

ORDINANCE NO. O-2025-35

AN ORDINANCE GRANTING A FRONT YARD SETBACK VARIATION TO ALLOW THE CONSTRUCTION AND USE OF AN ADDITION, ON A CERTAIN PIECE OF PROPERTY COMMONLY KNOWN AS 337 E. PRAIRIE AVENUE - NUSSBAUM

WHEREAS, written application has been made requesting a variation to Article 9.2.5 of the Wheaton Zoning Ordinance to allow the construction and use of a one-story addition on the west side of the existing home with a front yard setback of 114.87 feet in lieu of the required 155.0 feet, all on property commonly known as 337 E. Prairie Avenue; and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on July 8, 2025, to consider the variation; and the Planning and Zoning Board has recommended approval of the variation.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: The following described property has been and continues to be zoned and classified in the R-3 Residential District zoning classification:

LOT 1 IN LEXINGTON LANE SUBDIVISION OF PART OF THE SOUTH ½ OF SECTION 9, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 23, 1962, AS DOCUMENT NO. R62-15822 IN DUPAGE COUNTY, ILLINOIS.

P.I.N.: 05-09-405-008

The subject property is commonly known as 337 E. Prairie Avenue, Wheaton, IL 60187.

Section 2: Pursuant to the Findings of Fact made and determined by the Wheaton Planning and Zoning Board, a variation to Article 9.2.5 of the Wheaton Zoning Ordinance to allow the construction and use of a one-story addition on the west side of the existing home with a front yard setback of 114.87 feet in lieu of the required 155.0 feet is hereby approved, in full compliance with the following plans: "Preliminary Engineering Plans for: Nussbaum Residence, 337 E. Prairie Avenue, Wheaton IL", prepared by ERA, Warrenville, IL, dated April 1, 2025, sheets C-1.0, C-2.0, and C-3.0, and "Building Plan for: Nussbaum Residence, 337 E. Prairie Avenue, Wheaton IL", prepared by Architects By Design, Clarendon Hills, IL, dated May 5, 2025, sheets 1-4; subject to the condition that the preliminary engineering plan shall be subject to further staff review prior to the issuance of a site development permit.

Section 3: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 4: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.

Mayor



ATTEST:



City Clerk

Ayes:

Roll Call Vote:

Councilman Weller
Councilwoman Bray-Parker
Councilwoman Brice
Councilman Brown
Mayor Suess
Councilman Clousing
Councilwoman Robbins

Nays:

None

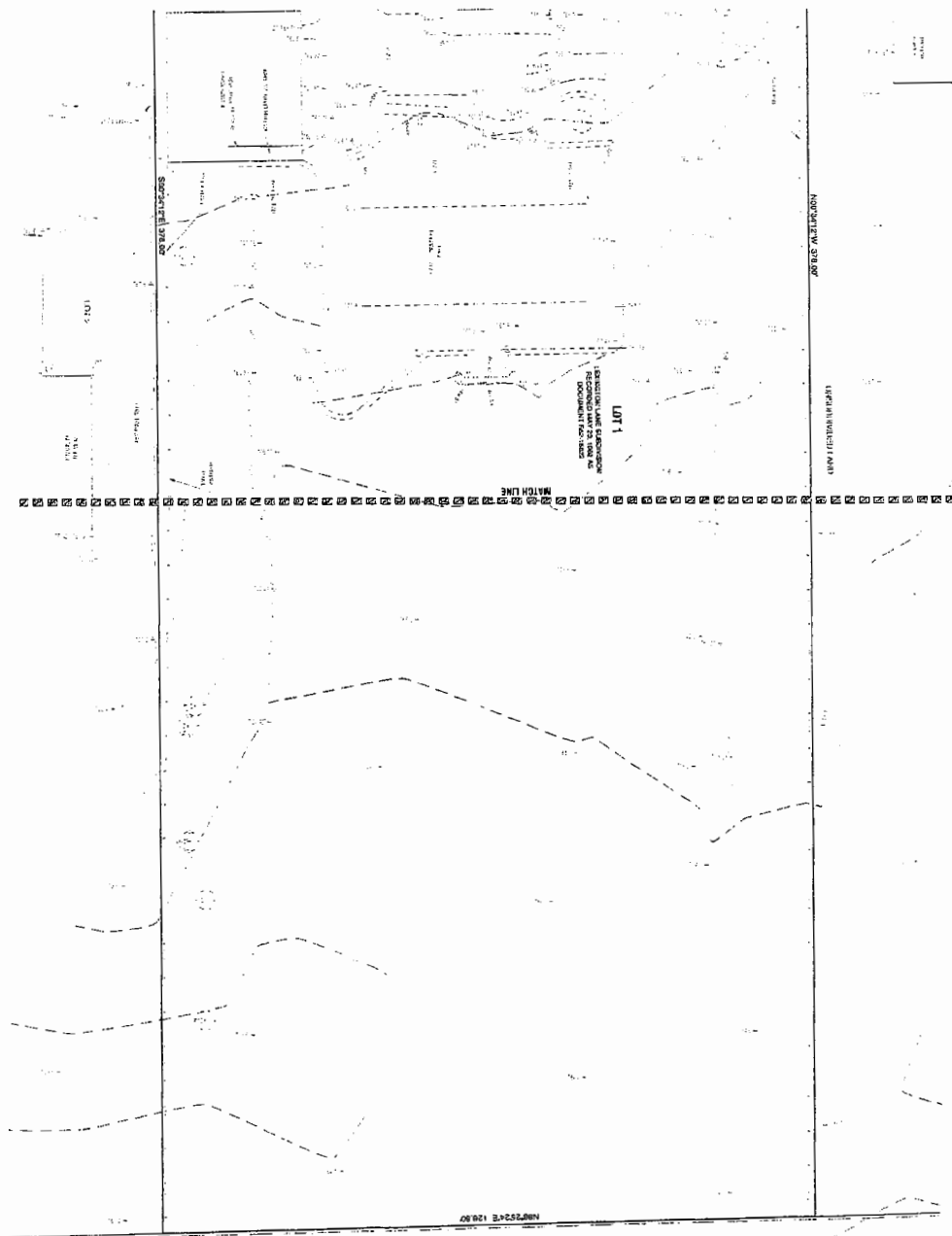
Absent:

None

Motion Carried Unanimously

Passed: July 21, 2025

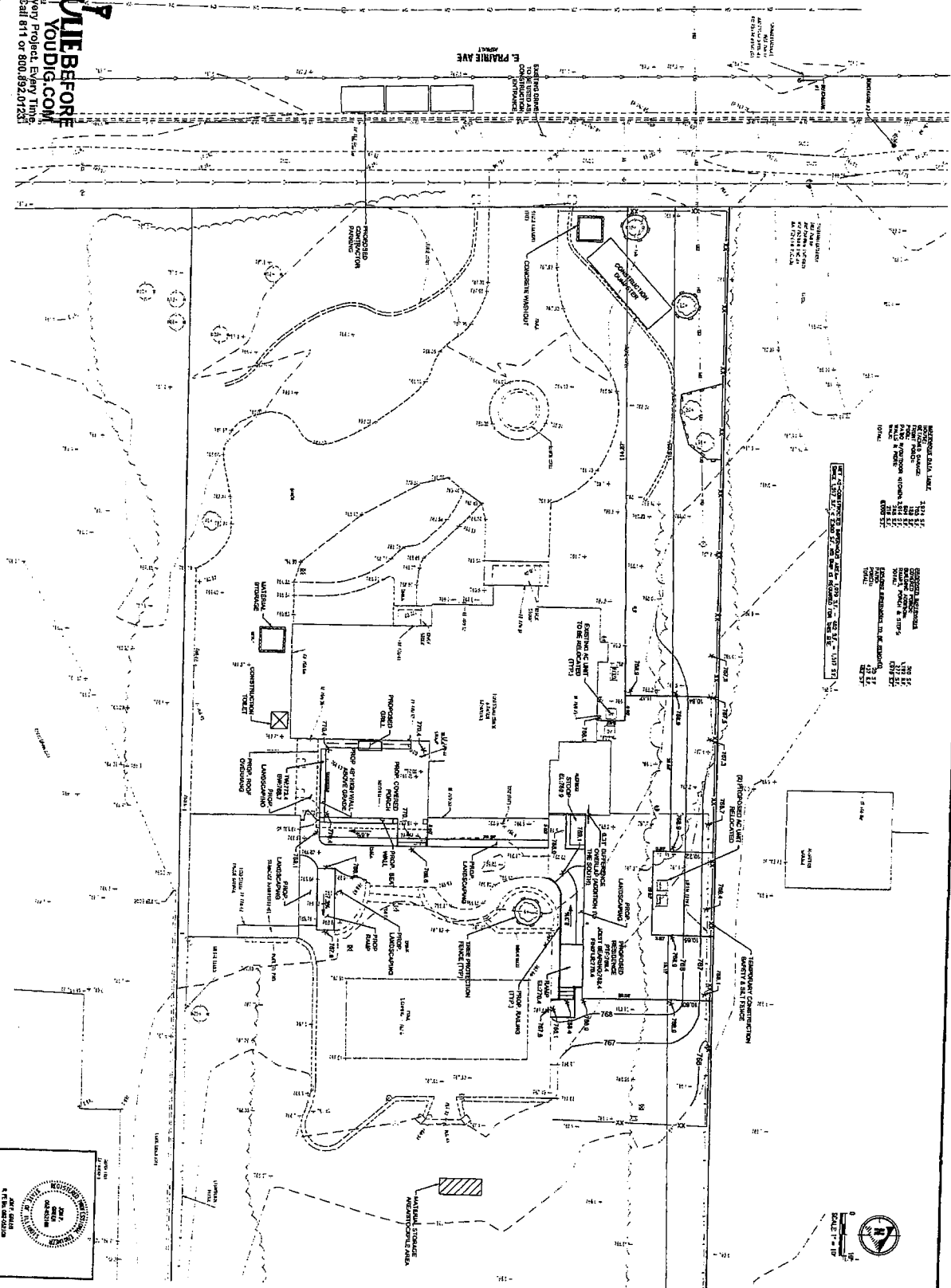
Published: July 22, 2025

[illegible]

STANDARD LISTING		STANDARD NAME	UNIT NAME
1	1	BALANCE SHEET (AME)	1
2	2	INSTRUMENTS AND ELECTRIC	2
3	3	UNIONIZATION AND LABOR LAW	3
4	4	UNIONIZATION AND LABOR LAW	4
5	5	UNIONIZATION AND LABOR LAW	5
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PROPOSED BY: NUSSEBAUM
ENGINEERING: NUSSEBAUM ENGINEERING
DESIGNER: NUSSEBAUM ENGINEERING
DATE: 05-25-2005
SCALE: 1/8" = 1'-0"

REVISIONS:

NO.	DESCRIPTION
1	ISSUED FOR PERMIT
2	ISSUED FOR PERMIT
3	ISSUED FOR PERMIT
4	ISSUED FOR PERMIT
5	ISSUED FOR PERMIT
6	ISSUED FOR PERMIT
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10	ISSUED FOR PERMIT

SITE DEVELOPMENT PLAN

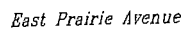
NUSSEBAUM RESIDENCE

337 E PRAIRIE AVENUE - WHEATON, IL 60187

PROPOSED BY: NUSSEBAUM
ENGINEERING: NUSSEBAUM ENGINEERING
DESIGNER: NUSSEBAUM ENGINEERING
DATE: 05-25-2005
SCALE: 1/8" = 1'-0"

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7	ISSUED FOR PERMIT
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9	ISSUED FOR PERMIT
10	ISSUED FOR PERMIT



