

**ORDINANCE NO. O-2025-22**

**AN ORDINANCE GRANTING LOT WIDTH, SIDE YARD SETBACK, AND REAR YARD SETBACK VARIATIONS TO ALLOW THE CONSTRUCTION AND USE OF A NEW DETACHED GARAGE, ON A CERTAIN PIECE OF PROPERTY COMMONLY KNOWN AS 705 N. MAIN STREET - KEATING**

**WHEREAS**, written application has been made requesting a variation to Article 3.4B.3a of the Wheaton Zoning Ordinance to allow the construction and use of a new detached garage on an existing lot which has a width of 41.25 feet in lieu of the required 50.0 feet, and variations to Article 3.4A.8a of the Wheaton Zoning Ordinance to allow a side yard setback of 2.55 feet in lieu of the required 3.0 feet and a rear yard setback of 2.55 feet in lieu of the required 5.0 feet for the new detached garage, all on property commonly known as 705 N. Main Street; and

**WHEREAS**, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on April 8, 2025, to consider the variations; and the Planning and Zoning Board has recommended approval of the variations.

**NOW, THEREFORE, BE IT ORDAINED** by the Mayor and City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

**Section 1:** The following described property has been and continues to be zoned and classified in the R-4 Residential District zoning classification:

THE SOUTH 41.25 FEET OF THE NORTH 82.5 FEET OF THE SOUTH 165 FEET OF THE WEST 132 FEET OF BLOCK 5 OF LYMAN E. DEWOLF AND GUY TRACY'S ADDITION TO THE TOWN OF WHEATON IN THE EAST ½ OF THE NORTHWEST ¼ OF SECTION 16, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 8, 1857 AS DOCUMENT 11622, IN DUPAGE COUNTY, ILLINOIS.

P.I.N.: 05-16-107-004

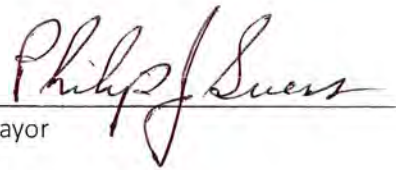
The subject property is commonly known as 705 N. Main Street, Wheaton, IL 60187.

**Section 2:** Pursuant to the Findings of Fact made and determined by the Wheaton Planning and Zoning Board, a variation to Article 3.4B.3a of the Wheaton Zoning Ordinance to allow the construction and use of a new detached garage on an existing lot which has a width of 41.25 feet in lieu of the required 50.0 feet, and variations to Article 3.4A.8a of the Wheaton Zoning Ordinance to allow a side yard setback of 2.55 feet in lieu of the required 3.0 feet and a rear yard setback of 2.55 feet in lieu of the required 5.0 feet for the new detached garage are granted, in full compliance with the following plans: "Preliminary Engineering Plans for: 705 N. Main Street", prepared by Victor Cardona, Long Grove, IL, dated February 20, 2025, sheets 1-3, and "Building Plan for: 705 N. Main Street", prepared by Blue Sky Builders, Downers Grove, IL, dated February 3, 2025, sheets 1-3; subject to the condition that the preliminary engineering plan shall be subject to further staff review prior to the issuance of a site development permit.

**Section 3:** All ordinances or parts of ordinances in conflict with these provisions are repealed.

**Section 4:** This ordinance shall become effective from and after its passage, approval, and

publication in pamphlet form in the manner prescribed by law.

