

RESOLUTION R-08-06

A RESOLUTION APPROVING THE FINAL PLAT OF RESUBDIVISION
FOR 1044 GOLF LANE

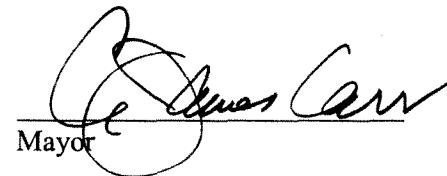
WHEREAS, the Final Plat of Subdivision for 1044 Golf Lane has been submitted to and reviewed by the Wheaton City staff (the property is described on Exhibit "A" attached to this resolution); and the Wheaton City staff has recommended that the Final Plat of Subdivision be approved subject to the following conditions.

1. Variances are hereby granted to the following sections of the Wheaton City Code to waive construction of certain public improvements to adjacent City streets: Section 62-178, pavement width; Section 62-286, street lighting; and, Section 62-290, pavement edging (curb and gutter).
2. The owner shall pay to the City an amount as determined by the Director of Engineering for the cash equivalent of the cost to construct public sidewalk along the entire frontage of the subdivision in lieu of constructing said public sidewalk, as per Section 58-74(a) of the Wheaton City Code. Said payment shall be made prior to recording of the final plat with the DuPage County Recorder's Office.

NOW, THEREFORE, be it resolved by the Mayor and City Council of the City of Wheaton, Illinois that the Final Plat of Subdivision for 1044 Golf Lane prepared by Warren D. Johnson, an Illinois professional land surveyor, dated November 20, 2005 is hereby approved.

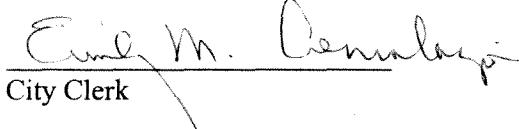
IT IS FURTHER RESOLVED that the Mayor is authorized to sign the approval form and the City Clerk is authorized and directed to attest to the signature of the Mayor and attach a certified copy of the resolution to the Final Plat of Subdivision of 1044 Golf Lane, dated November 20, 2005.

ADOPTED this 6th day of February, 2006.



Mayor

ATTEST:



Emily M. Dennerley
City ClerkRoll Call Vote

Ayes:	Councilman Seuss Councilman Bolds Councilwoman Corry Mayor Carr Councilman Levine Councilman Mouhelis
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Nays:	None
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Absent:	Councilman Johnson
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Motion Carried Unanimously

EXHIBIT "A"

1044 Golf Lane Subdivision

Legal Description:

PART OF LOT 25 IN COUNTY CLERK'S ASSESSMENT DIVISION OF THAT PART OF EAST HALF OF SECTION 20, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN LYING WEST OF WARRENVILLE ROAD AND NORTH OF THE CENTER LINE OF UNION DRAINAGE DITCH NO. 1, DESCRIBED AS BEGINNING AT THE POINT OF INTERSECTION OF THE NORTH LINE OF ELM STREET WITH THE WEST LINE OF GOLF LANE, BOTH LINES BEING AS LAID OUT AND DEDICATED BY THE PLAT OF SNYDER SUBDIVISION UNIT NO. 1, AND RUNNING THENCE WEST ALONG SAID NORTH LINE OF ELM STREET 167.9 FEET THENCE NORTH 0 DEGREES 48 MINUTES EAST ALONG AN EXTENSION OF THE WEST LINE OF LOT 1 IN SAID SUBDIVISION FOR A DISTANCE OF 196.1 FEET; THENCE EAST PARALLEL WITH SAID NORTH LINE OF ELM STREET 205.6 FEET TO SAID WESTERLY LINE OF GOLF LANE; THENCE SOUTH 11 DEGREES 41 MINUTES WEST ALONG SAID WESTERLY LINE OF GOLF LANE 200.0 FEET TO THE PLACE OF BEGINNING, DUPAGE COUNTY, ILLINOIS.

PIN 05-20-216-007