ORDINANCE NO. O-2025-14

AN ORDINANCE GRANTING A SPECIAL USE PERMIT TO ALLOW THE CONSTRUCTION AND USE OF A 1,580 SQUARE FOOT COMMERCIAL BUILDING FOR A FAST FOOD AND DRIVE-THROUGH RESTAURANT, ON A CERTAIN PIECE OF PROPERTY COMMONLY KNOWN AS 1815 N. MAIN STREET - POPEYES

WHEREAS, written application has been made requesting a special use permit pursuant to Article 18.3 of the Wheaton Zoning Ordinance to allow the construction and use of a 1,580 square foot commercial building for a fast food and drive-through restaurant, all on certain property legally described herein and commonly known as 1815 N. Main Street, Wheaton, Illinois 60187; and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on February 25, 2025 and March 11, 2025, to consider the special use permit; and the Planning and Zoning Board has recommended approval of the special use permit.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: The following described property has been and continues to be zoned and classified in the C-3 General Commercial District zoning classification:

LOT 2 IN BLOCK 4 IN ARTHUR T. MCINTOSH AND COMPANY'S GENEVA ROAD SUBDIVISION, BEING A SUBDIVISION IN THE NORTHWEST QUARTER OF SECTION 9, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 26, 1924 AS DOCUMENT 179449 AND CERTIFICATE OF CORRECTION FILED AUGUST 15, 1924 AS DOCUMENT 180974, IN DUPAGE COUNTY, ILLINOIS.

P.I.N.: 05-09-108-002

The subject property is commonly known as 1815 N. Main Street, Wheaton, IL 60187.

Section 2: Pursuant to the Findings of Fact made and determined by the Wheaton Planning and Zoning Board, a special use permit pursuant to Article 18.3 of the Wheaton Zoning Ordinance is granted to allow the construction and use of a 1,580 square foot commercial building for a fast food and drive-through restaurant at 1815 N. Main Street, in full compliance with the following plans: "Site Plan and Signage", "Elevations and Trash Enclosure", and "Fence and Wall Details", prepared by Thomas V. Scesniak Associates, Schamburg, IL, dated March 24, 2024 and revised March 6, 2025; "Site Plan - Popeyes Louisiana Kitchen, 1815 N. Main Street, Wheaton IL", prepared by Gewalt Hamilton Associates, Inc., Vernon Hills, IL, dated December 20, 2024 and revised March 4, 2025; and "Preliminary Engineering and Landscape Plans - Popeyes Louisiana Kitchen, 1815 N. Main Street, Wheaton IL", prepared by Gewalt Hamilton Associates, Inc., Vernon Hills, IL, dated December 20, 2024, subject to the following conditions:

1. The photometrics plan shall be revised to meet code;
2. All floodplain and wetland permitting shall be authorized by DuPage County as the City of Wheaton is a partial waiver community;
3. The underground compensatory storage facility shall be constructed with proper foundations and structural engineering calculations to ensure that the proposed underground structure is

able to be built on these soils. All outside consultant review fees charged to the City in the review of such structural engineering calculations shall be charged to the applicant as a plan review fee; and

4. The preliminary engineering plan shall be subject to further staff review prior to the issuance of a site development permit.

Section 3: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 4: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.

Philip J. Suess
Mayor

ATTEST:

Andrea Rosedale
City Clerk

Roll Call Vote:

Ayes: Councilman Weller
Councilman Barbier
Councilwoman Bray-Parker
Councilman Brown
Mayor Suess
Councilman Clousing
Councilwoman Robbins

Nays: None

Absent: None

Motion Carried Unanimously

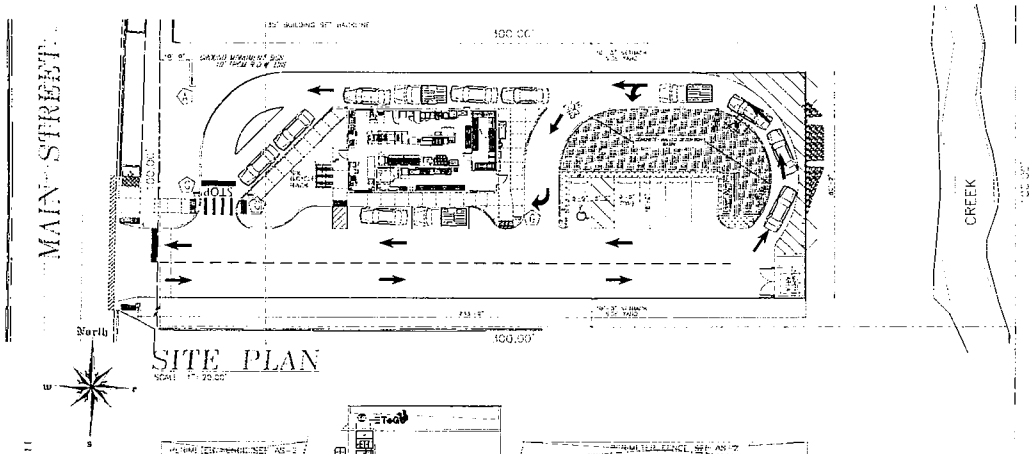
Passed: April 7, 2025
Published: April 8, 2025

POPEYES

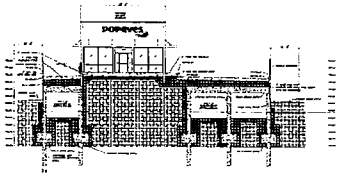
SITE DATA

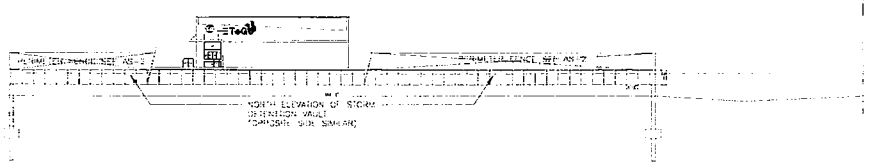
DATA BUILDING SF = 1,380.00 SF
DATA PARKING REQ'D = 27.6000 = 28.00
DATA PARKING PROVIDED = 28
DATA RATIO = 0
DATA SF OF SITE = 26,994.90 SF

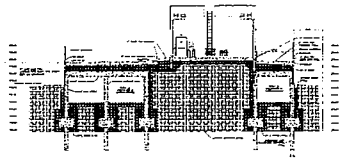
DATA GROUND COVER = 14,926 SF
DATA PAVING SF = 11,268 SF



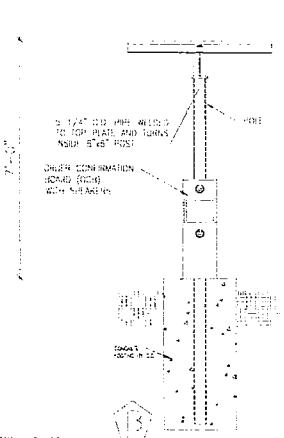
SITE PLAN
SCALE: 1" = 20.00'





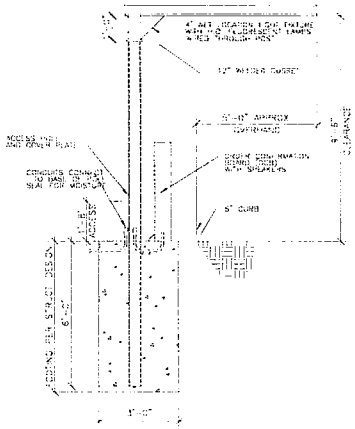


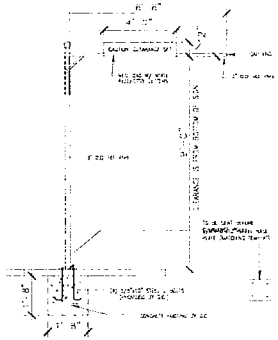
POPEYES



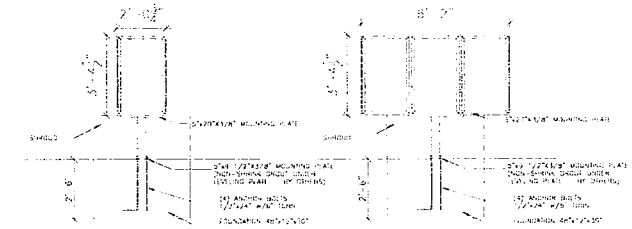
MONUMENT SIGN

SPEAKER CANOPY



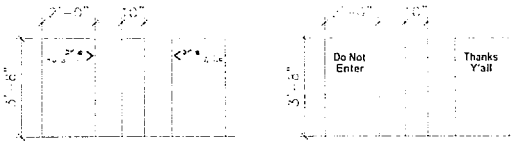


CLEARANCE SIGN



PREVIEW BOARD
NTS

PREVIEW BOARD
NTS



DIRECTIONAL SIGN
NTS

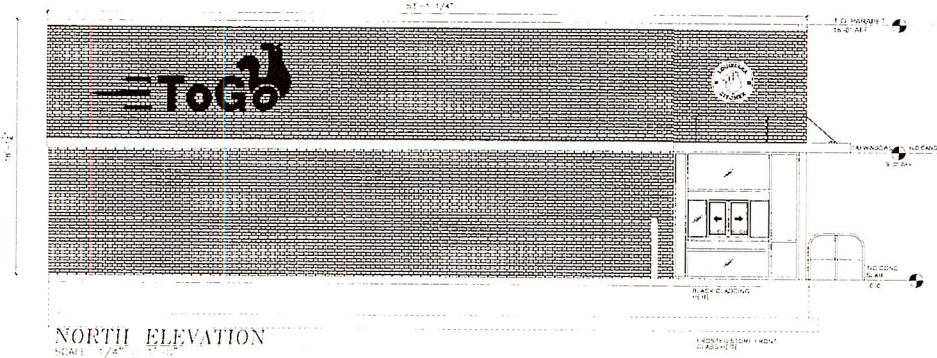
DIRECTIONAL SIGN
NTS

THOMAS V. SCESNIAK associates

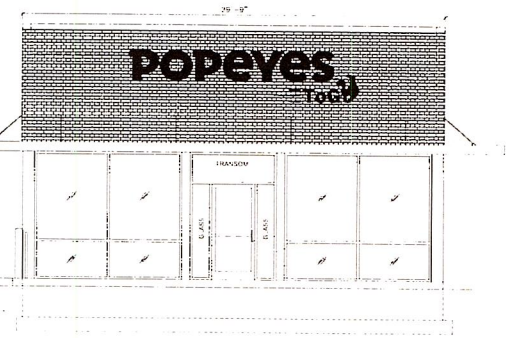
NEW FACILITY
POPEYES
FOR VALENTI RESTAURANTS

SITE PLAN & SIGNAGE

AS-B



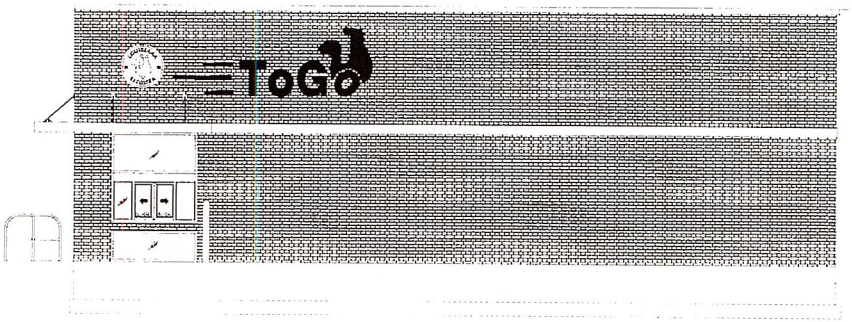
NORTH ELEVATION
SCALE 1/4" = 1'-0"



