

**ORDINANCE NO. F-1147**

**AN ORDINANCE GRANTING A FRONT YARD SETBACK VARIATION ON PROPERTY COMMONLY KNOWN AS 1727 STODDARD AVENUE/FERRARI**

**WHEREAS**, written application has been made requesting a variation from the provisions of the Wheaton Zoning Ordinance to allow a front yard setback of forty (40) feet in lieu of the required fifty-two point five (52.5) feet in order to construct a new single family home on the property commonly known as 1727 Stoddard Avenue, Wheaton, IL ("subject property") after the existing home on the subject property is demolished; and

**WHEREAS**, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on March 14, 2006 to consider the variation request; and the Board recommended approval of the setback variation.

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

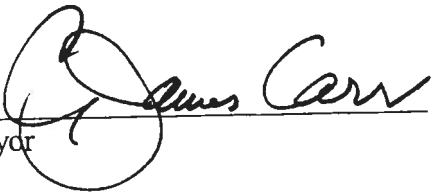
**Section 1:** Pursuant to the Findings of Fact made and determined by the Wheaton Planning and Zoning Board, a front yard setback of forty (40) feet is granted in full compliance with the plans entitled "*Site Grading Plan*," prepared by *Dave Johnson and Associates, Ltd., Wheaton, dated February 6, 2006* and "*Ferrari Residence*," prepared by *Krupp Associates Architects, P.C., Wheaton, sheets 2, 3, 5 and 6, dated January 18, 2006* to allow construction of a single family home on the following-described real estate, after demolition of the existing home:

LOT 16 IN BLOCK 5 IN ARTHUR T. MCINTOSH AND COMPANY'S WHEATON FARMS, BEING A SUBDIVISION OF PART OF THE NORTHWEST ¼ OF SECTION 10, AND PART OF THE SOUTHWEST ¼ OF THE SOUTHWEST ¼ OF SECTIONS 3 AND 10, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 10, 1924 AS DOCUMENT 175034 IN DUPAGE COUNTY, ILLINOIS.  
P.I.N. 05-10-107-017

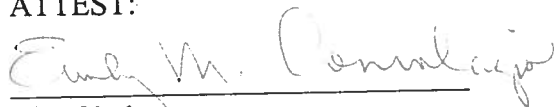
This property is commonly known as 1727 Stoddard Avenue, Wheaton, IL 60187.

**Section 2:** Demolition of the existing home on the subject property may proceed and all ordinances or parts of ordinances in conflict with these provisions are repealed.

**Section 3:** This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.

  
Mayor

ATTEST:

  
City Clerk

Roll Call Vote:

Ayes: Councilman Mouhelis  
Councilman Seuss  
Councilman Bolds  
Councilwoman Corry  
Mayor Carr  
Councilman Levine