  
Mayor

ATTEST:

  
City Clerk

Ayes:

**Roll Call Vote:**

Councilman Clousing  
Councilwoman Robbins  
Councilman Weller  
Councilman Barbier  
Councilwoman Bray-Parker  
Councilman Brown  
Mayor Suess

Nays:

None

Absent:

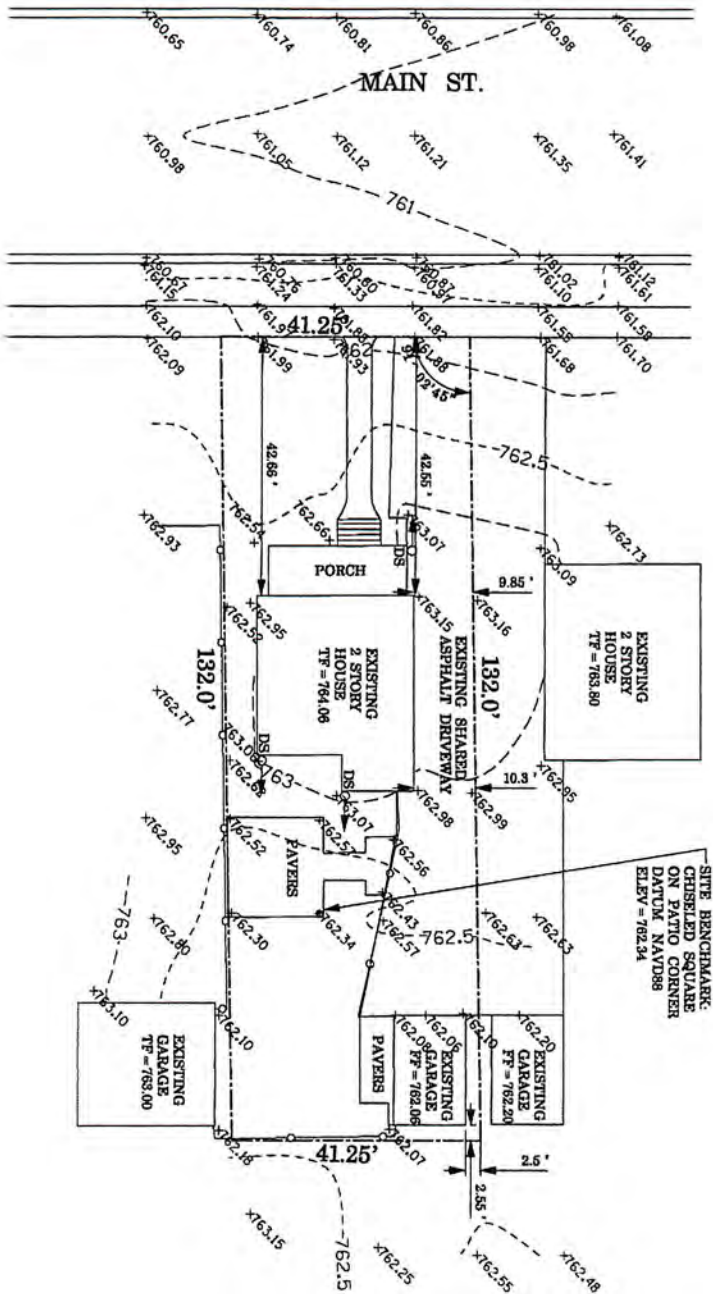
None

Motion Carried Unanimously

Passed: April 21, 2025

Published: April 22, 2025

# SITE GRADING PLAN - 705 N. MAIN STREET



DUPAGE COUNTY BENCHMARK DK3190 (107)  
 LOCATED ON THE NE CORNER OF LIBERTY DR.  
 & MAIN ST., 32' EAST OF THE CENTERLINE OF  
 MAIN ST. & 32' NORTH OF THE CENTERLINE OF  
 OF LIBERTY DR. IT IS A 2.5" BRASS DISK ON  
 THE SOUTHWEST CORNER OF A LIGHTPOLE  
 CONCRETE BASE, 1' ABOVE THE ROAD GRADE.  
 DATUM NAVD 88  
 ELEVATION = 762.34