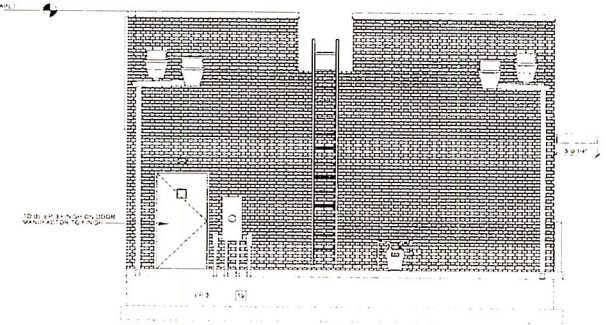
WEST ELEVATION
SCALE 1/4" = 1'-0"

KEYNOTES

SYMBOL LEGEND



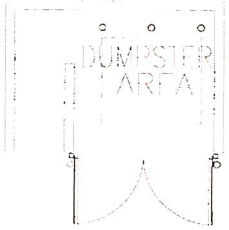
SOUTH ELEVATION
SCALE 1/4" = 1'-0"



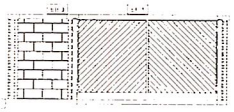
EAST ELEVATION
SCALE 1/4" = 1'-0"

ELEVATION GENERAL NOTES

- PORCHASE OR WHITE/RED BRICK AND WOOD GRAIN SEATS TO BE VIA MANUFACTURER VENDOR (WITHIN OR EQUAL)
- WOOD GRAIN TOWERS TO BE PURCHASED EITHER DIRECTLY (VIA TRACK) OR PROVIDED BY SIGNAGE COMPANY
- ANY ELEVATIONS MUST BE SUBMITTED AS AN EXCEPTION REQUEST
- ALL AWNINGS SHALL BE PAINTED ACCORDING TO THE FACADE COLOR
  - FACADE DESIGN IS WHITE PARAPET COLOR SHALL BE WHITE
  - FACADE IS RED BRICK PARAPET SHALL BE PAINTED BROWN
- PLEASE MAKE SURE TO REFERENCE LATEST FINISH SCHEDULE IN THE DESIGN PORTAL ON A REGULAR BASIS
- ALL CANOPIES TO BE REAL EGIFT AT DRIVE THRU WINDOW
- ALL EXTERIOR GLASS DOORS TO BE CHANGE DOORS



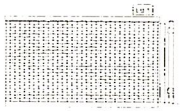
PLAN @ DUMPSTER
SCALE 1/4" = 1'-0"



SOUTH ELEVATION
SCALE 1/4" = 1'-0"

WEST ELEVATION
SCALE 1/4" = 1'-0"

NORTH ELEVATION
SCALE 1/4" = 1'-0"



EAST ELEVATION
SCALE 1/4" = 1'-0"

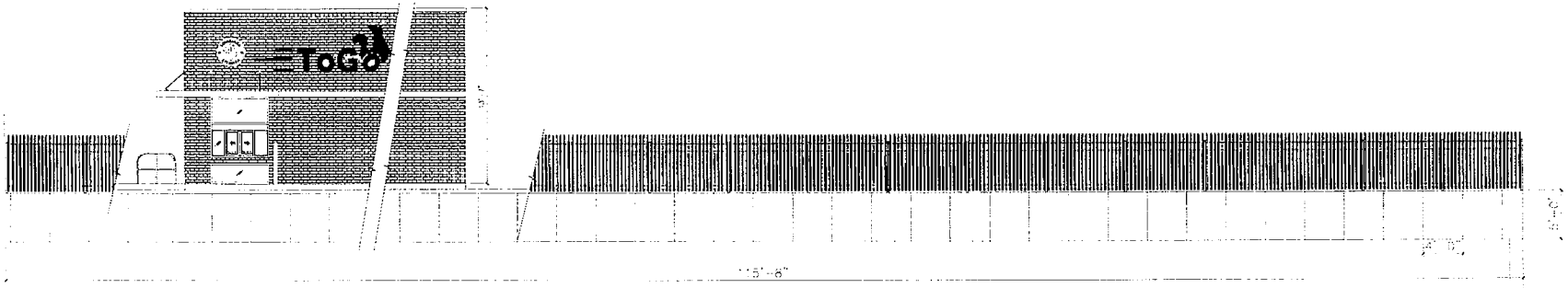
POPEYES LOUISIANA KITCHEN - EXTERIOR FINISH SCHEDULE

CODE	MATERIAL	LOCATION	COLOR MANUFACTURER	COLOR PRODUCT	COLOR COLOR	DIMENSION	MADE (TBD)	ADDITIONAL INFORMATION
EF-1	POPEYES SIGNAGE (TYPE)	DUMPSTER GATES	KICHAM	VINTAGE WOOD AWP 3000	CEDAR	12'-0"WIDTH 5'-0"H	NOLA MAKERS	Brand Standard SHALL BE PAINT WITH A CONCRETE SEAL
EB-1	BRICK (SIDE SYSTEM)	ALL AREAS OF BUILDING & DUMPSTER	SOUTH FRENCH CERAMIC	VINTAGE BRICK	WHITE SMOKE	2.5"-3"W X 7.5"H X 2.5"D	NOLA MAKERS	BRAND STANDARD SHALL BE PAINT WITH A CONCRETE SEAL
EP-1	EXTERIOR PAINT	REAR DOOR	BENJAMIN MOORE	LATEX SPEC EXT 100% (SATIN FINISH)	HC-179 (PLATEAU GRAY)		NOLA MAKERS	BRAND STANDARD
EP-2	EXTERIOR PAINT	REAR DOOR	BENJAMIN MOORE	LATEX SPEC EXT 100% (SATIN FINISH)	HC-179 (PLATEAU GRAY)		NOLA MAKERS	BRAND STANDARD
EP-3	METAL PAINT	HEADERS	BENJAMIN MOORE	EXTERIOR HIGH SOLIDS GLOSS DPM ENAMEL	SAN JUAN YELLOW		NOLA MAKERS	BRAND STANDARD
EP-4	EXTERIOR PAINT	CORNICE & BOWN SPOUT SYSTEM	BENJAMIN MOORE	LATEX SPEC EXT 100% (SATIN FINISH)	DOT (TANGERINE MIX)		NOLA MAKERS	BRAND STANDARD
E-3	CANOPY METAL	EXISTING CANOPIES	PROVIDED BY MANUFACTURER	PROTECTIVE BY MANUFACTURER	REAL PANTONE 2236 C		NOLA MAKERS	PROVIDED BY MANUFACTURER
EH-1	DOOR	MAIN ENTRANCE DOOR	PROVIDED BY MANUFACTURER	PROVIDED BY MANUFACTURER	ORANGE PANTONE 2584 C		NOLA MAKERS	BRAND STANDARD

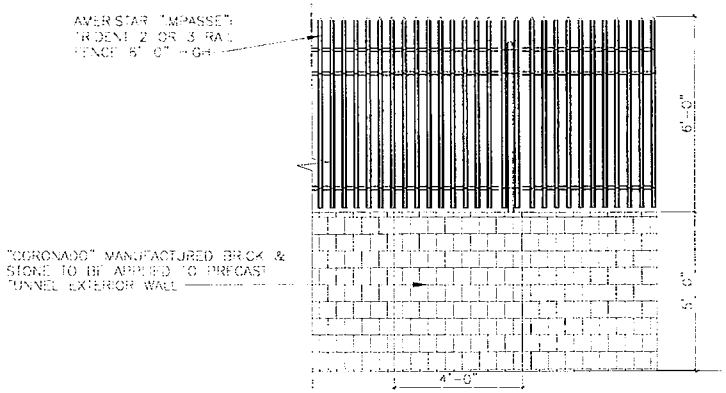
THOMAS V. SCESNIAK associates

POPEYES
1515 MAIN STREET, NEW ORLEANS, LOUISIANA 70115

A-1



NORTH ELEVATION



DETAIL @ TUNNEL WALL

THOMAS V. SCESNIAK associates

FOODMASTERS

NEW FACILITY
1815 MAIN STREET, NEENAH, WISCONSIN 54956
for ARGEL TANZANIA

FENCE AND WALL DETAILS

AS-2

SITE DATA

LOCATION	CITY OF WHEATON, ILLINOIS DUPAGE COUNTY
BUILDING AREA SITE AREA	5,047 SF 0.66 ACRES
ZONING DISTRICT NAME ZONING DISTRICT USE	CITY OF WHEATON, ILLINOIS C-3, GENERAL BUSINESS DISTRICT RESTAURANT, FAST FOOD & DRIVE-IN RESTAURANT
PARKING COUNT	REQUIRED: THE WHEATON ZONING CODE DOES NOT PROVIDE FOR DRIVE THRU/DRIVE-IN ONLY RESTAURANT SERVICE PROVIDED: 4 REGULAR SPACES (1 SIDEWALK OVER) 2 PICK UP SPACES (1 ADA SPACE) 6 TOTAL SPACES
SERVICE WINDOW	REQUIRED: 7 SPACES PER SERVING WINDOW (DRIVE ZONING) 5 SPACES WILL BE TAKEN ORDER AND PICK-UP STATION SPACES FOR ORDER WAITING AREA BASED ON PEAK LOAD PROVIDED: 3 SPACES FOR ONE SERVING WINDOW 2 SPACES BETWEEN ORDER AND PICK-UP STATION 1 SPACE FOR ORDER WAITING AREA
MAIN ST. SETBACKS (N. OF PHASE AVE.)	BUILDING SETBACK: GREATER OF 70 FT MIN FROM ROAD CENTERLINE OR 20 FT FROM THE ROAD R.O.W. SIGN SETBACK: GREATER OF 50 FT MIN FROM ROAD CENTERLINE OR 10 FT FROM THE ROAD R.O.W.
PARKING SETBACKS	FRONT YARDS: 25 FT MIN FROM FRONT LOT LINE, TO PER DOC. 179449 CORNER YARDS: 25 FT MIN FROM CORNER SIDE LOT LINE SIDE YARDS: 10 FT MIN FROM AN INTERIOR SIDE LOT LINE REAR YARDS: 25 FT MIN FROM REAR LOT LINE
HEIGHT LIMITATIONS	45 FT MAX HEIGHT
LANDSCAPE AREA (FOR PARKING LOTS)	FRONT YARDS: 15 FT MIN WIDTH LANDSCAPE AREA SIDE YARDS: 10 FT MIN WIDTH LANDSCAPE AREA REAR YARDS: 15 FT MIN WIDTH LANDSCAPE AREA
LANDSCAPE AREA (FOR PERIMETER)	FRONT YARD: 8 FT MIN WIDTH ON FRONT YARDS OF PLOT (FRONT YARD INCLUDES SIDEWALKS AND DRIVEWAYS AND LOCATED)
LANDSCAPE AREA (LOT PERIMETER)	15 FT MIN WIDTH LANDSCAPE AREA
OFF STREET LOADING	REQUIRED: ONE 9'x18' SPACE MIN (DRIVE ZONING) PROVIDED: ONE 10'x25'x14' SPACE
YARDS	FRONT YARDS: NOT ALLOWED CORNER YARDS: NOT ALLOWED SIDE YARDS: NOT ALLOWED REAR YARDS: SEE YARD SETBACK REQUIREMENTS

FLOODPLAIN DATA

LOCATION	1815 NORTH MAIN STREET CITY OF WHEATON, ILLINOIS WHEATON TOWNSHIP NW SECTION 9, TOWNSHIP 39 NORTH, RANGE 10 EAST DUPAGE COUNTY THE SITE IS LOCATED NEAR THE SOUTHEAST CORNER OF N. MAIN STREET AND E. COLLEGE AVENUE WITHIN DOWNTOWN WHEATON, ILLINOIS
FLOOD PHOTO	PER FEMA FLOOD INSURANCE STUDY OF DUPAGE COUNTY, ILLINOIS REVISED: AUGUST 1, 2019 NO. 17043CV008B APPROXIMATE CREEK (NEAR) BETWEEN CROSS SECTION WWW 0017 AND WWW 0018
% ANNUAL CHANCE FLOOD (100-YEAR)	1% ANNUAL CHANCE FLOOD (100 YEAR)
DUPAGE CO. FLOOD ELEV:	733.6 USE: 732.7
BASE FLOOD ELEVATION (BFE)	733.6 (100-YEAR)
PROPOSED FFE	PER CITY OF WHEATON STORMWATER MANAGEMENT REGULATIONS FLOOD PROTECTION ELEVATION (FPE) = BFE + 2.0' FPE = 732.6 + 2.0' FPE = 734.6