Nays: None

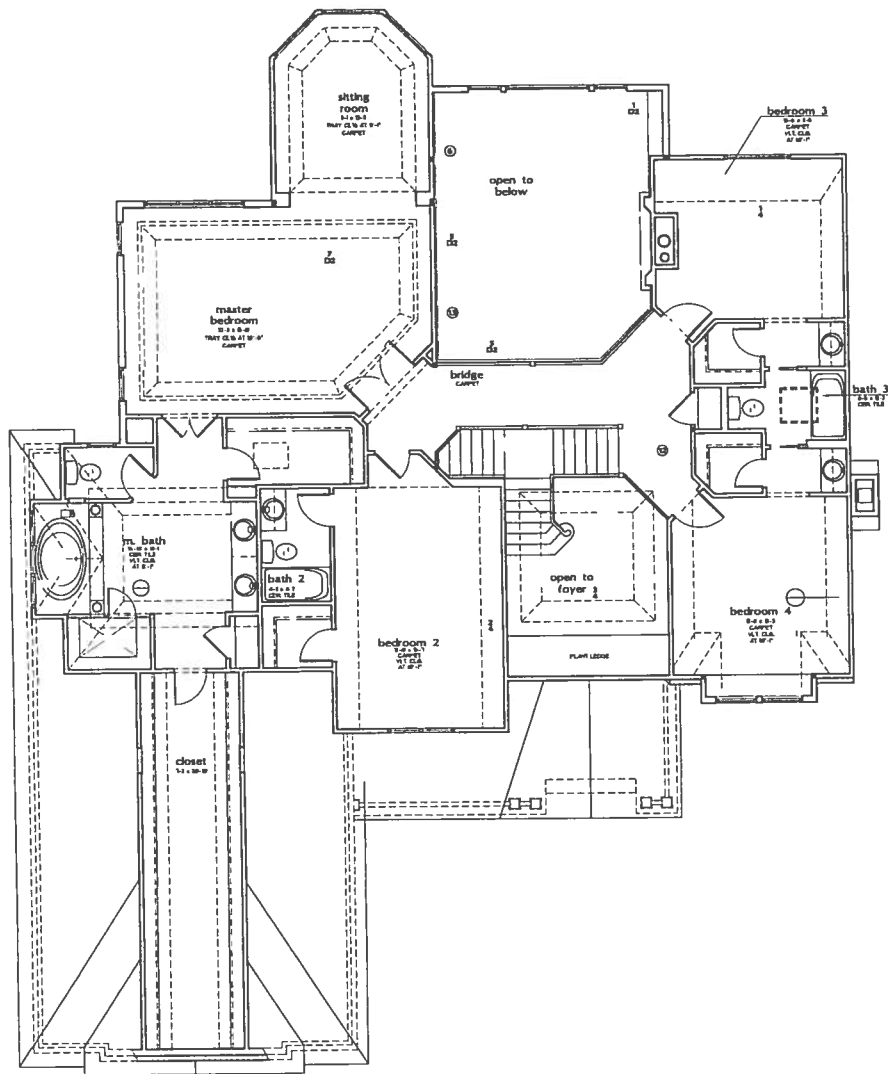
Absent: Councilman Johnson

Motion Carried Unanimously

Passed: April 3, 2006  
Published: April 4, 2006







ceiling joist schedule		
JOIST	SPAN	TYPE

NO.	DATE	DESCRIPTION

Krupp Associates Architects, P.C.  
 615 West Forest Street  