**EXP. 12/31/25**

**EXISTING CONDITIONS**

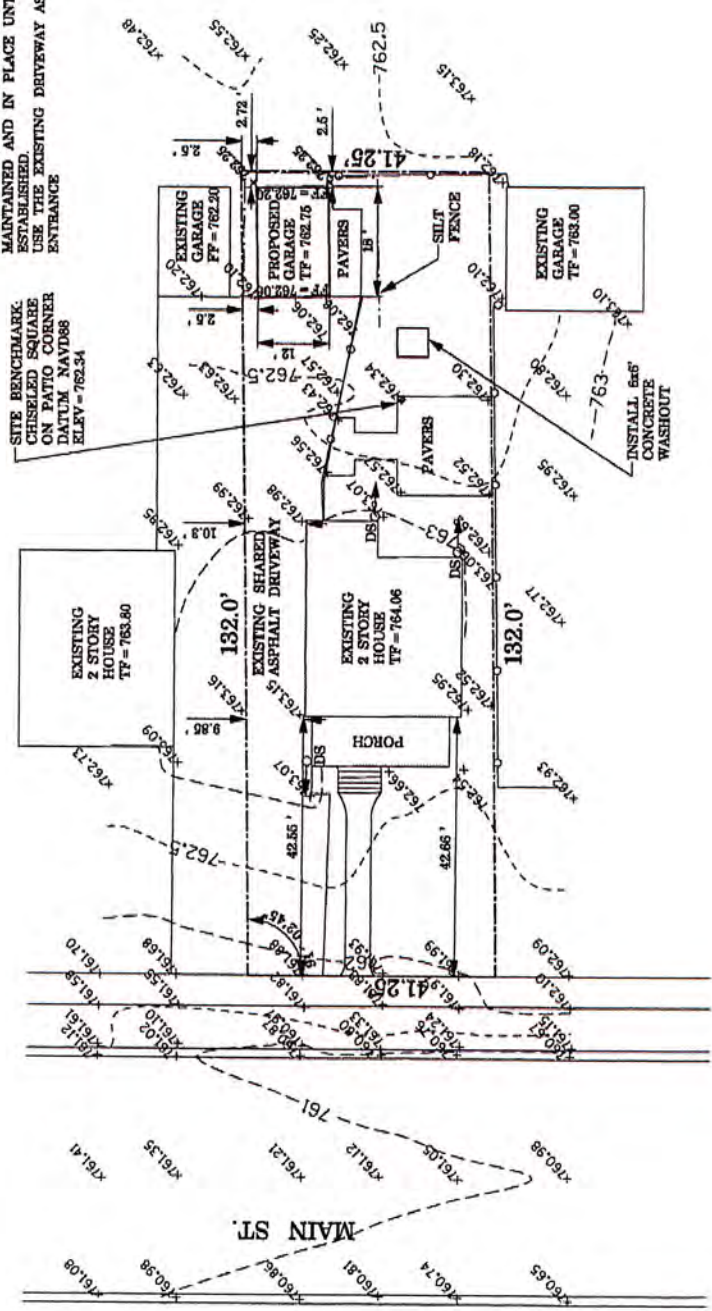
NO.	DATE

**705 N. MAIN ST.**  
**WHEATON, IL.**

**VICTOR CARDONA, P.E.**  
 3629 OAKRIDGE LN.  
 LONG GROVE, IL 60147  
 847-323-2888 cell  
 AVTL@ONE@HOTMAIL.COM

NOTE:  
THE EROSION CONTROL FENCE MUST BE IN PLACE PRIOR TO COMMENCING WORK AND MUST REMAIN UP AND BE MAINTAINED AND IN PLACE UNTIL FINAL VEGETATION IS ESTABLISHED.  
USE THE EXISTING DRIVEWAY AS THE ONLY CONSTRUCTION ENTRANCE

SCALE 1" = 20'



IMPERVIOUS AREAS (SF)	POST
HOME	748
GARAGE	216
PORCH	219
WALK	130
DRIVEWAY	1441
PATIO	410
TOTAL	3164
COVERAGE	58.10%
NET IMPERVIOUS GAIN =	0 SF



EXPIRES 11/30/25

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THIS PROJECT OR ANY PART THEREOF, OR IF THAT SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS OR SUCH WATERS WILL BE PLANNED FOR IN PRACTICES IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION.