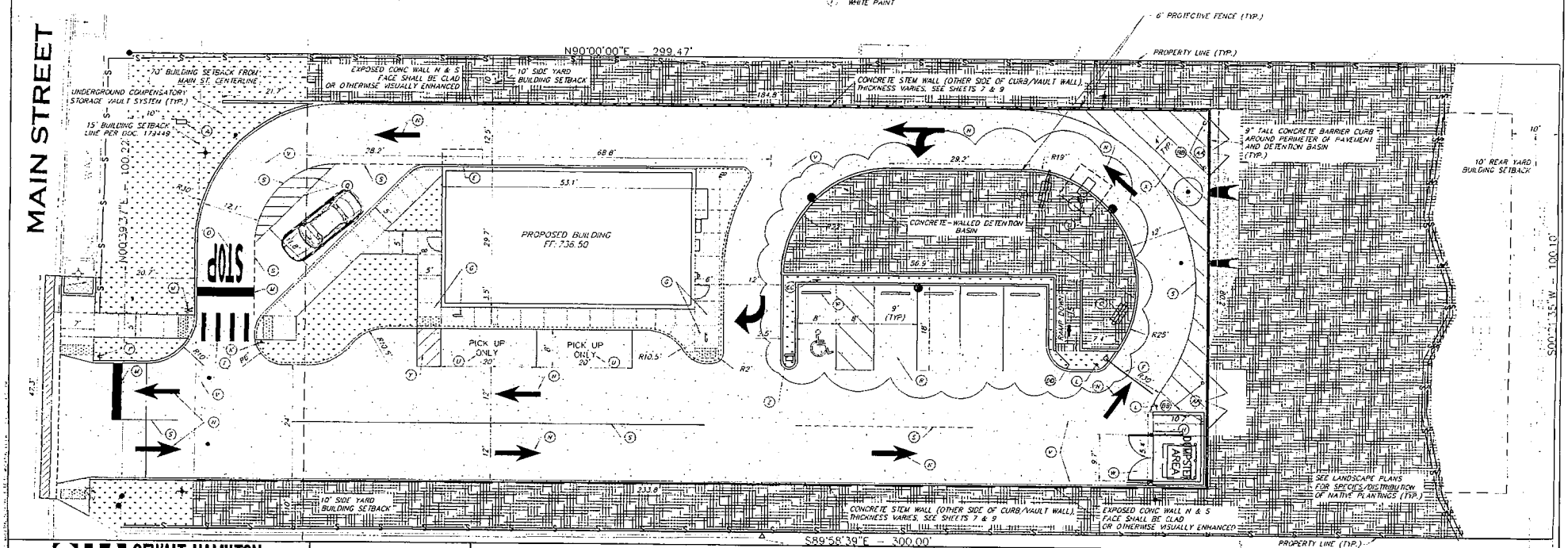
KEY NOTES:

- (A) POPEYES MONUMENT GROUND SIGN, SEE ARCHITECTURAL PLANS
- (B) DIGITAL MENU BOARD – ELEVATED
- (C) DIGITAL PREVIEW BOARD – SPREAD FOUNDATION ON TOP OF PLANKS
- (D) ORDER CONFIRMATION UNIT – ELEVATED
- (E) PICK UP WINDOW
- (F) CLEARANCE BAR – SPREAD FOUNDATION ON TOP OF PLANKS
- (G) ADA RAMP / LANDING
- (H) DUMPSTER ENCLOSURE FENCE
- (I) STOP SIGN
- (J) DOUBLE FACED SIGN, STOP / NO ENTRY
- (K) NO ENTRY SIGN
- (L) DRIVE-THRU ENTER HERE / ONE WAY SIGN
- (M) 24" STOP BAR, WHITE PAINT
- (N) DIRECTIONAL ARROWS, WHITE PAINT
- (O) "STOP" PAVEMENT LETTERS, WHITE PAINT
- (P) WHEEL STOP (TYP.)
- (Q) 4" PARKING STALL LINE & 4" HORIZ LINE SPACED @ 2' O.C., YELLOW PAINT
- (R) 4" PARKING STALL LINE, YELLOW PAINT
- (S) 6" LANE LINE, WHITE PAINT
- (T) 6" WIDE CROSSWALK 1' WIDE BARS, 3' O.C., WHITE PAINT
- (U) "PICK UP ONLY" LETTERING, 30" LETTERS, WHITE PAINT
- (V) PROPOSED UNDERGROUND COMPENSATORY STORAGE VAULT WALLS (TYP.)
- (W) DUMPSTER ENCLOSURE (SEE ARCHITECTURAL PLANS)
- (X) DIAGONAL LINES, 4" YELLOW PAINT, 4' O.C.
- (Y) DIAGONAL LINES, 2" YELLOW PAINT, 2' O.C.
- (Z) CUSTOM DOUBLE-FACED SIGN, SEE ARCHITECTURAL PLANS (DO NOT ENTER/THANKS)
- (AA) 12' DOUBLE SWING GATE
- (BB) PROTECTIVE BOLLARDS
- (CC) ADA SIGN
- (DD) 4' GATE

PROPOSED LEGEND

- PCC PAVEMENT (ALT. HMA PAVEMENT)
- SALVAGED PAVERS
- PCC SIDEWALK
- STREET CUT REPAIR (SEE DETAILS)
- GRASS & TURF RESTORATION
- NATIVE VEGETATION PLANTINGS (SEE LANDSCAPE PLANS)
- BUILDING
- RIP RAP, CLASS RR-3
- DETECTABLE WARNINGS
- 6" WIDE BARRIER CURB
- 6" WIDE BARRIER CURB (DEPRESSED)
- INTEGRATED SIDEWALK/ 6" WIDE BARRIER CURB
- PROTECTIVE FENCE
- PAVEMENT SAWCUT
- PERIMETER EROSION BARRIER
- RETAINING WALLS

GRAPHIC SCALE



GHA GEWALT HAMILTON ASSOCIATES, INC.
625 Forest Edge Drive ■ Vernon Hills, IL 60061
Tel 847.478.9700 ■ Fax 847.478.9701

SITE PLAN

POPEYES LOUISIANA KITCHEN
1815 NORTH MAIN STREET
WHEATON, ILLINOIS

NO.	BY	DATE	REVISION
1	MGW	12-20-24	FIRST COMMENT RESPONSE

NO.	BY	DATE	REVISION

DRAWN BY: MGW DATE: 12-20-24	GHA PROJECT # 0957-0000
CHECKED BY: AJW DATE: 12-20-24	SCALE: 1" = 10'

SHEET NUMBER 4 OF 12 SHEETS

CITY OF WHEATON

POPEYES LOUISIANA KITCHEN

1815 NORTH MAIN STREET
WHEATON, ILLIINOIS

STANDARD SYMBOLS

FEATURE	EXISTING	PROPOSED
BUFFALO BOX		
BUSH/SHRUB		
CATCH BASIN		
CLEANOUT	CO	CO
COMBINE SEWER LINE		
CONTOUR	708	708
CULVERT		
DITCH/SWALE		
ELECTRIC LINE	E	E
ELECTRIC MANHOLE		
FENCE	X X X X	X X X X
FIRE HYDRANT		
FLARED END SECTION		
GAS LINE	G	G
GAS MANHOLE		
GAS VALVE		
INLET		
LIGHT POLE		
OVERHEAD WIRES	A	A
POWER POLE		
R.O.W LINE		
R.O.W MARKER		
SANITARY FORCEMAIN LINE	CC CC	CC CC
SANITARY SEWER LINE	C	C
SANITARY SEWER MANHOLE		
SIGN		
SPOT ELEVATION	×850.00	×850.0
STORM SEWER LINE		
STORM SEWER MANHOLE		
TELEPHONE LINE	T	T
TELEPHONE MANHOLE		
TELEPHONE BOX/PEDESTAL		
TREE-CONIFEROUS (SIZE/TAG#)	345	345
TREE-DECIDUOUS (SIZE/TAG#)	12"	12"
VALVE BOX		
VALVE VAULT		
WATER VALVE		
WATERMAIN LINE	W	W

EXISTING UTILITIES: WHEN THE PLANS OR SPECIAL PROVISIONS INCLUDE INFORMATION PERTAINING TO THE LOCATION OF UNDERGROUND UTILITY FACILITIES, SUCH INFORMATION REPRESENTS ONLY THE OPINION OF THE ENGINEER AS TO THE LOCATION OF SUCH UTILITIES AND IS ONLY INCLUDED FOR THE CONVENIENCE OF THE BIDDER. THE ENGINEER AND OWNER ASSUME NO RESPONSIBILITY WHATEVER IN RESPECT TO THE SUFFICIENCY OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS RELATIVE TO THE LOCATION OF UNDERGROUND UTILITY FACILITIES OR THE MANNER IN WHICH THEY ARE TO BE REMOVED OR ADJUSTED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE ACTUAL LOCATION OF ALL SUCH FACILITIES. HE SHALL ALSO OBTAIN FROM THE RESPECTIVE UTILITY COMPANIES, DETAILED INFORMATION RELATIVE TO THE LOCATION OF THEIR FACILITIES AND THE WORKING SCHEDULES OF THE UTILITY COMPANIES FOR REMOVING OR ADJUSTING THEM.

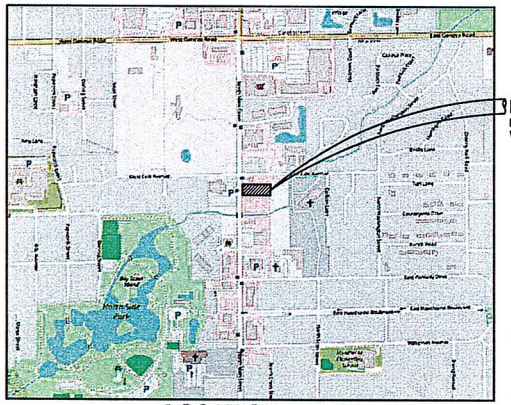
CONTRACTOR IS RESPONSIBLE FOR CONTACTING J.U.L.I.E. AT 1-800-892-0123 AND MUST ACQUIRE A DIG NUMBER A MINIMUM OF 72 HOURS PRIOR TO ANY WORK BEING DONE.

NOTE: CONSTRUCTION MEANS, METHODS AND JOB SITE SAFETY IS THE SOLE AND EXCLUSIVE RESPONSIBILITY OF THE CONTRACTOR

J.U.L.I.E
JOINT UTILITY LOCATION INFORMATION FOR EXCAVATION CALL 811

811 Know what's below. Call before you dig.

N



PROJECT LOCATION
NORTH MAIN STREET
WHEATON, ILLINOIS

LOCATION MAP
(Not to Scale)

SHEET INDEX

BENCHMARKS:

SOURCE BENCHMARK:

DUPAGE COUNTY BENCHMARK MI21001

DISK IN CONCRETE BASE OF TRAFFIC SIGNAL POLE LOCATED AT THE SOUTHEAST CORNER OF PRESIDENT ST. AND GENEVA RD.

ELEVATION: 770.40 (NAVD88)

SITE BENCHMARK:

CROSS CUT IN NORTH DRIVEWAY APPROACH FLARE OF EXISTING DRIVE ON NEIGHBORING PROPERTY TO SOUTH, APPROXIMATELY AT INTERSECTION OF THE PROJECTIONS OF THE SOUTH PROPERTY LINE OF THE PROJECT PROPERTY WEST ACROSS DRIVEWAY FLARE AND THE EAST EDGE OF PAVEMENT OF EXISTING SIDEWALK SOUTH THROUGH THE EXISTING DRIVEWAY APPROACH (SEE EXISTING CONDITIONS/DEMOLITION PLAN).

