

ORDINANCE NO. O-2025-22

AN ORDINANCE GRANTING LOT WIDTH, SIDE YARD SETBACK, AND REAR YARD SETBACK VARIATIONS TO ALLOW THE CONSTRUCTION AND USE OF A NEW DETACHED GARAGE, ON A CERTAIN PIECE OF PROPERTY COMMONLY KNOWN AS 705 N. MAIN STREET - KEATING

**WHEREAS**, written application has been made requesting a variation to Article 3.4B.3a of the Wheaton Zoning Ordinance to allow the construction and use of a new detached garage on an existing lot which has a width of 41.25 feet in lieu of the required 50.0 feet, and variations to Article 3.4A.8a of the Wheaton Zoning Ordinance to allow a side yard setback of 2.55 feet in lieu of the required 3.0 feet and a rear yard setback of 2.55 feet in lieu of the required 5.0 feet for the new detached garage, all on property commonly known as 705 N. Main Street; and

**WHEREAS**, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on April 8, 2025, to consider the variations; and the Planning and Zoning Board has recommended approval of the variations.

**NOW, THEREFORE, BE IT ORDAINED** by the Mayor and City Council of the City of Wheaton, DuPage County, Illinois, pursuant to its home rule powers, as follows:

**Section 1:** The following described property has been and continues to be zoned and classified in the R-4 Residential District zoning classification:

THE SOUTH 41.25 FEET OF THE NORTH 82.5 FEET OF THE SOUTH 165 FEET OF THE WEST 132 FEET OF BLOCK 5 OF LYMAN E. DEWOLF AND GUY TRACY'S ADDITION TO THE TOWN OF WHEATON IN THE EAST  $\frac{1}{2}$  OF THE NORTHWEST  $\frac{1}{4}$  OF SECTION 16, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 8, 1857 AS DOCUMENT 11622, IN DUPAGE COUNTY, ILLINOIS.

P.I.N.: 05-16-107-004

The subject property is commonly known as 705 N. Main Street, Wheaton, IL 60187.

**Section 2:** Pursuant to the Findings of Fact made and determined by the Wheaton Planning and Zoning Board, a variation to Article 3.4B.3a of the Wheaton Zoning Ordinance to allow the construction and use of a new detached garage on an existing lot which has a width of 41.25 feet in lieu of the required 50.0 feet, and variations to Article 3.4A.8a of the Wheaton Zoning Ordinance to allow a side yard setback of 2.55 feet in lieu of the required 3.0 feet and a rear yard setback of 2.55 feet in lieu of the required 5.0 feet for the new detached garage are granted, in full compliance with the following plans: "Preliminary Engineering Plans for: 705 N. Main Street", prepared by Victor Cardona, Long Grove, IL, dated February 20, 2025, sheets 1-3, and "Building Plan for: 705 N. Main Street", prepared by Blue Sky Builders, Downers Grove, IL, dated February 3, 2025, sheets 1-3; subject to the condition that the preliminary engineering plan shall be subject to further staff review prior to the issuance of a site development permit.

**Section 3:** All ordinances or parts of ordinances in conflict with these provisions are repealed.

**Section 4:** This ordinance shall become effective from and after its passage, approval, and

publication in pamphlet form in the manner prescribed by law.

  
Philip J. Suess  
\_\_\_\_\_  
Mayor

ATTEST:

  
Andrea Rosedele  
\_\_\_\_\_  
City Clerk

**Roll Call Vote:**

Ayes: Councilman Clousing  
Councilwoman Robbins  
Councilman Weller  
Councilman Barbier  
Councilwoman Bray-Parker  
Councilman Brown  
Mayor Suess