NOTE:  
NO TOPOGRAPHICAL DEPRESSIONS WERE FOUND DURING THE DESIGN PROCESS.  
THE PROPOSED IMPROVEMENTS HAVE BEEN DESIGNED SO AS TO NOT DISPLACE ANY EXISTING OR STANDING WATER, OR NOT CHANGE THE DRAINAGE OF SURFACE WATERS, OR THAT ADEQUATE PROVISIONS HAVE BEEN INCORPORATED INTO THE SITE GRADING PLAN SO AS TO NOT ADVERSELY AFFECT THE DRAINAGE OF STORMWATER TO, OR FROM, THE SITE AND ADJUTING OR ADJACENT PROPERTIES.

DUPAGE COUNTY BENCHMARK DK3190 (107) LOCATED ON THE NE CORNER OF LIBERTY DR. & MAIN ST., 32' EAST OF THE CENTERLINE OF MAIN ST. & 35' NORTH OF THE CENTERLINE OF LIBERTY DR. IT IS A 2.5" BRASS DISK ON THE SOUTHWEST CORNER OF A LIGHTPOLE CONCRETE BASE, 1' ABOVE THE ROAD GRADE. DATUM NAVD 83 ELEVATION = 743.28

CALL JULIE TULL FREE  
OPERATE IN SEVERE &  
CALL FOR DATA & TALK  
WARNING  
CALL BEFORE  
YOU DIG  
CALL  
FOR  
A  
HURRY  
RESPONSE  
YOU DIG

NO.	DATE
706 N MAIN ST. WHEATON, IL	DATE
2/20/25	
VICTOR CARDONA P.E. 3828 OAKHILL LN. LONG GROVE, IL 60047 847-323-3888 cell ATVLADON@HOTMAIL.COM	
PROPOSED CONDITIONS	

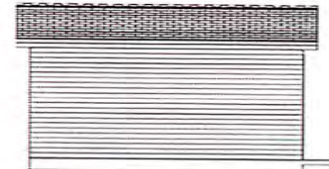
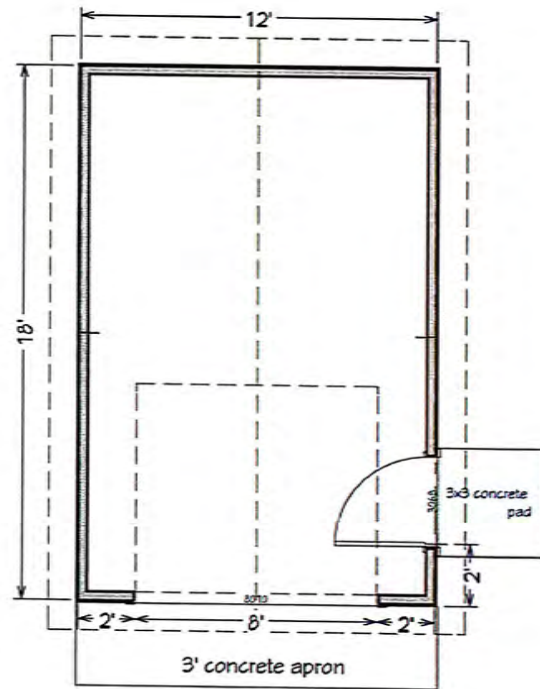


AVT.ACNE@HOTMAIL.COM

424 Ogden Avenue  
Downers Grove, IL 60515  
630-852-8485  
630-852-0350 fax

FOR: Art Keating  
705 N Main St  
Wheaton

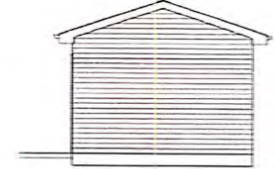
Date: 2/3/25  
Scale: 1/8" = 1'