ELEVATION: 733.85 (NAVD88)

TOPOGRAPHIC SURVEY BY:
WEBSTER, MCGRATH & AHLBERG, LTD.
207 SOUTH NAPERVILLE ROAD
WHEATON, ILLINOIS 60187
TELEPHONE: 630-668-7603

PROFESSIONAL DESIGN FIRM LICENSE:
GEWALT HAMILTON ASSOCIATES, INC.
DESIGN FIRM - LAND SURVEYOR/PROF ENG
LICENSE NUMBER: 184.000922-0010
EXPIRES: 6/30/2025

PLANS PREPARED FOR:
R.A. SOLUTIONS, INC.
1711 MAPLE AVENUE
HANOVER PARK, ILLINOIS 60133
TELEPHONE: 630-745-9226
ATTN.: MR. AKEEL RAMZANALI

COORDINATING/PERMITTING AGENCIES:

CITY OF WHEATON	1-630-260-2000
DUPAGE COUNTY	1-630-407-6500
US ARMY CORPS OF ENGINEERS	1-312-846-5530

SIGNED: _____ P.E.
DONALD E. DIXON

DATE: DECEMBER XX, 2024

ILLINOIS LICENSE NO.: 062-051136

EXPIRATION DATE: NOVEMBER 30, 2025

CITY REVIEW SET

GEWALT HAMILTON ASSOCIATES, INC.
625 Forest Edge Drive ■ Vernon Hills, IL 60061
TEL 847.478.9700 ■ FAX 847.478.9701

TITLE SHEET
POPEYES LOUISIANA KITCHEN
1815 NORTH MAIN STREET
WHEATON, ILLINOIS

NO.	BY	DATE	REVISION	NO.	BY	DATE	REVISION

FILE: 5828.000-Popeyes Wheaton-DT.dwg
DRAWN BY: TLM DATE 12-20-24
CHECKED BY: AJP DATE 12-20-24
GHA PROJECT # 5828.000
SCALE: N.A.

EXISTING CONDITION AND DEMOLITION NOTES

1. PRIOR TO STARTING ANY CONSTRUCTION, PROVIDE SOIL EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN ON THE PLANS AND AS REQUIRED PER IEPA NPDES GUIDELINES. REFER TO NOTES AND DETAILS THROUGHOUT THE ENTIRE PLAN SET.
2. CONTRACTOR SHALL REFER TO SUBSURFACE SOIL EXPLORATION REPORT.
3. NORTH MAIN STREET IS UNDER THE JURISDICTION OF THE CITY OF WHEATON. ALL WORK WITHIN THE RIGHT OF WAY WILL REQUIRE A PERMIT.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FENCING THE ACTIVE WORK ZONE FROM THE PUBLIC AND PROTECTING THE PUBLIC FROM ANY CONSTRUCTION RELATED HAZARDS. AT A MINIMUM, ALL EXCAVATION, DEMOLITION AREAS AND OTHER AREAS POTENTIALLY HAZARDOUS TO PEDESTRIANS AND VEHICLES MUST BE PROTECTED.
5. AT ALL TIMES, MAIN STREET SHALL REMAIN OPEN AND UNOBSTRUCTED. TEMPORARY SHUT DOWN OF ONE TRAFFIC LANE AT A TIME WILL BE PERMITTED FOR SHORT TERM PERIODS AND SHALL BE COORDINATED WITH APPOINTED PROPERTY OWNER CONSTRUCTION STAFF. SHORT TERM CLOSINGS SHALL BE COMPLETED WITHIN THE WORK DAY AND RESTORED TO UNOBSTRUCTED ACCESS BY THE CLOSE OF THE WORK DAY.
6. TEMPORARY STONE OR ASPHALT PATHWAYS SHALL BE PROVIDED AS NEEDED THROUGHOUT THE COURSE OF CONSTRUCTION TO FACILITATE SAFE PEDESTRIAN AND VEHICULAR MOVEMENT. THE LONGITUDINAL SLOPE OF SUCH PATHS SHALL NOT EXCEED 5% AND CROSS SLOPES SHALL NOT EXCEED 2%. PROVIDE 6" CA-6 BASE AND 2" SURFACE ASPHALT.
7. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION AND DISPOSAL OF ALL EXISTING IMPROVEMENTS ONSITE NECESSARY TO COMPLETE THE JOB. THESE IMPROVEMENTS INCLUDE, BUT ARE NOT LIMITED TO, EXISTING PAVEMENTS, CURBS, SIDEWALKS, FENCES, AND OTHER STRUCTURES WITHIN THE WORK AREA. EXCAVATE AND GRADE TO PROPOSED PAVEMENT AND BUILDING SUBBASE GRADES. (REFER TO FOUNDATION PLANS FOR PROPOSED BUILDING SUBBASE GRADES.) THESE ITEMS SHALL BE COMPLETELY REMOVED AND LEGALLY DISPOSED OF OFFSITE. APPROVAL FROM THE PROJECT ENGINEER SHALL BE OBTAINED PRIOR TO REMOVING ANY EXISTING ITEMS NOT SHOWN OR MARKED FOR REMOVAL ON THIS SHEET.
8. REMOVE EXISTING UTILITIES AS SHOWN. UTILITIES THAT ARE REMOVED, UNLESS OTHERWISE NOTED, SHALL BE BACKFILLED WITH CA-6 CRUSHED STONE IN LIFTS OF 8" OR LESS AND COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
9. THE CONTRACTOR SHALL INCLUDE ALL ASSOCIATED COSTS WITH THE REMOVAL, TRANSPORT, DISPOSAL, TESTING AND CERTIFICATION OF "UNCONTAMINATED SOIL" AS DEFINED UNDER 415 ILCS 5/3.160 INCLUDING ANY FEES, TAXES, OR SURCHARGES CHARGED BY OR THROUGH THE OPERATOR(S) OF CLEAN CONSTRUCTION OR DEMOLITION DEBRIS FILL OPERATIONS OR UNCONTAMINATED SOIL FILL OPERATIONS FOR THE ACCEPTANCE OF UNCONTAMINATED SOIL.
10. ALL VEGETATION AND LANDSCAPED AREAS NOT SHOWN REMAINING SHALL BE REMOVED AND DISPOSED OF OFFSITE PROPERLY. REFER TO LANDSCAPE PLANS FOR DETAILED INFORMATION ON PLANTING REMOVALS AND TRANSPLANTS.
11. THE CONTRACTOR SHALL SUBMIT TO THE OWNER AND / OR CITY A CONSTRUCTION STAGING AND FENCING PLAN. PEDESTRIAN ACCESS CONFORMING TO ADA STANDARDS SHALL BE MAINTAINED ON ALL ADA ROUTES IMPACTED BY CONSTRUCTION AT ALL TIMES.
12. CONTRACTOR TO STRIP EXISTING TOPSOIL AND STOCKPILE IN THE LOCATION SHOWN ON THE PLANS. PRIOR TO FINAL PLACEMENT OF TOPSOIL THE TOPSOIL SHALL BE PULVERIZED ON-SITE.
13. EXISTING CONDITION SURVEY PROVIDED BY WEBSTER, MCGRATH & AHLBERG, LTD. DATED AUGUST 7TH, 2017.

REMOVAL LEGEND

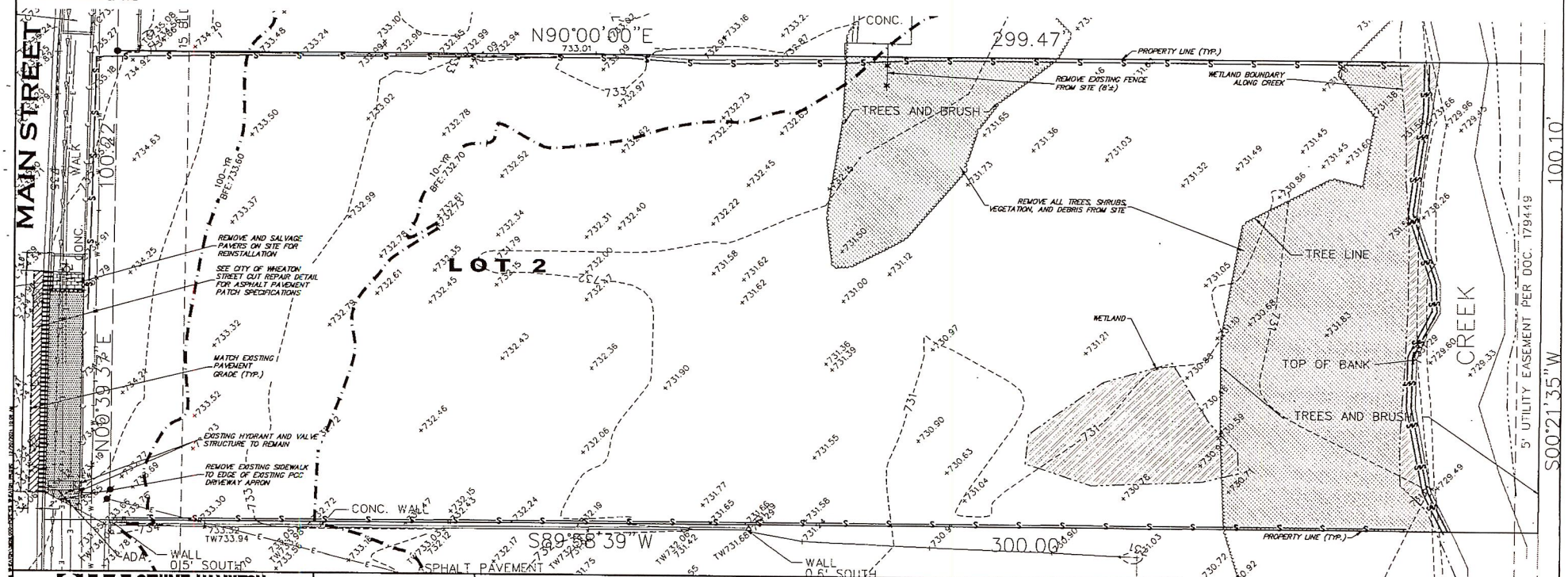
- ASPHALT PAVEMENT PATCH
- EARTH/GRAVEL REMOVAL
- SIDEWALK REMOVAL
- PAVER REMOVAL AND SALVAGE
- WETLANDS/WATERS OF THE U.S. IMPACT
- CLEARING AND GRUBBING
- PERIMETER EROSION BARRIER
- CURB/COMBINATION CURB AND GUTTER REMOVAL
- UTILITY TO BE REMOVED
- PAVEMENT SAWCUT
- B.F.E. LINE
- WETLANDS/WOUS BOUNDARY

N

GRAPHIC SCALE

10 0 5 10

(IN FEET)
1 inch = 10 ft.