 Wheaton, Illinois 60187  
 630-944-1244

Ferrari Residence  
 1727 Stoddard - Wheaton, IL

second floor plan  
 1999.73 square feet

	CAK/BBB
	2/20/04
	01/18/2006
	10' x 11' 0"
	2504

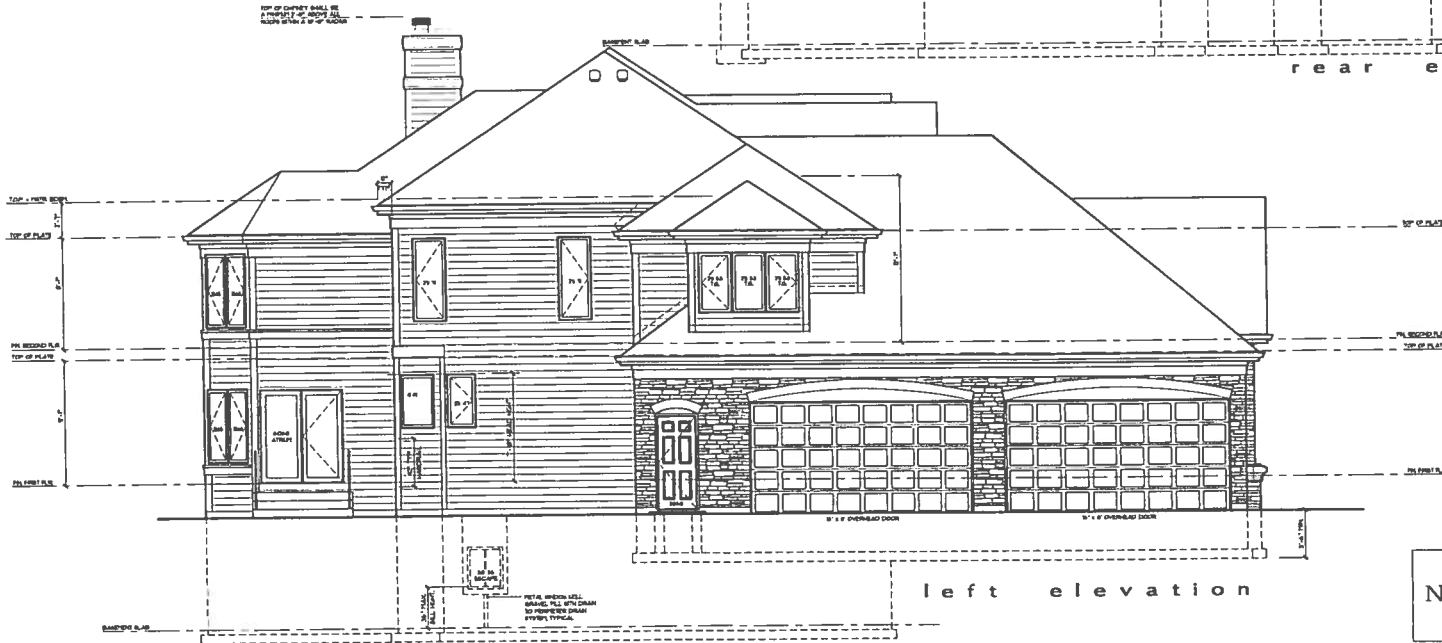
PRELIMINARY SET  
 NOT FOR CONSTRUCTION  
 JAN. 18, 2006