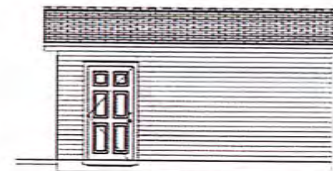
18' North Elevation Side

North wall, eave, and anything within 3' of lot line to be 1 hr fire rated w/ 5/8" gyp board

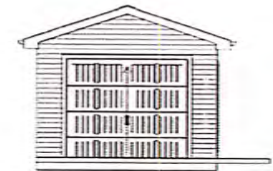
10' 8"  
8'



12' East Elevation Back



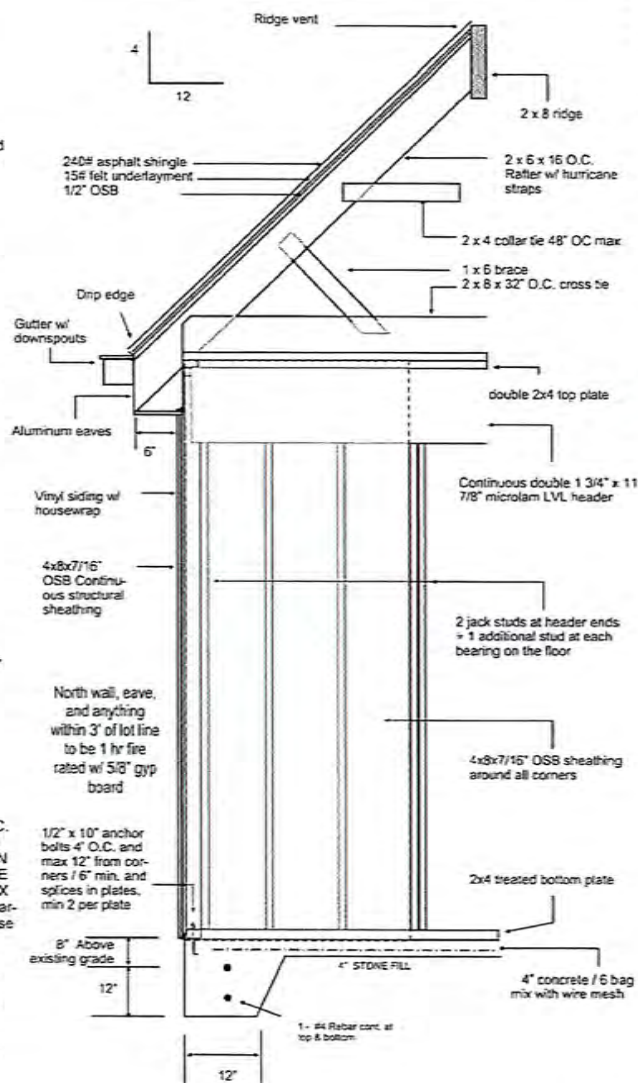
18' South Elevation Side



12' West Elevation Front



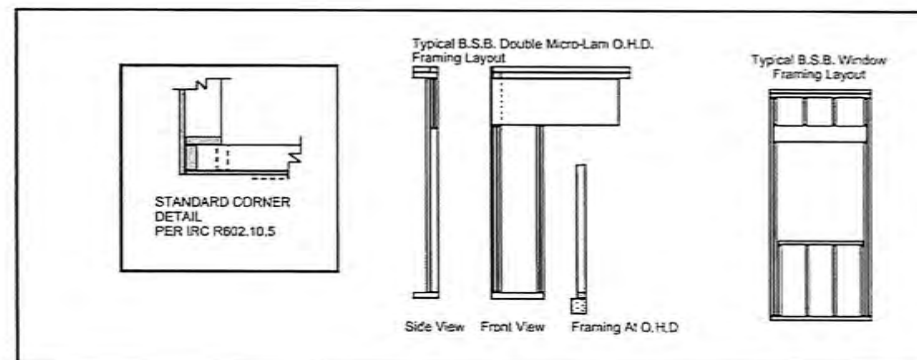
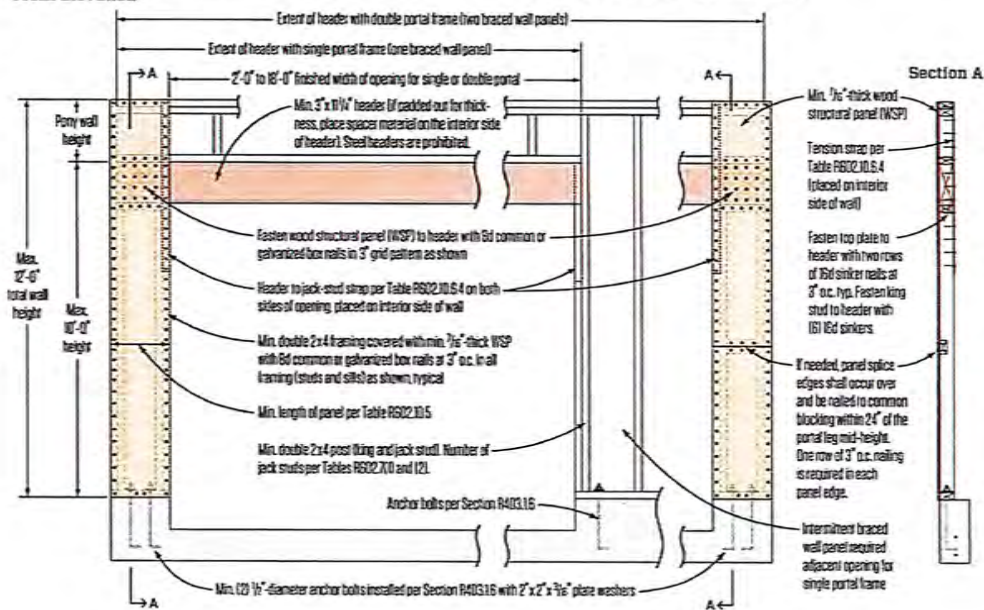
**GARAGE SIZE:** 12x18  
**ROOF STYLE:** Gable  
**WALL SHEATHING:** 4x8x7/16" OSB  
**SWAY BRACES:** 4x8x7/16" OSB  
**SIDING:** Vinyl w/ housewrap  
**STUDS:** 2X4X16" O.C. w/ galvanized plates SPF #2 OR BETTER  
**TOP PLATE:** DOUBLE 2X4  
**BOTTOM PLATE:** TREATED 2X4  
**RAFTERS:** 2X6X16" O.C. w/ hurricane straps  
**RIDGE:** 2X8 SPF #2 OR BETTER  
**CROSS TIES:** 2X8X32" O.C.  