GHA GEWALT HAMILTON ASSOCIATES, INC.
625 Forest Edge Drive ■ Vernon Hills, IL 60061
TEL 847.478.9700 ■ FAX 847.478.9701

EXISTING CONDITIONS/DEMOLITION PLAN

POPEYES LOUISIANA KITCHEN
1815 NORTH MAIN STREET
WHEATON, ILLINOIS

NO.	BY	DATE	REVISION	NO.	BY	DATE	REVISION

FILE: 5828.000-Popeyes Wheaton-PR.dwg		SHEET NUMBER: 2
DRAWN BY: TLM DATE: 12-20-24	GHA PROJECT # 5828.000	
CHECKED BY: AJP DATE: 12-20-24	SCALE 1" = 10'	OF 19 SHEETS

UTILITY PLAN NOTES

1. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO INITIATING WORK. ANY DISCREPANCIES FOUND BETWEEN THE INFORMATION NOTED ON THE PLANS AND ACTUAL FIELD CONDITIONS, OR ANY CONFLICTS WITH PROPOSED IMPROVEMENTS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR SHALL NOT PROCEED ANY FURTHER UNTIL GIVEN WRITTEN CLARIFICATION ON HOW TO PROCEED.
2. INSTALL STORM SEWER AS SHOWN. REFER TO STORM SEWER REQUIREMENT TABLE ON GENERAL NOTES SHEET FOR PIPE MATERIAL, JOINT, FRAME AND GRATE, STONE BEDDING AND TESTING REQUIREMENTS.
3. INSTALL SANITARY SEWER AS SHOWN. REFER TO SANITARY SEWER REQUIREMENT TABLE ON GENERAL NOTES SHEET FOR PIPE MATERIAL, JOINT, FRAME AND GRATE, STONE BEDDING AND TESTING REQUIREMENTS.
4. INSTALL WATERMAIN AS SHOWN. REFER TO WATER MAIN REQUIREMENT TABLE ON GENERAL NOTES SHEET FOR PIPE MATERIAL, JOINT, FRAME AND GRATE, VALVES, FIRE HYDRANT, STONE BEDDING AND TESTING REQUIREMENTS.
5. CONTRACTOR SHALL PROVIDE THE FOLLOWING AS-CONSTRUCTED DOCUMENTS AT THE CONCLUSION OF THE PROJECT:
   a. WATER MAIN
      - AS-CONSTRUCTED LOCATION OF ALL BENDS, TEES, VALVES, COPPER UNIONS, ETC. (MEASURED DIMENSION FROM TWO FIXED ABOVE GRADE OBJECTS ARE REQUIRED FOR BURIED OBJECTS)
      - RIM AND TOP OF PIPE ELEVATIONS FOR ALL STRUCTURES
      - PROVIDE ALL TESTING DOCUMENTATIONS.
   b. SANITARY SEWER
      - AS-CONSTRUCTED LOCATIONS OF STRUCTURES, SERVICE CONNECTIONS, CLEANOUTS.
      - RIM AND INVERT ELEVATIONS.
      - COLOR VIDEO WITH TRANSCRIPT REQUIRED FOR NEW SEWER LINES INSTALLED.
   c. STORM SEWER
      - AS-CONSTRUCTED LOCATIONS OF STRUCTURES, SERVICE CONNECTIONS, CLEANOUTS.
      - RIM AND INVERT ELEVATIONS.
6. REFER TO MEP AND ARCHITECTURAL PLANS FOR ELECTRIC AND GAS REQUIREMENTS AND FINAL ROUTING.
7. THE CONTRACTOR SHALL INCLUDE ALL ASSOCIATED COSTS WITH THE REMOVAL, TRANSPORT, DISPOSAL, TESTING AND CERTIFICATION OF "UNCONTAMINATED SOIL" AS DEFINED UNDER 415 ILCS 5/3.160 INCLUDING ANY FEES, TAXES, OR SURCHARGES CHARGED BY OR THROUGH THE OPERATOR(S) OF CLEAN CONSTRUCTION OR DEMOLITION DEBRIS FILL OPERATIONS OR UNCONTAMINATED SOIL FILL OPERATIONS FOR THE ACCEPTANCE OF UNCONTAMINATED SOIL.
8. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE TO ALL INLETS AND CATCHBASINS. AREAS OF SURFACE PONDING SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
9. DRAINAGE, SEWER AND VALVE VAULT RIMS SHALL BE FLUSH WITH ADJACENT FINISHED GRADES. ALL RIM ELEVATION OF STRUCTURES SHALL BE ADJUSTED TO FINISHED GRADE OF ROADWAYS, ISLAND, CURBLINES, ETC. IF A CONFLICT EXISTS, NOTIFY ENGINEER PRIOR TO FINAL ADJUSTMENT OF STRUCTURE ELEVATION.
10. INSTALL SITE LIGHTING PER ELECTRICAL PLANS. REFER TO ELECTRICAL PLANS FOR LIGHT FIXTURE, POST, MAKE AND MODEL AND FOUNDATION DETAILS. ALSO REFER TO ELECTRICAL PLANS FOR FINAL WIRE ROUTING CONNECTIONS AND REQUIREMENTS.

UTILITY PLAN LEGEND

- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATERMAIN
- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED WATERMAIN

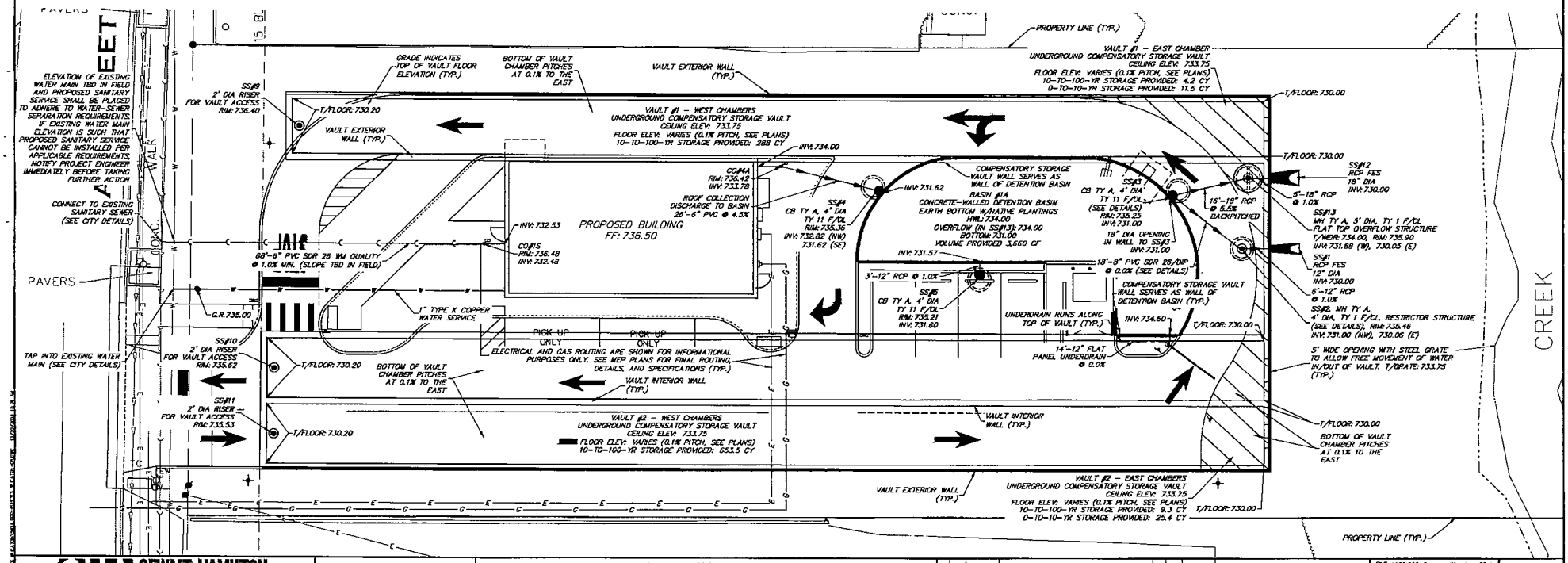
EXISTING	PROPOSED	
		STORM MANHOLE
		STORM CATCHBASIN
		STORM INLET
		FLARED END SECTION
		SANITARY MANHOLE
		VALVE VAULT
		VALVE BOX
		BUFFALO BOX
		STREET LIGHT
		SIGN

N

GRAPHIC SCALE

10 0 5 10

(IN FEET)
1 inch = 10 ft.



GHA GEWALT HAMILTON ASSOCIATES, INC.
625 Forest Edge Drive ■ Vernon Hills, IL 60061
Tel: 847.478.9700 ■ Fax 847.478.9701

UTILITY PLAN

POPEYES LOUISIANA KITCHEN
1815 NORTH MAIN STREET
WHEATON, ILLINOIS

NO.	BY	DATE	REVISION	NO.	BY	DATE	REVISION

FILE: 5828.000-Popeyes Wheaton-GR.dwg
DRAWN BY: TLM
DATE: 12-20-24
CHECKED BY: AJP
DATE: 12-20-24
GHA PROJECT #: 5828.000
SCALE: 1" = 10'
SHEET NUMBER: 5 OF 19 SHEETS

BEFORE IMPROVEMENTS

10-YEAR BFE = 732.7

CAPACITY BETWEEN 732.7 AND EG* = XXX.X CY
FILL ADDED IN 10-YEAR FLOODPLAIN = 249.17 CY (XXX.X-XXX.X)
COMPENSATORY STORAGE REQUIRED IN 10-YEAR FLOODPLAIN = 373.75 CY (1.5 X 249.17 CY [PER COUNTY REQUIREMENTS])
CUT ADDED IN 10-YEAR FLOODPLAIN = 806.31 CY (XXX.X-XXX.X)

NET CUT ADDED IN 10-YEAR FLOODPLAIN = 432.56 CY

100-YEAR BFE = 733.6

CAPACITY BETWEEN 733.6 AND EG = XXX.X CY

100-10 YEAR FLOODPLAIN
CAPACITY BETWEEN 733.6 AND 732.7 = XXX.X CY (XXX.X-XXX.X)
FILL ADDED IN 100-10-YEAR FLOODPLAIN = 274.48 CY (XXX.X-XXX.X)
CUT ADDED IN 100-10-YEAR FLOODPLAIN = 31.89 CY (XXX.X-XXX.X)
COMPENSATORY STORAGE REQUIRED IN 100-10-YEAR FLOODPLAIN = 411.69 CY (1.5 X 274.48 CY [PER COUNTY REQUIREMENTS])

NET FILL ADDED IN 100-10-YEAR FLOODPLAIN = 242.57 CY

TOTAL COMPENSATORY VOLUME REQUIRED

TOTAL FILL ADDED IN FLOODPLAIN = 523.63 CY (249.17 CY + 274.46 CY)
PER COUNTY, COMPENSATORY VOLUME = 1.5 X TOTAL FILL ADDED IN FLOODPLAIN
TOTAL COMPENSATORY VOLUME NEEDED = 785.45 CY (1.5x523.63) or 21,207 CF

AFTER IMPROVEMENTS

10-YEAR BFE = 732.7
CAPACITY BETWEEN 732.7 AND FG* = X.X CY

100-YEAR BFE = 733.6
CAPACITY BETWEEN 733.6 AND FG = X.X CY

100-10 YEAR FLOODPLAIN
CAPACITY BETWEEN 733.6 AND 732.7 = X.X CY (X.X-X.X)

*
EG = EXISTING GRADE
FG = FINISHED GRADE

COMPENSATORY STORAGE NARRATIVE

Compensatory storage was provided for the fill that was placed in the 0 to 10-Year floodplain and the 10 to 100-Year floodplain. Storage is also provided for the 50% increase as required by the City of Wheaton. See Sheet 3 for Floodplain Data.

The volume for the compensatory storage is being provided in the form of a concrete vault system underground. The inside bottom of the vault system ranges from 730.00 at the east end and slopes upward at 0.1% to the west and where bottom elevation is 730.20. The inside top of the system is at elevation 733.75 resulting in an average depth of 3.65 feet to store floodwater.

The vault system is comprised of two vaults, each with internal chambers divided by walls featuring openings at floor elevation for water passage.

The operation of the system is as follows:

0 to 10-Year Flood
Water enters both the north and south vaults through the east end via several 5'x3.75' rectangular openings (with metal trash grates) that allow free movement of floodwater into/out of the vaults. The 10-yr flood is stored between the vault floor and the 10-yr BFE (732.70).

