTE: BUILDING DEPARTMENT
SIGNED: J.C.K.
DATE: 2/28/04

S.C. ARCHITECTS INC.
1100 NORTH AVENUE, SUITE 200, LOMBARD, IL 60148
(630) 666-6033 FAX: (630) 662-3934

EXQUISITE HOME SERVICES INC.
14 W. WILLOW ST., LOMBARD, IL 60148
(630) 666-6033 FAX: (630) 662-3934

EXQUISITE HOME SERVICES INC.
206 East Madison Ave., Lombard, IL 60148
(630) 666-6033 FAX: (630) 662-3934



Attic Floor Plans
SCALE: 1/4"=1'-0"

Basement & Foundation Plan
SCALE: 1/4"=1'-0"

NOTICE TO THE PUBLIC
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LICENSED ARCHITECT
S&S ARCHITECTS, INC.
STATE OF ILLINOIS

NOTE: BUILDING DEPARTMENT
REQUIREMENTS FOR PERMITS
1. ALL PERMITS MUST BE OBTAINED BEFORE CONSTRUCTION BEGINS.
2. ALL PERMITS MUST BE MAINTAINED THROUGHOUT THE PROJECT.
3. ALL PERMITS MUST BE CANCELLED UPON COMPLETION OF THE PROJECT.

DATE: 06/20/17
SCALE: AS SHOWN
DRAWN: J.C.
JOB: 156-15
SHEET: 3

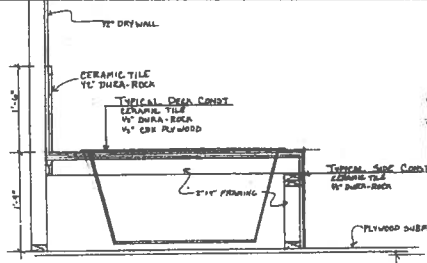
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1	JCB
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ARCHITECTS-PLANNERS

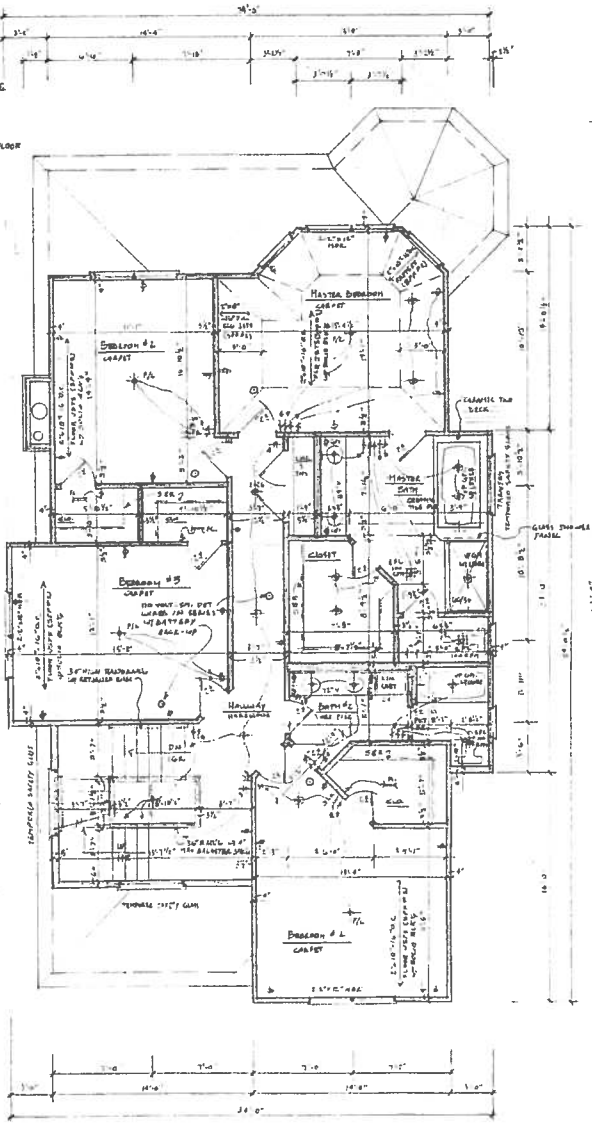
"Designed to Fit Your Lifestyle"
EXQUISITE HOME SERVICES, INC.
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Lombard, IL 60148
OFF: (630) 988-1750 FAX: (630) 988-1506