Nays: None

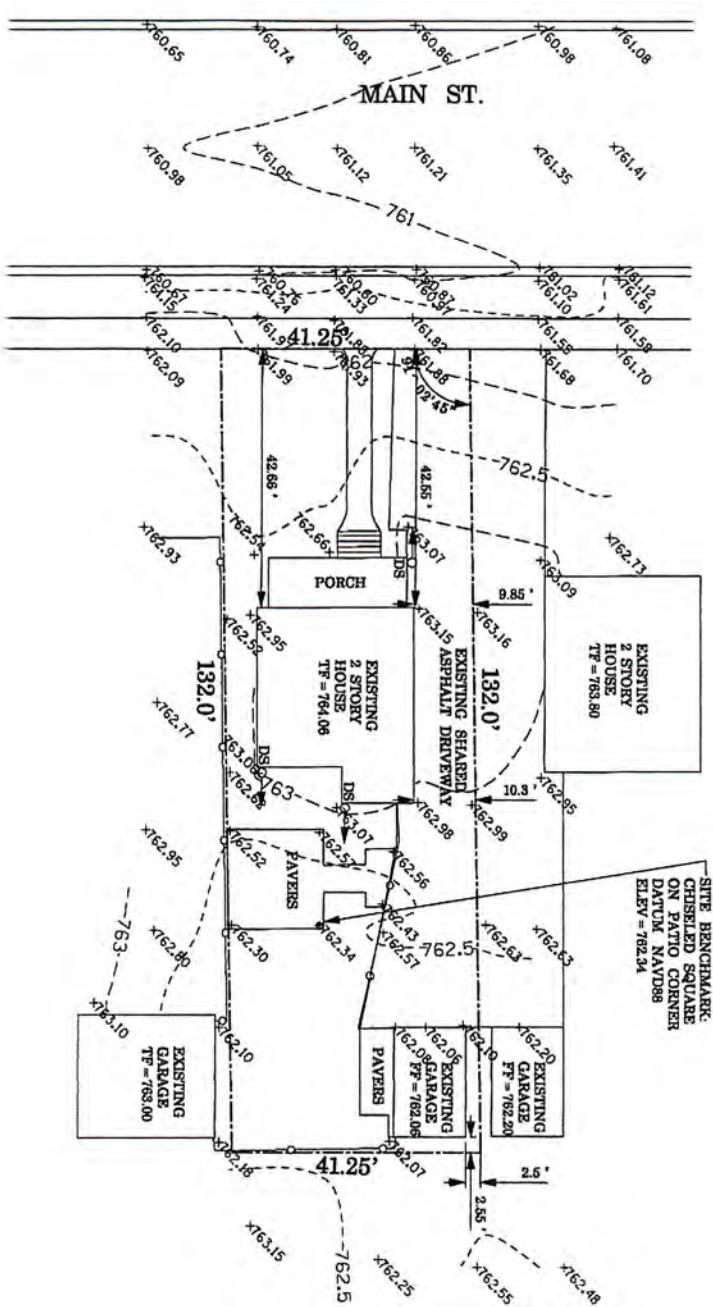
Absent: None

Motion Carried Unanimously

Passed: April 21, 2025

Published: April 22, 2025

SITE ZONING PLAN - 705 N. MAIN STREET



DUPage COUNTY BENCHMARK D3500 (100)  
LOCATED ON THE N.E. CORNER OF LIBERTY DR.  
AND MAIN ST., 33 EAST OF THE CENTERLINE OF  
MAIN ST., 35 NORTH OF THE CENTERLINE OF  
LIBERTY DR. IT IS A 2.5" BRASS DISK ON  
THE SOUTHWEST CORNER OF A LIGHTPOLE  
CONCRETE BASE, 1' ABOVE THE ROAD GRADE.  
DAYTON NAVD 88  
ELEVATION = 4332.88