10 to 100-Year Flood & 50% Increase
The 10-100-year flood is stored in the two vaults between elevations 732.7 (10-yr BFE) and 733.6 (100-yr BFE), and where excess space between the vault floors and the 10-yr BFE exists that is not required space for 0-10-yr flood storage (approximately 156.1 CY of 10-100-yr flood is stored in excess storage provided between the vault floors and the 10-yr BFE). Note the 100-yr BFE is 733.60.

As the flood water recedes, water moves east down the 0.1% pitch of the vault floors, allowing complete drainage of each vault through the grated-rectangular openings near the creek on the east end.

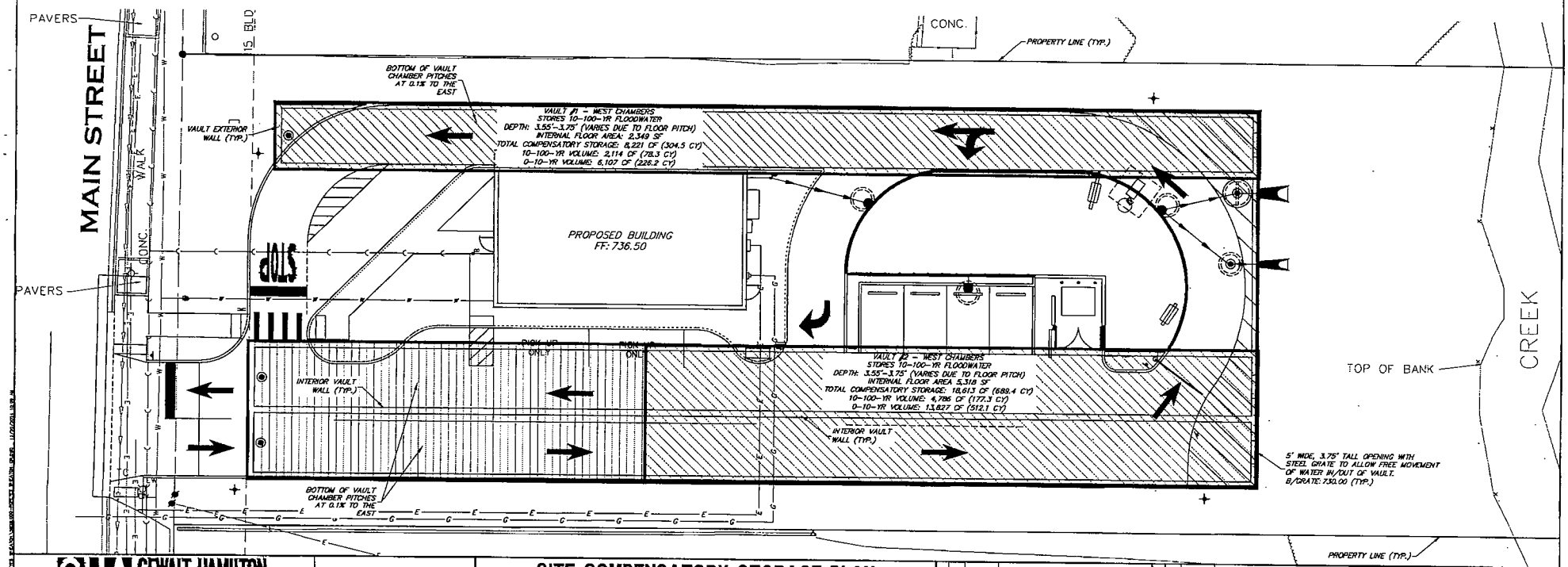
LEGEND

0-100-YR FLOODPLAIN STORAGE VOLUME = 732.08 CY
TOP ELEV: 733.60, BOTTOM ELEV: 730.00-730.20 (VARIES)

COUNTY REQUIREMENT STORAGE INCREASE (50% OF TOTAL FILL VOLUME BELOW 100-YR BFE) = 261.82 CY
TOP ELEV: 733.60, BOTTOM ELEV: 730.10-730.20 (VARIES)

N

GRAPHIC SCALE
10 0 5 10
(IN FEET)
1 inch = 10 ft.



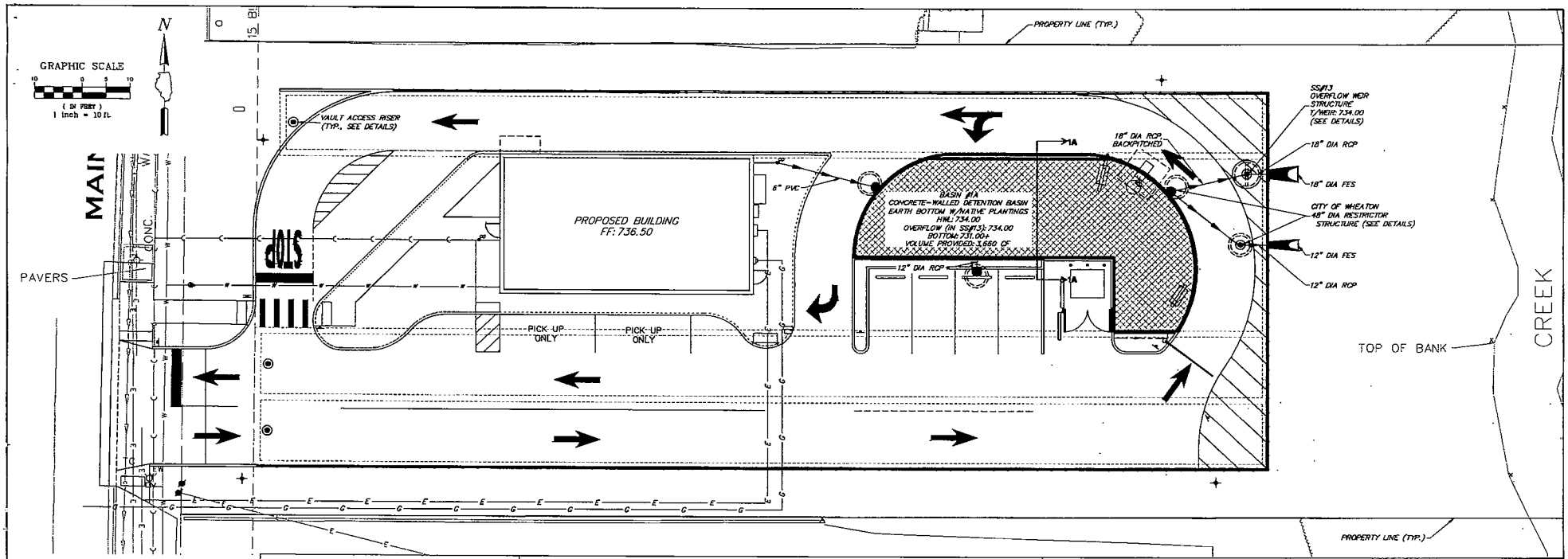
GEWALT HAMILTON ASSOCIATES, INC.
625 Forest Edge Drive ■ Vernon Hills, IL 60061
TEL 847.478.9700 ■ FAX 847.478.9701

SITE COMPENSATORY STORAGE PLAN

POPEYES LOUISIANA KITCHEN
1815 NORTH MAIN STREET
WHEATON, ILLINOIS

NO.	BY	DATE	REVISION	NO.	BY	DATE	REVISION

FILE: 5828.000-Popeyes Wheaton-GR.dwg
DRAWN BY: TLM DATE: 12-20-24
GHA PROJECT #: 5828.000
CHECKED BY: AJP DATE: 12-20-24
SCALE: 1" = 10'
SHEET NUMBER: 6 OF 19 SHEETS



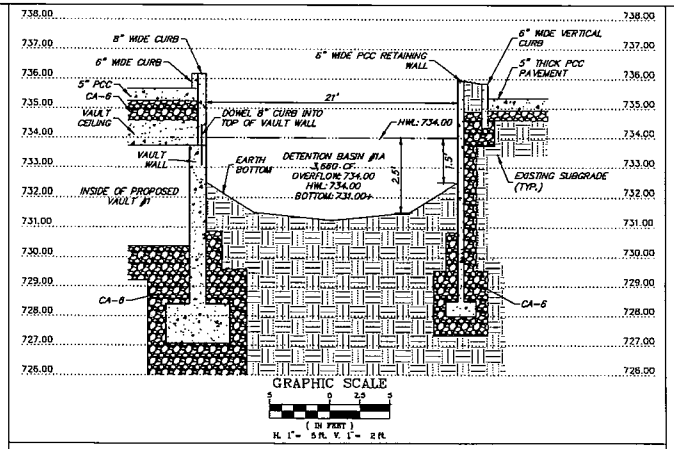
LEGEND

- DETENTION BASIN
- PROPOSED STORM SEWER
- STORM MANHOLE
- STORM CATCHBASIN
- FLARED END SECTION

DETENTION SUMMARY:

HWL: 734.00
OVERFLOW: 734.00 (WEIR INSIDE CONTROL STRUCTURE SS#13)
INV: 731.00

DETENTION STORAGE REQUIRED (TOTAL): 3,539 CF
DETENTION STORAGE PROVIDED (TOTAL): 3,660 CF



SECTION 1A - 1A

GHA GEWALT HAMILTON ASSOCIATES, INC.
625 Forest Edge Drive ■ Vernon Hills, IL 60061
TEL 847.478.9700 ■ FAX 847.478.9701

SITE DETENTION PLAN

POPEYES LOUISIANA KITCHEN
1815 NORTH MAIN STREET
WHEATON, ILLINOIS

NO.	BY	DATE	REVISION	NO.	BY	DATE	REVISION

FILE: 5828.000-Popeyes Wheaton-DP.dwg
DRAWN BY: TLH DATE: 12-20-24
GHA PROJECT # 5828.000
CHECKED BY: AJP DATE: 12-20-24
SCALE 1" = 10'
SHEET NUMBER 7 OF 19 SHEETS

GRADING PLAN NOTES

1. PRIOR TO STARTING ANY CONSTRUCTION, PROVIDE SOIL EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN ON THE PLANS AND AS REQUIRED PER IEPA NPDES GUIDELINES. REFER TO NOTES AND DETAILS THROUGHOUT THE ENTIRE PLAN SET.
2. PRIOR TO STARTING ANY EXCAVATION WORK, PROVIDE TREE PROTECTION, PRESERVATION AND ROOT PRUNING AS SHOWN ON THE PLANS AND NOTES THROUGHOUT THE ENTIRE PLAN SET.
3. CONTRACTOR SHALL REFER TO SUBSURFACE SOIL EXPLORATION REPORT.
4. REFER TO GENERAL NOTES FOR GRADING, COMPACTION AND PROOF ROLL REQUIREMENTS.
5. HANDICAP ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED BETWEEN 1.0% AND 1.90% MAXIMUM SLOPES IN ANY ONE DIRECTION. ILLINOIS ACCESSIBILITY CODE PERMITS A MAXIMUM CONSTRUCTED SLOPE OF 2.00%.
6. CRUSHED CONCRETE MAY NOT BE USED FOR THIS PROJECT WITHOUT PRIOR WRITTEN NOTICE FROM THE PROJECT ENGINEER.
7. THE CONTRACTOR SHALL IMPORT OR EXPORT SOIL AS NECESSARY TO CONSTRUCT THE SITE TO SPECIFIED PLAN GRADES. SUCH WORK IS CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED FOR SUCH WORK. MINOR ADJUSTMENTS TO GRADES CAN BE ACCOMMODATED WITH PROJECT ENGINEER APPROVAL.
8. THE CONTRACTOR SHALL INCLUDE ALL ASSOCIATED COSTS WITH THE REMOVAL, TRANSPORT, DISPOSAL, TESTING AND CERTIFICATION OF "UNCONTAMINATED SOIL" AS DEFINED UNDER 415 ILCS 5/3.160 INCLUDING ANY FEES, TAXES, OR SURCHARGES CHARGED BY OR THROUGH THE OPERATOR(S) OF CLEAN CONSTRUCTION OR DEMOLITION DEBRIS FILL OPERATIONS OR UNCONTAMINATED SOIL FILL OPERATIONS FOR THE ACCEPTANCE OF UNCONTAMINATED SOIL.
9. REFER TO SOIL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS FOR SEED AND BLANKET REQUIREMENTS FOR TEMPORARY STABILIZATION.
10. REFER TO GEOMETRIC PLAN FOR FINAL RESTORATION REQUIREMENTS.
11. CONTRACTOR SHALL PROVIDE THE FOLLOWING AS-CONSTRUCTED DOCUMENTS AT THE CONCLUSION OF THE PROJECT:
    a. STORMWATER BASINS AND VAULTS
    - OVERFLOW WEIR, AND BOTTOM OF BASIN ELEVATIONS
    - STRUCTURE, PIPE AND FLARED END SECTIONS ELEVATIONS WITHIN BASIN
    - CONTROL STRUCTURE RESTRICTOR SIZE AND ELEVATION.
    - AS-CONSTRUCTED VOLUMES WITHIN RESPECTIVE BASINS UP TO OVERFLOW ELEVATION.