"Custom Homes for Wealthier Homeowners & Developers, LLC."
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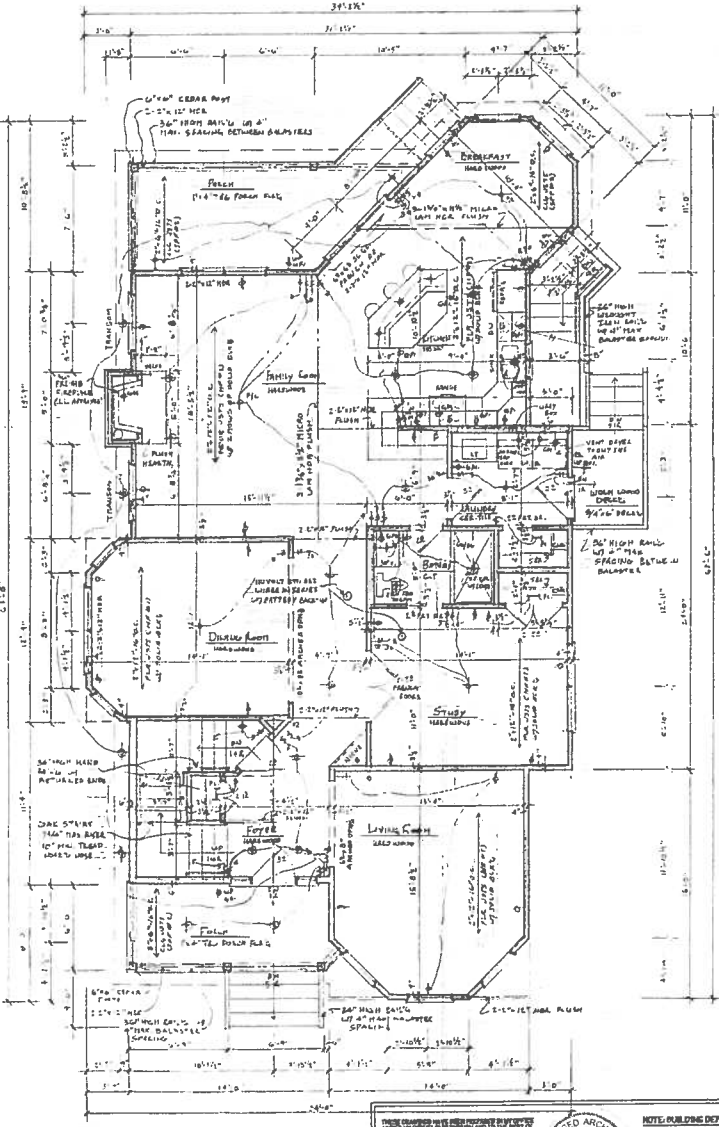
REVISIONS	BY
25/04/06	JK



WHIRLPOOL TUB DECK DETAIL
SCALE: 1"=1'-0"



0 SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"



0 FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"

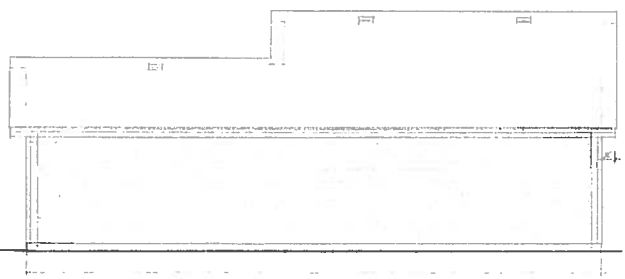
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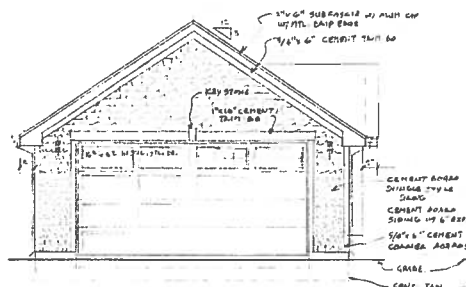
NOTE: BUILDING DEPARTMENT
REQUIREMENTS FOR PERMITS
MAY VARY BY JURISDICTION.
S.G. ARCHITECTS, INC.
1400 W. WASHINGTON AVE.
WILSON, ILL. 60117
TEL: (630) 600-4637 FAX: (630) 463-3924

Designed by *Fit Your Lifestyle™*
EXQUISITE HOME SERVICES INC.
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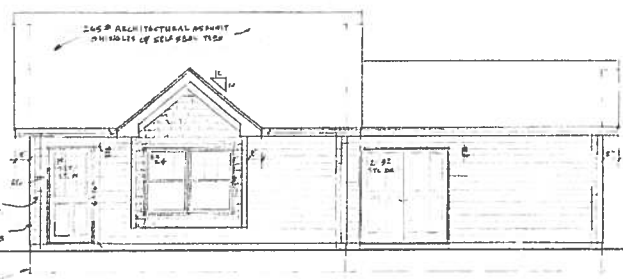
Date: 04/23/06
Scale: AS NOTED
Drawn: JK
Job: 10520
Sheet: 4
Of: 5