in Addition and Interior Remodel To

337 East Prairie Avenue
Wheaton, Illinois

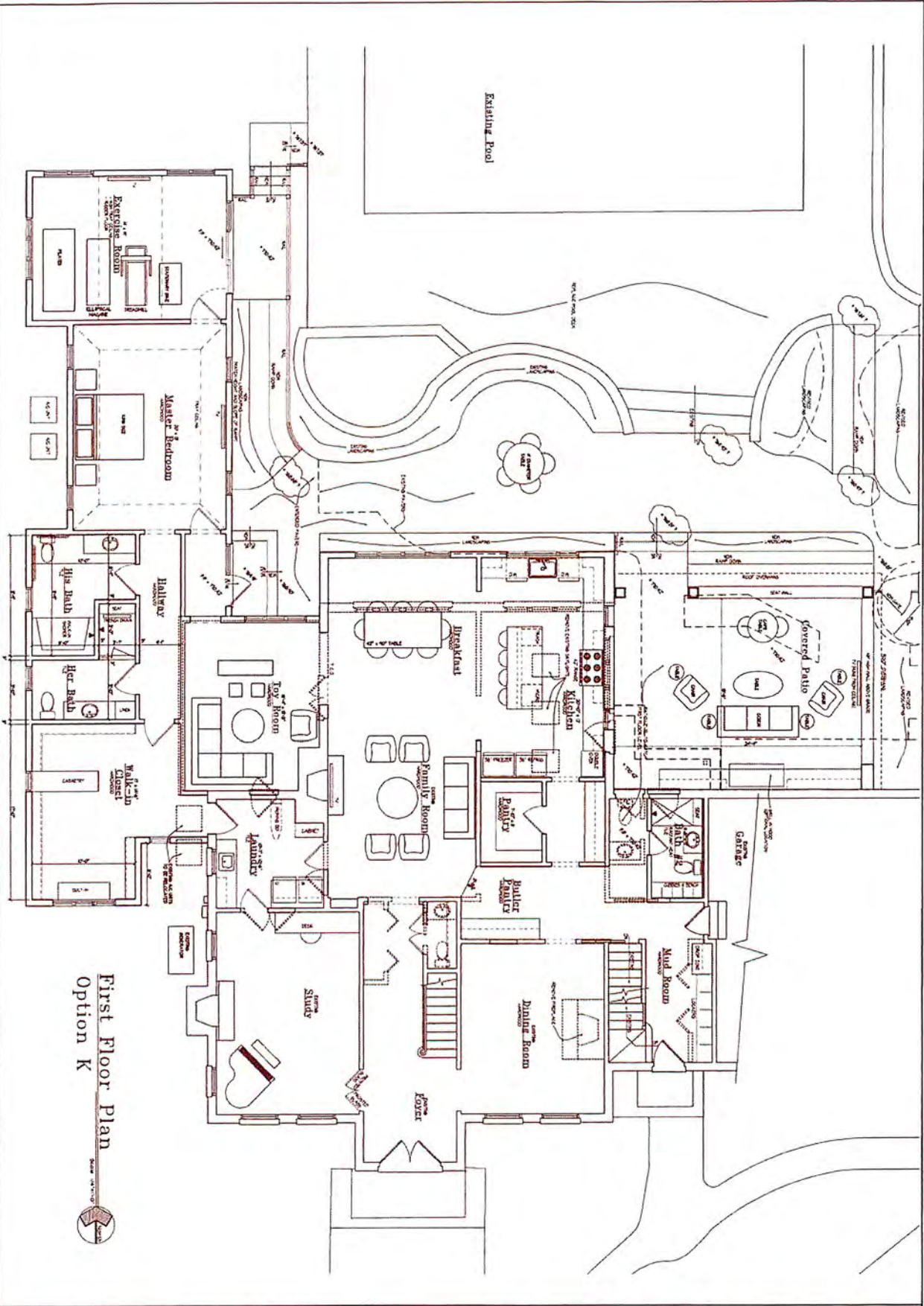
Architects
By
Design, PC
109 Ogden Avenue
Chardon, Ohio
44024 60354
(440) 223-0804 (p)
(800) 223-0815 (f)
m4k®
architectbydesign.com



SHEET NO:

OF SHEETS

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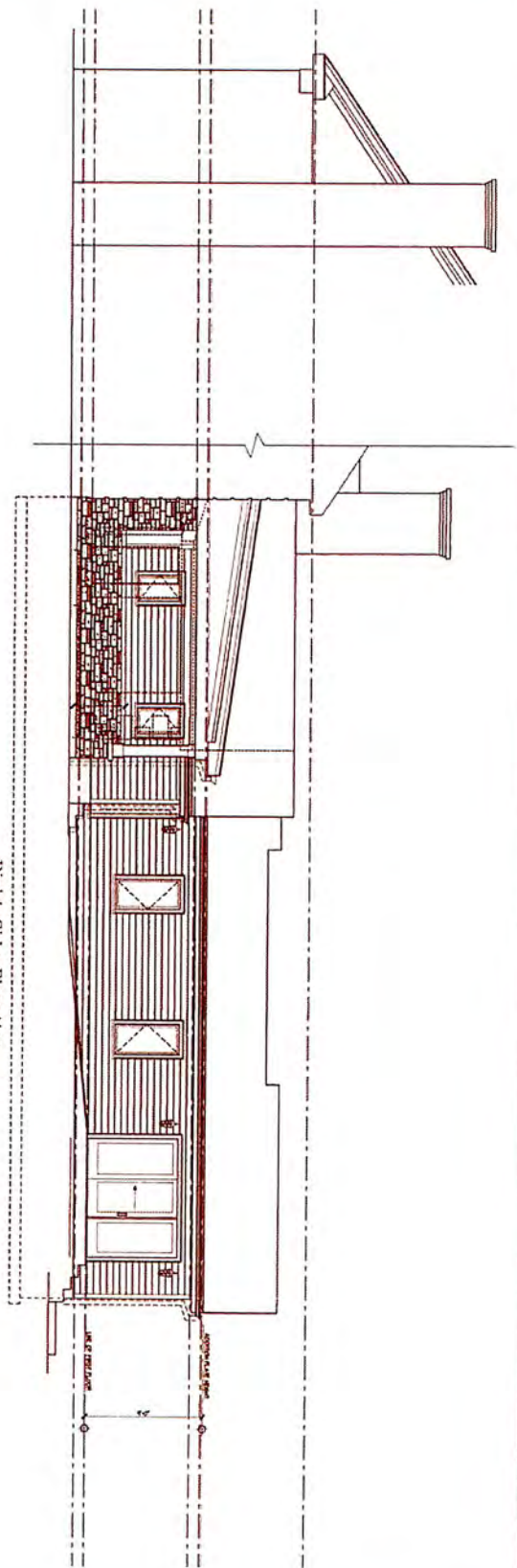
Architects
By
Design, PC
100 Glen Avenue
Chardon, OH 44024
(440) 285-9464 (4)
(440) 285-9415 (0)
www.designpc.com

An Addition and Interior Remodel To

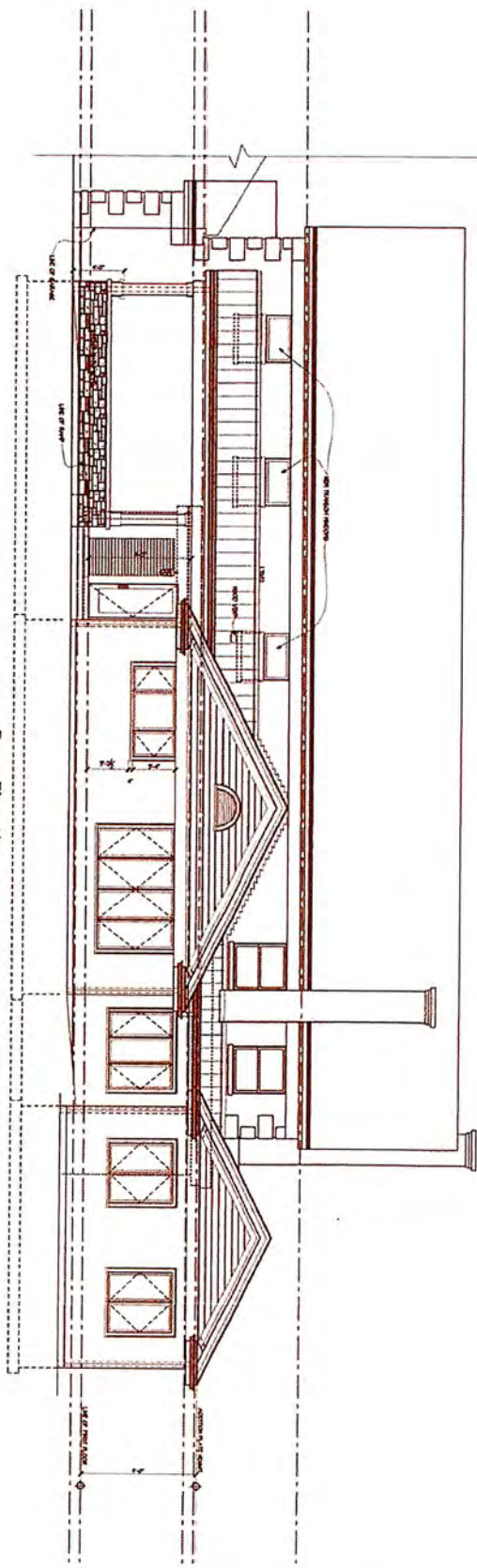
The Nussbaum Residence

501 East Prairie Avenue
Pleasant, Illinois

NO. 101
SHEET 1 OF 1
DATE: 10-1-00
BY: J. Nussbaum
CHECKED: J. Nussbaum
SCALE: AS SHOWN