110

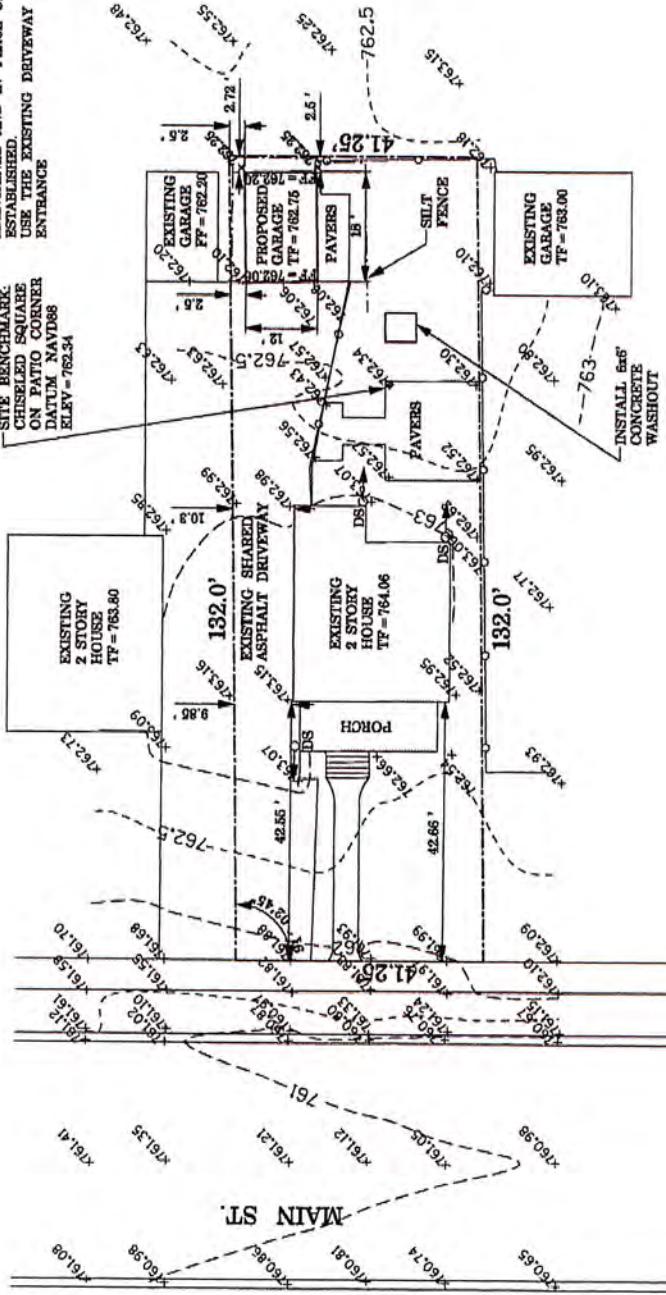
EXPIRES 11/30/25

NO.	DATE
705 N. MAIN ST.	
WHEATON, IL	
VICTOR CARDONA, P.E.	DATE
3288 OAKHILL L.N.	2/20/25
LONG GROVE, IL 60047	
847-323-2888 ext	
ATL12345@HOTMAIL.COM	
EXISTING CONDITIONS	

NOTE: CONTINUATION. CONTROL FENCE MUST BE IN PLACE PRIOR TO COMMENCING WORK AND MUST REMAIN UP AND BE MAINTAINED AND IN PLACE UNTIL FINAL VEGETATION IS ESTABLISHED. MAINTAIN THE EXISTING DRIVEWAY AS THE ONLY CONSTRUCTION REENTRANCE.

320

SITE BENCHMARK  
CHISELED SQUARE  
ON PATIO CORNER  
DATUM NAVD88  
ET AL. 2001



NOTE: NO TOPOGRAPHICAL DEPRESSIONS WERE FOUND DURING THE DESIGN PROCESS. THE PROPOSED IMPROVEMENTS HAVE BEEN DESIGNED SO AS TO NOT DISPLACE ANY PONDING OR STANDING WATER OR NOT CHANGE THE DRAINAGE OF SURFACE WATERS, OR THAT ADEQUATE PROVISIONS HAVE BEEN INCORPORATED INTO THE SITE GRADING PLAN SO AS TO NOT ADVERSELY AFFECT THE DRAINAGE OF STORMWATER TO, OR FROM, THE SITE AND ABUTTING OR ADJACENT PROPERTIES.