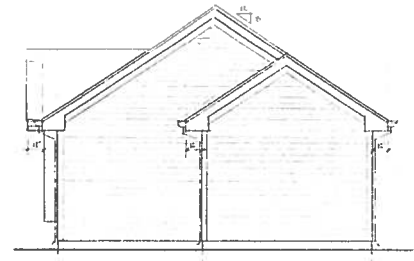
LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



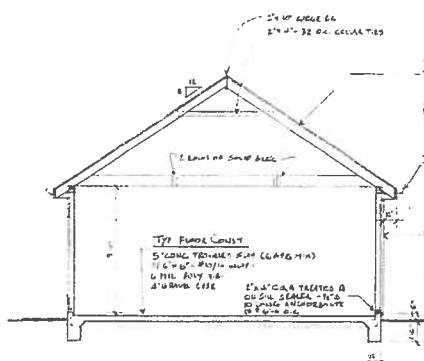
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

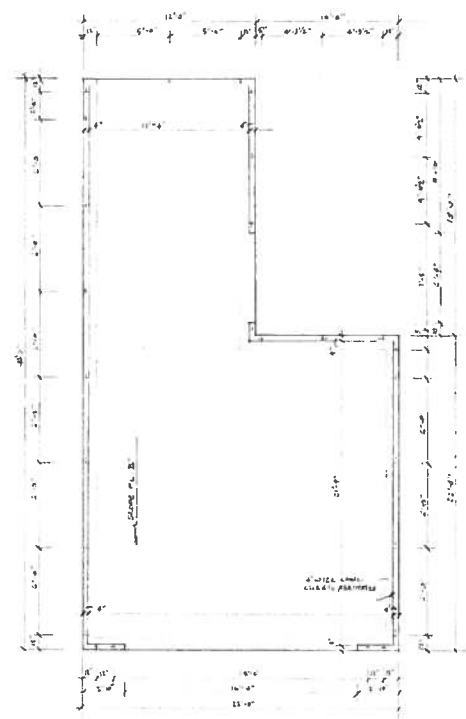


TYPICAL WALL SECTION
SCALE: 1/4" = 1'-0"

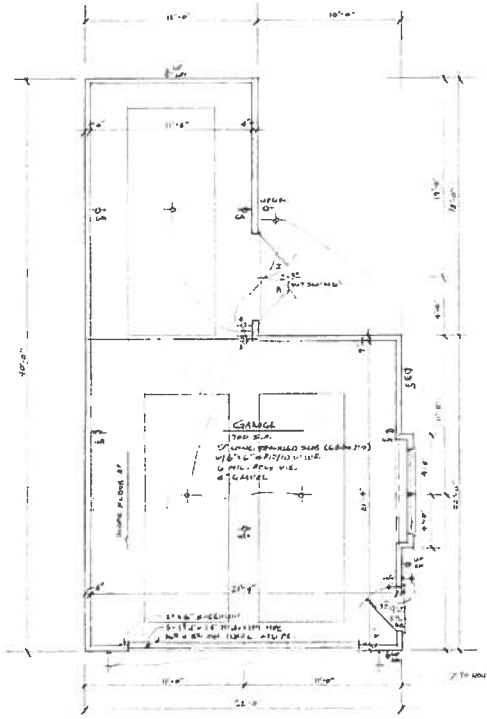
TYP. ROOF CEILING
 2x8 @ 16" O.C. RAFTERS
 1/2" GYP. BOARD
 1" AIR SPACE
 1/2" GYP. BOARD
 1" AIR SPACE
 1/2" GYP. BOARD
 1" AIR SPACE
 1/2" GYP. BOARD

TYP. RAFTER CEILING
 2x8 @ 16" O.C. RAFTERS
 1/2" GYP. BOARD
 1" AIR SPACE
 1/2" GYP. BOARD
 1" AIR SPACE
 1/2" GYP. BOARD

TYP. FRAME WALL CEILING
 2x8 @ 16" O.C. RAFTERS
 1/2" GYP. BOARD
 1" AIR SPACE
 1/2" GYP. BOARD
 1" AIR SPACE
 1/2" GYP. BOARD



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



GARAGE FLOOR PLAN
SCALE: 1/4" = 1'-0"

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NOTICE TO ARCHITECTS DEPARTMENT

DATE: 10/17/07
 SCALE: A3 1/4" = 1'-0"
 DRAWN: JLC
 JOB: 15500
 SHEET: 5

REVISIONS	BY
1	JLC
2	JLC

S.G. ARCHITECTS INC.
 THE ARCHITECTS OF HOME SERVICES INC.
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 ARCHITECTS-PLANNERS

EXQUISITE HOME SERVICES INC.
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 (630) 666-6633 cell, (630) 462-3724 fax.

DATE: 10/17/07
 SCALE: A3 1/4" = 1'-0"
 DRAWN: JLC
 JOB: 15500
 SHEET: 5