Right Side Elevation
Option J
SCALE 1/4" = 1'-0"



Rear Elevation
Option J
SCALE 1/4" = 1'-0"

Architects
In
Design, PC
100 Ridge Avenue
Ridgely, MD 21066
(410) 321-9944 (4)
(410) 321-9411 (7)
info@designpc.com

An Addition and Interior Remodel To:
The Nussbaum Residence
221 East Phone Avenue
Pheasant Bluffs

Site Plan
1/4" = 1'-0"

Section
1/4" = 1'-0"

Foundation
1/4" = 1'-0"

Roof
1/4" = 1'-0"

Exterior
1/4" = 1'-0"

Interior
1/4" = 1'-0"

Detail
1/4" = 1'-0"

Other
1/4" = 1'-0"

Notes
1/4" = 1'-0"

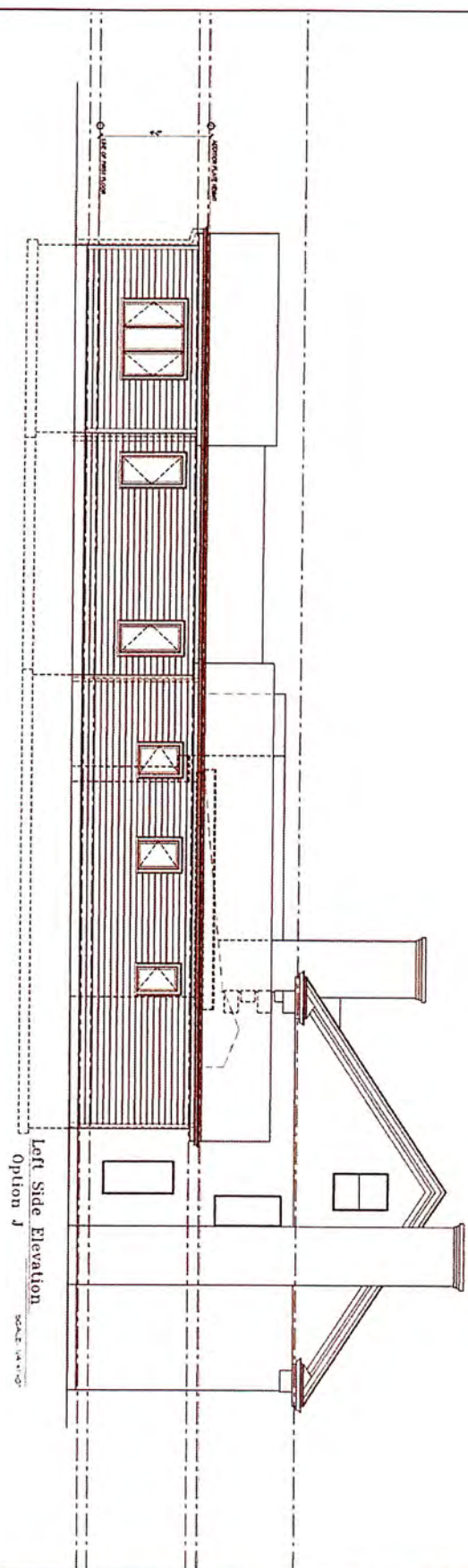
Legend
1/4" = 1'-0"

Scale
1/4" = 1'-0"

Sheet
1/4" = 1'-0"

Copyright
1/4" = 1'-0"

Approved By
1/4" = 1'-0"



Left Side Elevation
Option J

SCALE: 1/4" = 1'-0"

Architects
By
Design, PC
1000 South Main Street
Weston, MA 02457
(508) 235-2000 (p)
(508) 235-2415 (f)

The Nussbaum Residence
307 East Main Avenue
Weston, MA 02457

Project Information
Project: 02-001
Date: 02-01-02
Scale: 1/4" = 1'-0"

Sheet List
1 of 1
02-001-1A

Revisions

No.	Description	Date
1	Initial Design	02-01-02

Notes

1. All work to be in accordance with the latest edition of the Massachusetts Building Code.