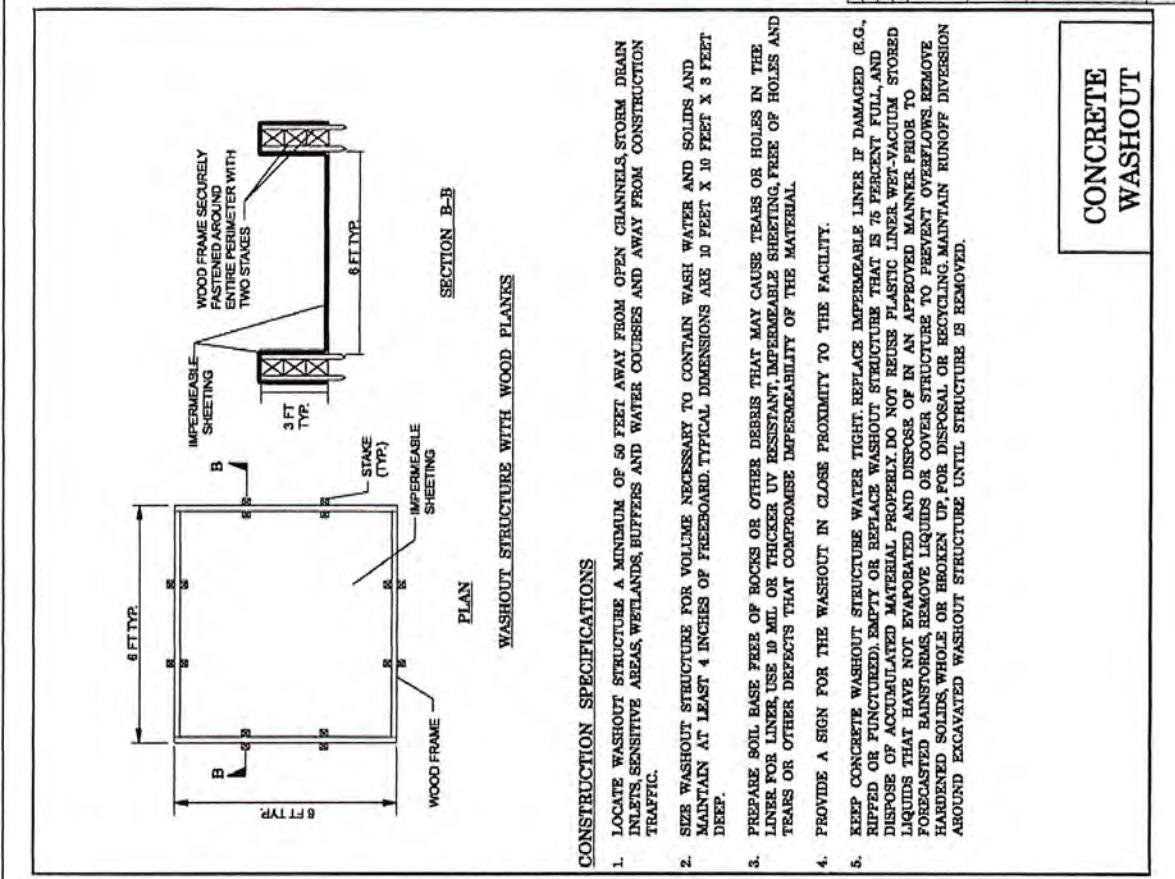
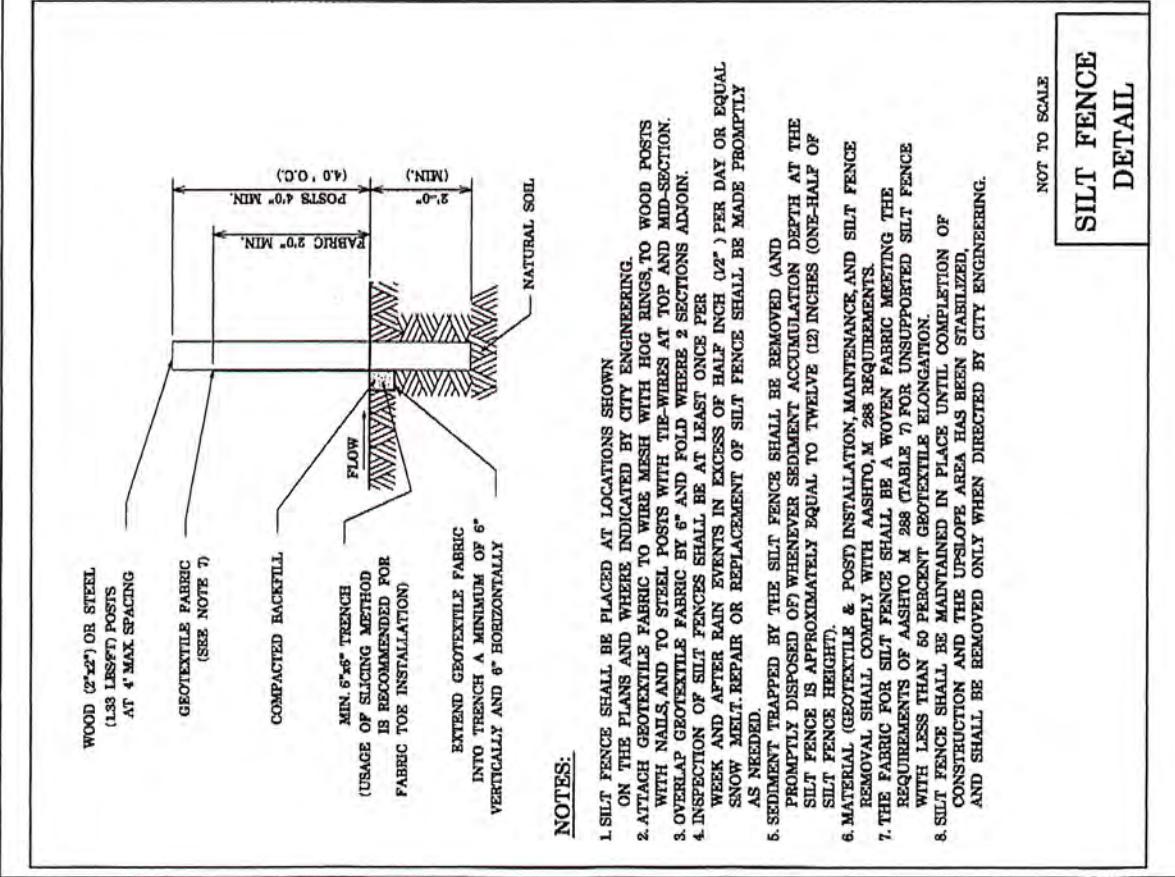
NO.	DATE		
705 N MAIN ST. WEATON, IL		VICTOR CARDONA, P.E. 3828 CASHIER LANE LONG GLENZIA, IL 6007 647-322-5566 cell	ATLANTICSHOOTER@HOTMAIL.COM
	DATE	2/20/2025	PROPOSED CONDITIONS