**ROOFING:** 15# FELT UNDER 240# ASPHALT SHINGLE  
**SHEATHING:** 4X8X1/2" OSB  
SPAN RATES 32/16 OR BETTER  
**VENTS:** Ridge Vent  
**EAVES:** 6" Aluminum  
**OVERHEAD DOOR:** 8x7 steel  
**SERVICE DOOR:** 36" X 80"  
**WINDOWS:** none  
**HEADERS:** —  
O.H.D.: Cont. Double 1 3/4" x 11 7/8" MICROLAM LVL header  
**SERVICE/WINDOW:** DOUBLE 2X8  
**WALL HGT:** 8'  
**TOTAL HGT:** 10'8"  
**GUTTERS:** Yes - aluminum  
**ANCHORS:** 1/2" ANCHOR BOLTS 4' O.C. AND 1' MAX / 6" MIN FROM CORNERS AND SPLICES IN PLATES - MIN 2 PER PLATE  
**FLOOR:** 4" CONCRETE - 6 BAG MIX W/ #10 wire mesh & vapor barrier on 4" compacted sub-base  
**APRON:** 4" CONCRETE ON 4" COMPACTED SUB-BASE  
**WATER LEDGE:** RAISED CONCRETE ON 3 SIDES  
**FOOTINGS:** 12x12 below grade w/ rebar 8" above grade