3





rear elevation



left elevation

Revisions by	
Project Name	1812, 1727
<small>           ARCHITECTS ASSOCIATES ARCHITECTS, P.C.            815 North Street            Wheaton, Illinois 60187         </small>	

Krupp Associates Architects, P.C.  
 815 North Street  
 Wheaton, Illinois 60187

Ferrari Residence  
 Stoddard - Wheaton, IL  
 1727

exterior  
 elevations

Drawn	CAK/SUB
Scale	1/8" = 1'-0"
Date	01/18/2006
Sheet	04 of 07
Project	1727
Sheet No.	6

PRELIMINARY SET  
 NOT FOR CONSTRUCTION  
 JAN. 18, 2006

# Associated Surveying Group, P.C.

Illinois Prof. Design Firm No. 184-003013

P.O. Box 810

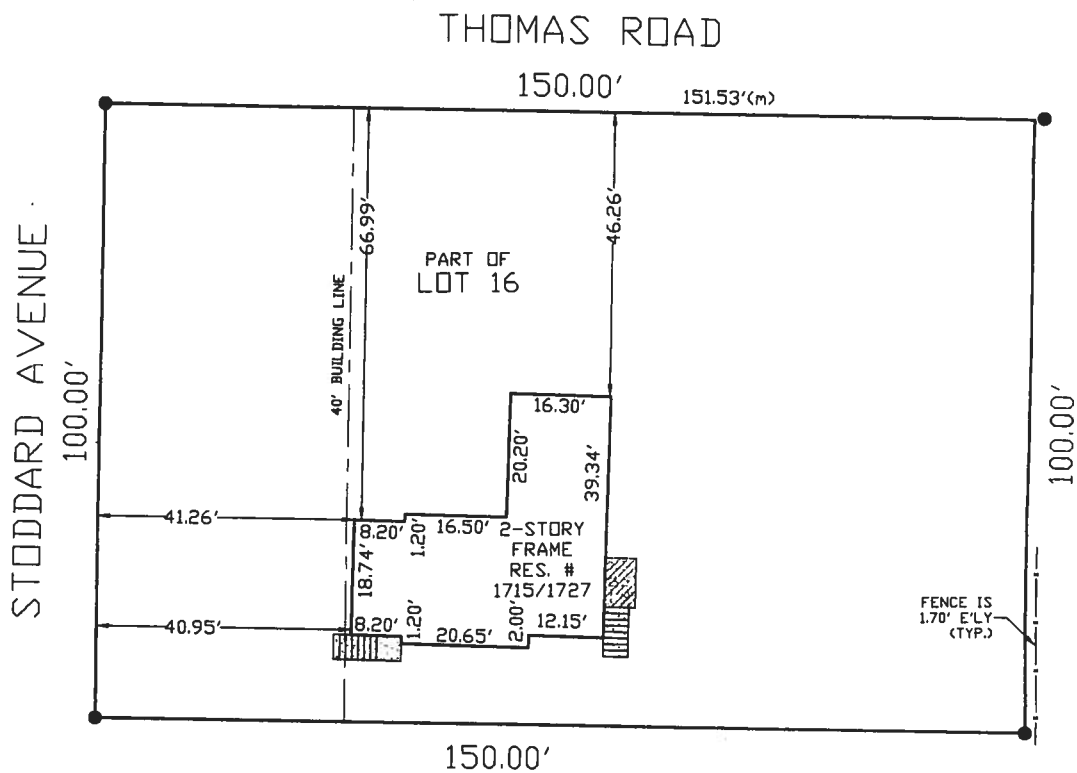
Bolingbrook, IL 60440

PH: 630-759-0205

FAX: 630-759-9291

## PLAT OF SURVEY

THE WEST 1/2 OF LOT 16 IN BLOCK 5 IN ARTHUR T. MCINTOSH AND COMPANY'S WHEATON FARMS BEING A SUBDIVISION OF PART OF THE NORTHWEST 1/4 OF SECTION 10, AND PART OF THE SOUTHWEST 1/4 OF SECTIONS 3 AND 10, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 10, 1924 AS DOCUMENT 175034 IN DUPAGE COUNTY, ILLINOIS.



State of Illinois }  
County of Will } SS

I, Michael G. Herwy, an Illinois Professional Land Surveyor, do hereby certify that "This professional service conforms to the current Illinois minimum standards for a boundary survey", and that the Plat hereon drawn is a correct representation of said survey.

Dated, this 28<sup>th</sup> day of JUNE, A.D., 2005,

FIELDWORK DATE: JUNE 15, 2005

*Michael G. Herwy*  
Illinois Professional Land Surveyor No. 35-007900  
License Expires: November 30, 2006

CLIENT: SLADKOV  
60448-05

JOB NO:

- NOTES:
1. COMPARE THE LEGAL DESCRIPTION ON THIS PLAT WITH YOUR DEED, ABSTRACT, OR CERTIFICATE OF TITLE; ALSO, COMPARE ALL FIELD MEASURED LOT CORNERS & BUILDING TIES WITH THIS PLAT BEFORE CONSTRUCTION AND REPORT ANY DIFFERENCE AT ONCE.
  2. BUILDING LINES AND EASEMENTS ARE SHOWN ONLY WHERE THEY ARE SO DEPICTED ON THE RECORDED SUBDIVISION PLAT. REFER TO YOUR DEED, ABSTRACT, OR CERTIFICATE OF TITLE FOR ADDITIONAL ENCUMBRANCES.
  3. MEASURED LOT DIMENSIONS ARE SHOWN ONLY WHEN THEY DIFFER FROM RECORD DIMENSIONS BY 0.18 FEET OR MORE.
  4. CURVED LINES DEVOTED WITH ARC LENGTHS UNLESS OTHERWISE NOTED. ALSO, ALL ARCS ARE TANGENT.

**LEGEND:**

	ASPHALT		CONCRETE
	WOOD		BRICK
	SET		IRON PIPE
	IRON PIPE		CROSS
	PIPE		REBAR/ROD
	CHAIN LINK FENCE		NOTCH
	WOOD FENCE		ALL OTHER FENCE TYPES

**ABBREVIATIONS:**

A = ARC LENGTH	N'LY = NORTHERLY
R = RADIUS	S'LY = SOUTHERLY
CH = CHORD LENGTH	E'LY = EASTERLY
(r) = RECORD VALUE	W'LY = WESTERLY
(m) = MEASURED VALUE	TYP = TYPICAL
P.U.D. = PUBLIC UTILITY & DRAINAGE EASEMENT	