**PROPOSED**  
VICTOR CARDONA, P.E.  
3829 OAKHILL LN.  
LONG GROVE, IL 60047  
847-322-2686 cel  
AVILAONE@HOTMAIL.COM

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THIS PROJECT OR ANY PART THEREOF OR IF THAT SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE DIVERSIONS HAVE BEEN MADE FOR THE COLLECTION DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS OR SUCH WATERS WILL BE PLANTED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO ADJACENT PROPERTY BECAUSE OF THE CONSTRUCTION.

NOTE.—  
NO TOPOGRAPHICAL DEPRESSIONS WERE  
FOUND DURING THE DESIGN PROCESS.  
THE PROPOSED IMPROVEMENTS HAVE BEEN  
DESIGNED SO AS TO NOT DISPLACE ANY  
PONDING OR STANDING WATER, OR NOT  
OBSTRUCT THE DRAINAGE OF SURFACE WATERS, OR  
ADQUATE PROVISIONS HAVE BEEN INCOR-  
PORATED INTO THE SITE GRADING PLAN SO AS TO  
ADVERSELY AFFECT THE DRAINAGE OF ST-  
PERSITES, OR TO, OR FROM, THE SITE AND ABUTTING O-



<p>VILLAGE OF GLADONA ILLINOIS LAWMAKERS LEADERS PROFESSIONALS DEDICATED TO THE VILLAGE OF ILLINOIS EXPIRES 11-30-2005</p>			
<p><i>Victor Cardona</i></p> <p>DATE: 11/10/05</p>	<p>NOT TO SCALE</p>		
<table border="1"> <tr> <td>CONCRETE</td> <td>WASHOUT</td> </tr> </table>		CONCRETE	WASHOUT
CONCRETE	WASHOUT		
<p>PROPOSED CONDITIONS</p>			

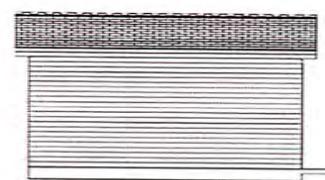
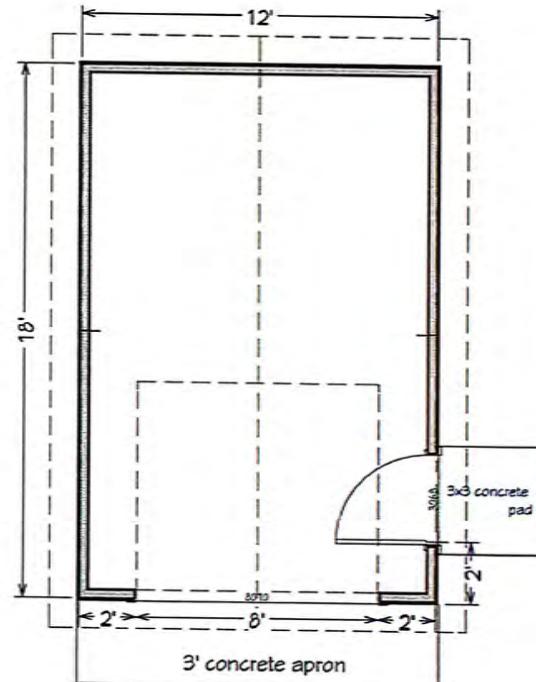
NOT TO SCALE  
**SILT FENCE  
DETAIL**