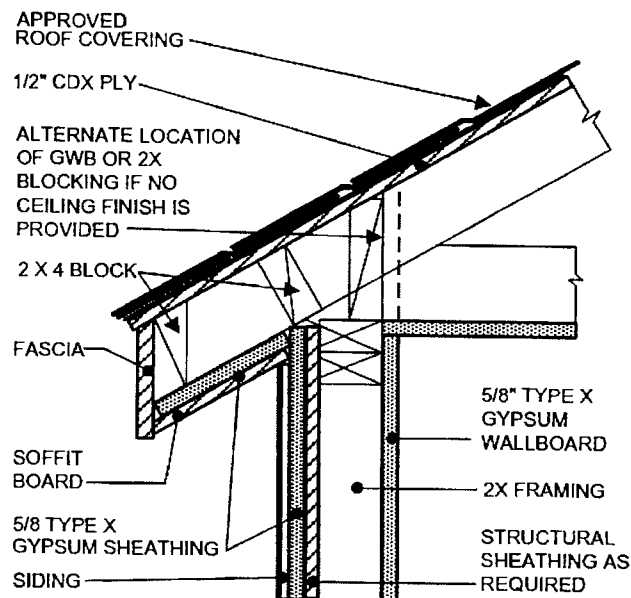
**BLUE  
SKY  
BUILDERS**

<b>BLUE SKY BUILDERS</b>	BLUE SKY BUILDERS 424 OGDEN AVENUE DOWNERS GROVE, IL 60515 630-852-8485 630-852-0350 FAX	DATE: 2/3/25 SCALE: Not to Scale SIZE: 12x18 ROOF: Gable COST: \$20,575	FOR: Art Keating 705 N Main St Wheaton
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Front Elevation      Method PFG (Portal Frame at Garage Door Openings)



Garage floor to be sloped toward the main vehicle entry.



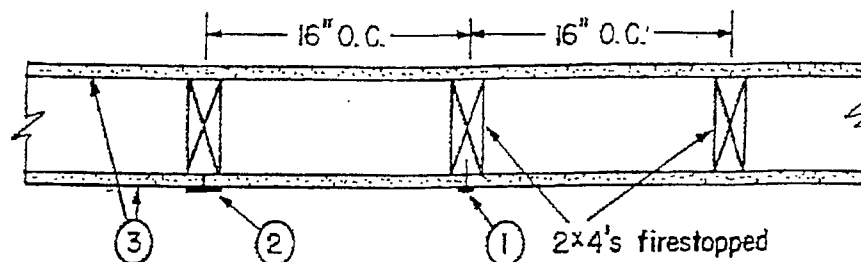
## 1-HOUR RATED WALL AND PROTECTED EAVE OVERHANG

## UL Fire Resistant Design Directory

Design No. U305

Bearing Wall Rating—1 HR.

Finish Rating—See Item 3.



1. **Nailheads—** covered with joint compound.
  2. **Joints—** covered with fiber tape and joint compound, except where required for specific edge configuration. For tapered, rounded-edge wallboard, joints covered with joint compound or fiber tape and joint compound. As an alternate, nom 3/32 in. thick gypsum veneer plaster may be applied to the entire surface of Classified veneer baseboard. Joints reinforced.
  3. **Wallboard, Gypsum\***—5/8 in. thick wallboard paper or vinyl surfaced, with beveled, square, or tapered edges, applied either horizontally or vertically. Wallboard nailed 7 in. OC with 6d cement coated nails 1-7/8 in. long, 0.0915 in. shank diam and 1/4 in. diam heads. When used in widths of other than 48 in., wallboard is to be installed horizontally.
- American Gypsum Co.**—Types AGX-1, AGX-2, AGX-3 (finish rating 23 min.), Type AGX-7, AGX-11 (finish rating 26 min) or Type AG-C.