VICTOR CARDONA, P.E.  
3629 OAKHILL LN.  
LONG GROVE, IL 60047  
847-323-9588 cell  
AVILONE@HOTMAIL.COM

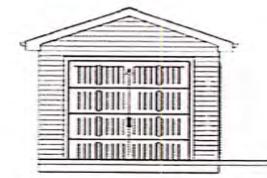
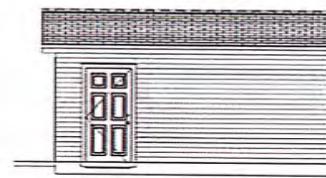
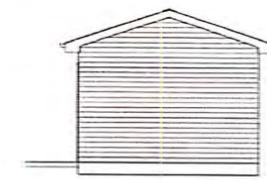
424 Ogden Avenue  
Downers Grove, IL 60515  
630-852-8485  
630-852-0350 fax

FOR: Art Keating  
705 N Main St  
Wheaton

Date: 2/3/25  
Scale: 1/8" = 1'



North wall, eave, and anything within 3' of lot line to be 1 hr fire rated w/ 5/8" gyp board



GARAGE SIZE: 12x18

ROOF STYLE: Gable

WALL SHEATHING: 4x8x7/16" OSB

SWAY BRACES: 4x8x7/16" OSB

SIDING: Vinyl w/ housewrap

STUDS: 2x4x16" O.C. w/ wallized plates SPF #2 OR BETTER

TOP PLATE: DOUBLE 2X4

BOTTOM PLATE: TREATED 2X4

RAFTERS: 2x6x16" O.C. w/ hurricane straps

RIDGE: 2x8 SPF #2 OR BETTER

CROSS TIES: 2x8x32" O.C.

ROOFING: 15# FELT UNDER 240# ASPHALT SHINGLE

SHEATHING: 4x8x1/2" OSB SPAN RATES 32/16 OR BETTER

VENTS: Ridge Vent

EAVES: 6" Aluminum

OVERHEAD DOOR: 8x7 steel

SERVICE DOOR: 36" X 80"

WINDOWS: none

HEADERS: —  
O.H.D.: Cont. Double 1 3/4" x 11 7/8"  
MICROLAM LVL header

SERVICE/WINDOW: DOUBLE 2X8

WALL HGT: 8'

TOTAL HGT: 10'8"

GUTTERS: Yes - aluminum

ANCHORS: 1/2" ANCHOR BOLTS 4' O.C. AND 1' MAX / 6' MIN FROM CORNERS AND SPLICES IN PLATES - MIN 2 PER PLATE

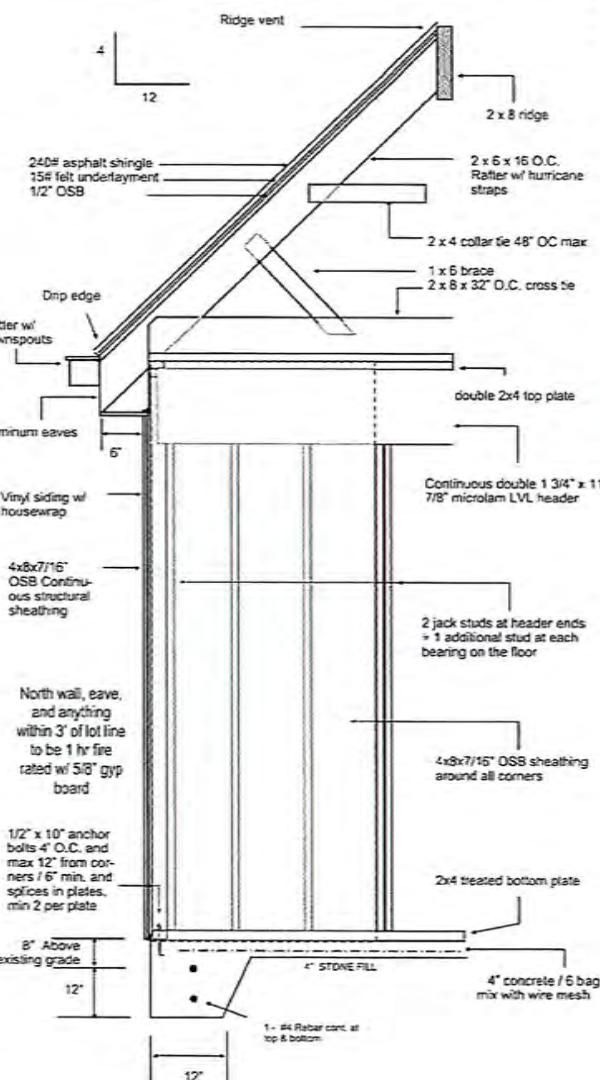
FLOOR: 4" CONCRETE - 6 BAG MIX W/ #10 wire mesh & vapor barrier on 4" compacted sub-base

APRON: 4" CONCRETE ON 4" COMPACTED SUB-BASE

WATER LEDGE: RAISED CONCRETE ON 3 SIDES

FOOTINGS: 12x12 below grade w/ rebar 8" above grade

"All lumber SPF #2 or better unless otherwise noted"



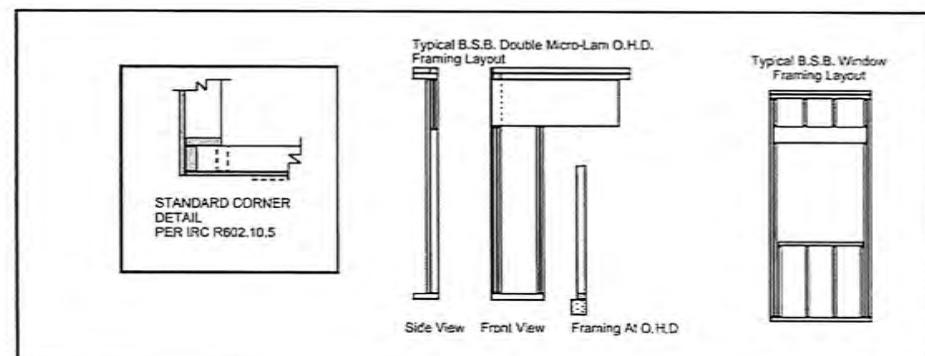
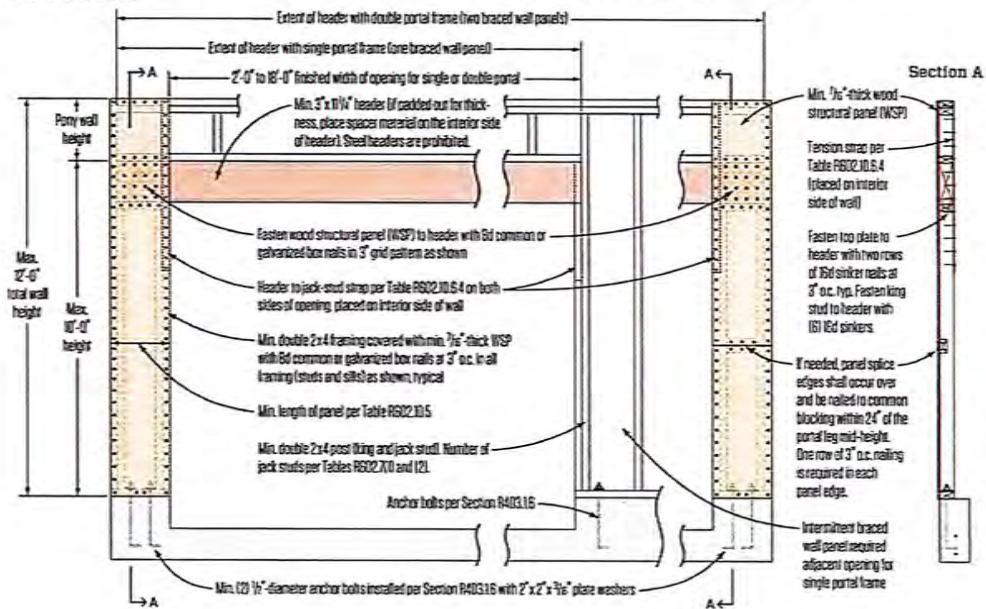
BLUE SKY BUILDERS  
424 OGDEN AVENUE  
DOWNTOWN GROVE, IL 60515  
630-852-8485  
630-852-0350 FAX

DATE: 2/3/25  
SCALE: Not to Scale  
SIZE: 12x18  
ROOF: Gable  
COST: \$20,575

FOR: Art Keating  
705 N Main St  
Wheaton

### Front Elevation

### Method PFG (Portal Frame at Garage Door Openings)



Garage floor to be sloped toward the main vehicle entry.



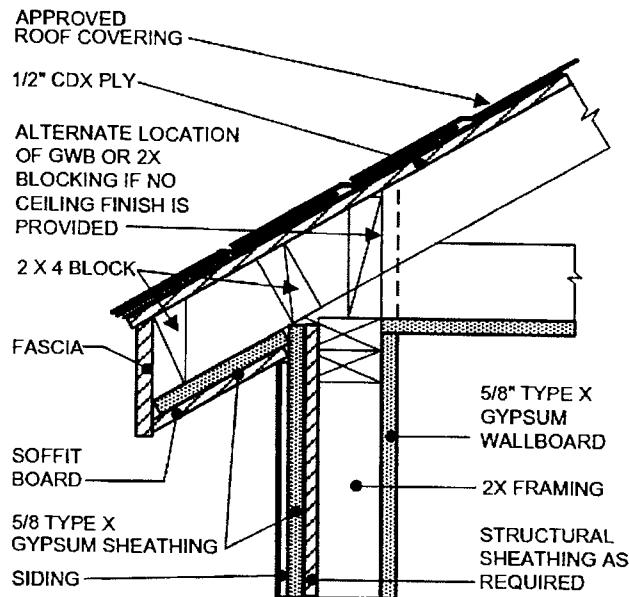
ADDRESS: 705 N Main St Wheaton, IL 60187



BLUE SKY BUILDERS  
424 OGDEN AVENUE  
DOWNERS GROVE, IL 60515  
630-852-8485

FOR:

Art Keating  
705 N Main St  
Wheaton



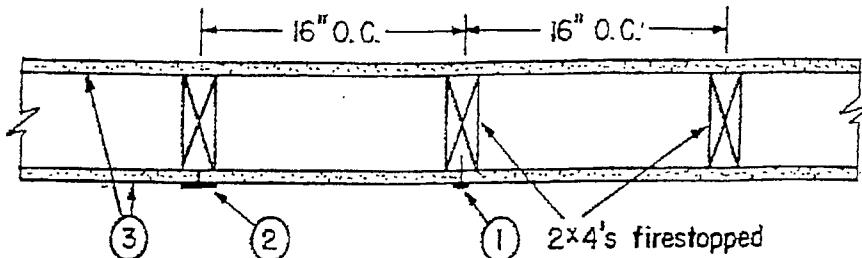
1-HOUR RATED WALL AND  
PROTECTED EAVE OVERHANG

## UL Fire Resistant Design Directory

### Design No. U305

Bearing Wall Rating—1 HR.

Finish Rating—See Item 3.



1. Nailheads—covered with joint compound.
2. Joints—covered with fiber tape and joint compound, except where required for specific edge configuration. For tapered, rounded-edge wallboard, joints covered with joint compound or fiber tape and joint compound. As an alternate, nom 3/32 in. thick gypsum veneer plaster may be applied to the entire surface of Classified veneer baseboard. Joints reinforced.
3. Wallboard, Gypsum\*—5/8 in. thick wallboard paper or vinyl surfaced, with beveled, square, or tapered edges, applied either horizontally or vertically. Wallboard nailed 7 in. OC with 6d cement coated nails 1-7/8 in. long, 0.0915 in. shank diam and 1/4 in. diam heads. When used in widths of other than 48 in., wallboard is to be installed horizontally.

American Gypsum Co.—Types AGX-1, AGX-2, AGX-3 (finish rating 23 min.), Type AGX-7, AGX-11 (finish rating 26 min) or Type AG-C.