    b. LAWN OR OPEN SPACE AREAS
    - SPOT ELEVATIONS AT A MAXIMUM 50 FOOT GRID.
    - SPOT ELEVATION TOP AND BOTTOM OF BERMS OR SWALES
    - SPOT ELEVATIONS AND RIDGE / HIGH AND LOW POINTS.

    c. PARKING LOT AND HARD SURFACES
    - TOP OF CURB AND FLOWLINE ELEVATIONS AT SIMILAR LOCATIONS TO PROPOSED GRADING.
    - SPOT ELEVATIONS AT SUMMIT / HIGH AND LOW POINTS.

    d. ADA PARKING STALLS, SIDEWALK RAMPS, AND ADA ROUTES
    - PROVIDE 6 SPOT ELEVATIONS WITHIN THE PARKING STALL 3 ALONG THE FRONT AND REAR OF THE STALL AT 6 FOOT SPACING ALONG THE STALL PAVEMENT MARKINGS.
    - PROVIDE 4 SPOT GRADES PER SQUARE AT LANDINGS AND ANY TAMPERS OR RAMPS.
    - PROVIDE SPOT ELEVATIONS ALONG ROUTE AT MAXIMUM 10 FOOT SPACING ON BOTH SIDES OF THE PATH TO CONFIRM CROSS AND LONGITUDINAL SLOPES REQUIREMENTS HAVE BEEN MET.

    e. BUILDINGS
    - TOP OF FOUNDATION ELEVATIONS.
    - FINISHED FLOOR ELEVATIONS AT DOORWAYS.
13. IN PROPOSED PAVEMENT AREAS, STRIP ALL TOPSOIL, EXCAVATE TO SUB-BASE, COMPACT SOIL TO 95% MODIFIED PROCTOR DENSITY (ASTM D-1557) AND INSTALL PAVEMENT SECTION AS NOTED ON THE PLANS. PRIOR TO APPROVAL OF THE SUB-BASE, ALL PAVEMENT AREAS WILL BE PROOF ROLLED. ANY AREAS FOUND TO DEFLECT SHALL BE SCARIFIED AND RECOMPACTED AS DIRECTED BY THE ENGINEER, UNTIL THIS STANDARD IS ACHIEVED.
14. REFER TO SWPPP PLAN FOR SEQUENCE OF CONSTRUCTION. NOTE MASS GRADING WORK ZONE AREAS SHALL BE MINIMIZED TO PREVENT EROSION. ONCE A WORK ZONE HAS BEEN ROUGH GRADED, STABILIZE AREA WITH MULCH AND PROCEED TO NEXT WORK AREA UNTIL SITE IS COMPLETED.
15. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE TO ALL INLETS AND CATCHBASINS. AREAS OF SURFACE PONDING SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
16. ALL LAWN AREAS DISTURBED AS A RESULT OF CONSTRUCTION SHALL BE RESTORED TO PRECONSTRUCTION LAWN CONDITION FOLLOWING RESTORATION REQUIREMENTS.
17. EXISTING FIRE HYDRANT AND VALVE BOX ADJACENT TO EACH OTHER NEAR THE SOUTHWEST CORNER OF THE SITE SHALL REMAIN AT THEIR EXISTING ELEVATIONS. THE CONTRACTOR SHALL TAKE CARE TO CONSTRUCT PROPOSED SIDEWALK TO ENSURE SMOOTH TRANSITIONS AROUND HYDRANT AND THAT PROPOSED SIDEWALK IS FLUSH WITH VALVE BOX RIM.

N

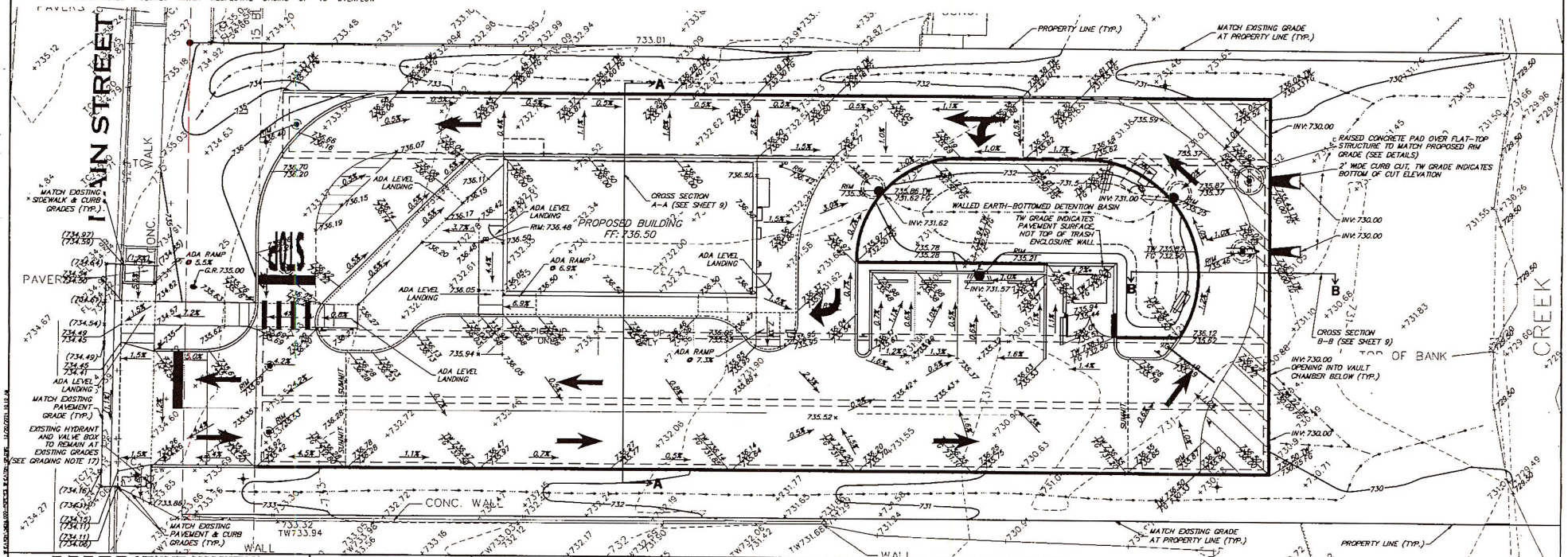
GRAPHIC SCALE

10 0 5 10

(IN FEET)
1 inch = 10 ft.

GRADING LEGEND

- TOP OF CURB / FLOW LINE
- PROPOSED SPOT ELEVATION
- CONTOUR
- STRUCTURE ADJUSTMENT
- SUMMITS
- SIDEWALK GRADE BREAK
- SLOPES
- SWALES
- OVERLAND FLOW ROUTE



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GRADING PLAN

POPEYES LOUISIANA KITCHEN
1815 NORTH MAIN STREET
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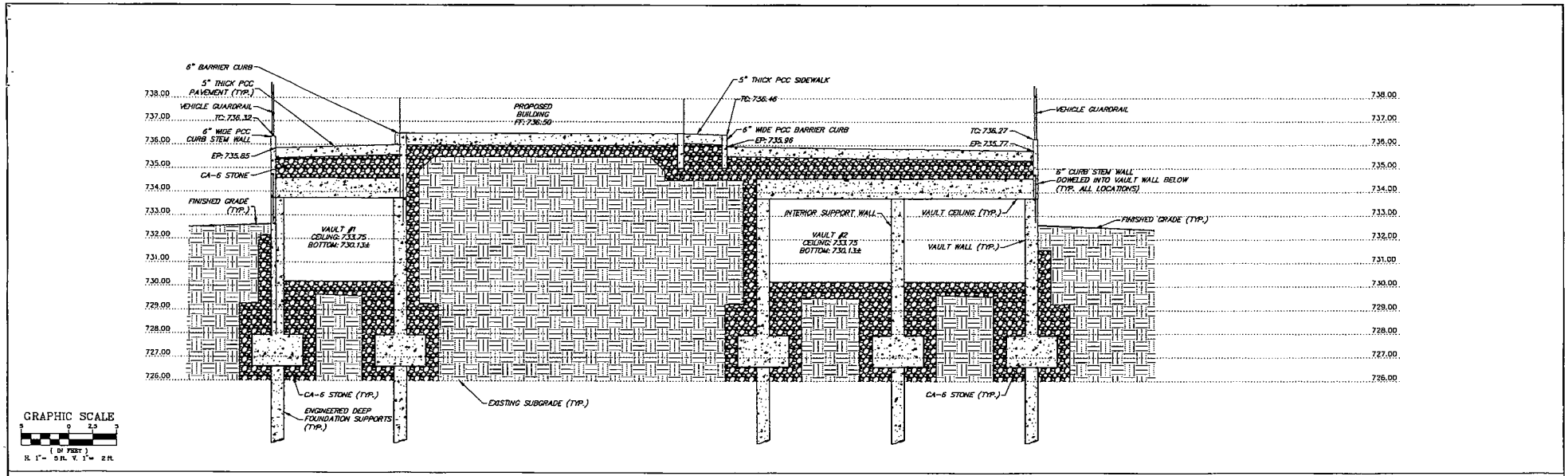
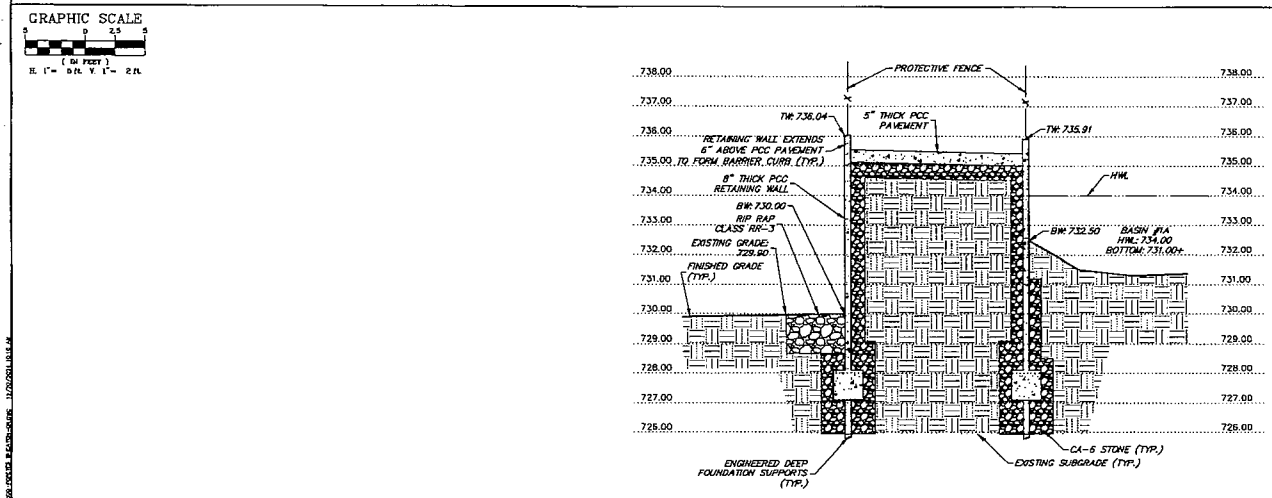
SHEET NUMBER: 8 OF 19 SHEETS



SECTION A - A



SECTION B - B

GEWALT HAMILTON ASSOCIATES, INC.
625 Forest Edge Drive ■ Vernon Hills, IL 60061
TEL 847.478.9700 ■ FAX 847.478.9701

GRADING PLAN CROSS SECTIONS

POPEYES LOUISIANA KITCHEN
1815 NORTH MAIN STREET
WHEATON, ILLINOIS

NO.	BY	DATE	REVISION	NO.	BY	DATE	REVISION

FILE: 5828.000-Popeyes Wheaton-GR.dwg
DRAWN BY: TLM DATE: 12-20-24
GHA PROJECT #: 5828.000
CHECKED BY: AJP DATE: 12-20-24
SCALE: 1" = 10'

SHEET NUMBER: 9 OF 19 SHEETS

SEDIMENTATION AND EROSION CONTROL NOTES

A. THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPRISED OF THE SOIL EROSION AND SEDIMENT CONTROL PLANS, THE STANDARD DETAILS, THE PLAN NARRATIVE, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.

B. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE (SWPPP) AND THE ILLINOIS GENERAL CONSTRUCTION PERMIT (ILR10) AND BECOME FAMILIAR WITH THEIR CONTENTS AND SIGN THE CERTIFICATION FORMS.

C. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY, PROJECT ENGINEER OR OWNER.

D. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.

E. GENERAL CONTRACTOR SHALL DEMOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.

F. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.

G. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.

H. DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED. WATER USE MUST NOT CAUSE ADDITIONAL EROSION.

I. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.

J. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN, AND IN THE (SWPPP), SHALL BE INITIATED AS SOON AS PRACTICABLE.

K. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT, WASHING SHALL BE IMPLEMENTED AND PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.

L. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED BY THE END OF THE DAY.

M. ON-SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE PLAN AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.

N. ERODIBLE STOCKPILES MUST BE ENCLOSED WITH SILT FENCE BY THE END OF THE WORK DAY.

O. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.

P. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY, THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

Q. SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. SOIL STABILIZATION MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS AND THE USE OF TEMPORARY OR PERMANENT MEASURES

R. SOIL EROSION AND SEDIMENT CONTROL FEATURES SHALL BE CONSTRUCTED PRIOR TO THE COMMENCEMENT OF HYDROLOGIC DISTURBANCE OF UPLAND AREAS.

S. DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN 7 CALENDAR DAYS OF THE END OF ACTIVE HYDROLOGIC DISTURBANCE OR REDISTURBANCE.

T. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE PROPERTY OWNER SHALL ULTIMATELY BE RESPONSIBLE FOR MAINTENANCE AND REPAIR.

U. IF DEWATERING SERVICES ARE USED, ADJOINING PROPERTIES AND DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION. DISCHARGES SHALL BE ROUTED THROUGH AN EFFECTIVE SEDIMENT CONTROL MEASURE (e.g. SEDIMENT TRAP, SEDIMENT BASIN, OR OTHER APPROPRIATE MEASURE).

V. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER OR GOVERNING AGENCY.

SEQUENCE OF MAJOR ACTIVITIES

1. OWNER FILES NOTICE OF INTENT (NOI) AT LEAST 30 DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION OPERATIONS.
2. INSTALLATION OF SOIL EROSION AND SEDIMENT CONTROL MEASURES.
   - ORANGE CONSTRUCTION FENCING AND/OR SILT FENCE ALONG WETLAND/CREEK EDGE AND OTHER AREAS NOT TO BE DISTURBED.
   - PERIMETER SILT FENCE.
   - STABILIZED CONSTRUCTION ENTRANCE WITH WASH RACK.
   - INLET PROTECTION ON EXISTING STRUCTURES CLOSE TO THE DISTURBED AREA.
3. CONTRACTOR PERFORMS WEEKLY AND "AFTER RAIN EVENT" INSPECTIONS STARTING UPON DISTURBANCE OF THE SITE (DEMOLITION OR INSTALLATION OF SOIL EROSION AND SEDIMENT CONTROL MEASURES).
4. DEMOLITION
5. TREE REMOVAL WHERE NECESSARY (CLEAR & GRUB).
6. CONSTRUCT COMPENSATORY STORAGE AND DETENTION FACILITIES AND OUTLET CONTROL STRUCTURE WITH RESTRICTOR. PERMANENTLY STABILIZE THE AREA WITH RIP RAP, TOPSOIL, SEED AND EROSION CONTROL BLANKET AS SHOWN ON THE PLANS.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING PLANT GROWTH IN BOTTOM OF BASIN. DEWATERING, AS NEEDED, SHALL BE INCIDENTAL TO THE CONTRACTOR'S SCOPE.
8. STRIP TOPSOIL, STOCK TOPSOIL AND GRADE SITE.
9. TEMPORARY CONTAINMENT OF SOIL/AGGREGATE STOCKPILES (SEED AND SILT FENCE AROUND TOE OF SLOPE).
10. INSTALL UTILITIES AND ASSOCIATED INLET & OUTLET PROTECTION.
11. CONSTRUCT BUILDING AND PAVEMENT.
12. FINE GRADE.
13. INSTALL TOPSOIL, SEED, AND PERMANENT EROSION CONTROL.
14. REMOVE TEMPORARY EROSION CONTROL MEASURE – ONLY – WHEN SITE HAS ACHIEVED FULL STABILIZATION. NOTE THAT SILT FENCE ALONG THE CREEK/WETLAND EDGE MAY BE ALTERED AS REQUIRED TO CONSTRUCT THE COMPENSATORY STORAGE VAULTS AND THEN REMOVED WHEN RIP RAP IS PLACED UP TO THE CREEK/WETLAND EDGE (WHICHEVER ONE IS FARTHEST WEST AT ANY GIVEN LOCATION) AS INDICATED ON THE PLANS AS LONG AS CONTRACTOR ENSURES NO SEDIMENT-LADEN WATER DISCHARGES FROM THE SITE INTO THE WETLAND/CREEK.
15. OWNER TO FILE NOTICE OF TERMINATION (NOT).

SESC LEGEND

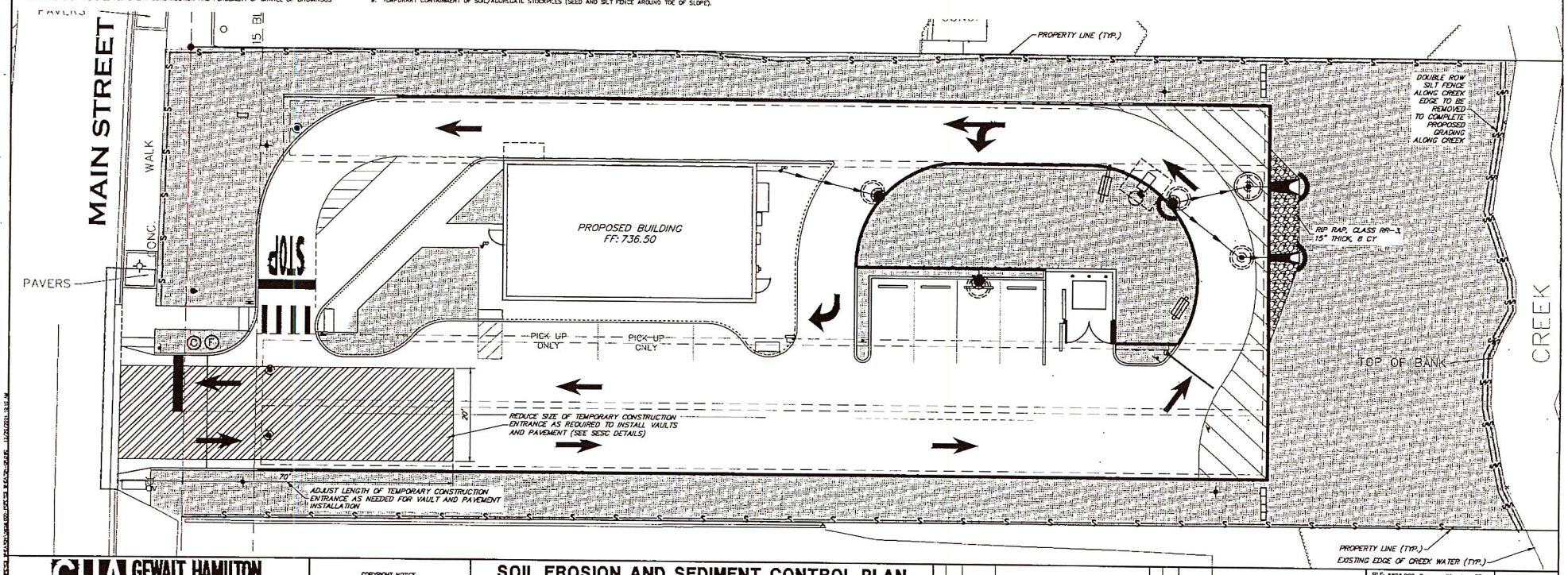
- TOPSOIL FURNISH AND PLACE, VARIABLE DEPTH, 6" MIN. SEEDING, CLASS 7 – EROSION CONTROL BLANKET NAG S75 (4:1 SLOPES)
- ROCK CONSTRUCTION ENTRANCE
- SILT FENCE INSTALLATION
- STORM SEWER INLET PROTECTION: – INLET FILTER BASKET
- – INLET FILTER BASKET & COIR LOG
- COIR LOG
- (F) PORTABLE RESTROOM FACILITY
- (C) CONCRETE WASHOUT
- ROLLED EROSION-CONTROL DEVICE

N

GRAPHIC SCALE
10 0 5 10
(IN FEET)
1 inch = 10 ft.

KANE–DUPAGE SOIL & WATER CONSERVATION DISTRICT NOTES

1. KDSWCD STANDARD NOTES:
   A. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS IN THE ILLINOIS URBAN MANUAL, LATEST EDITION.
   B. THE KANE–DUPAGE SOIL AND WATER CONSERVATION DISTRICT (KDSWCD) MUST BE NOTIFIED ONE WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITIES, AND ONE WEEK PRIOR TO THE FINAL INSPECTION.
   C. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
   D. PRIOR TO COMMENCING LAND-DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING BUT NOT LIMITED TO, ADDITIONAL PHASES OF DEVELOPMENT AND OFF-SITE BORROW OR WASTE AREAS) A SUPPLEMENTARY EROSION CONTROL PLAN SHALL BE SUBMITTED TO THE OWNER FOR REVIEW BY THE KDSWCD.
   E. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE KDSWCD.
   F. DURING DEWATERING OPERATIONS, WATER WILL BE FILTERED OR PUMPED INTO SEDIMENT BASINS OR SILT TRAPS. DEWATERING DIRECTLY INTO FILED TILES OR STORMWATER STRUCTURES IS PROHIBITED.
   G. IT IS THE RESPONSIBILITY OF THE LANDOWNER AND/OR GENERAL CONTRACTOR TO INFORM ANY SUBCONTRACTOR(S) WHO MAY PERFORM WORK ON THIS PROJECT, OF THE REQUIREMENTS IN IMPLEMENTING AND MAINTAINING THESE EROSION CONTROL PLANS AND ASSURE COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
2. WINTER SHUTDOWN SHALL BE ADDRESSED EARLY IN THE FALL GROWING SEASON SO THAT SLOPES AND OTHER BARE EARTH AREAS MAY BE STABILIZED WITH TEMPORARY AND/OR PERMANENT VEGETATIVE COVER FOR PROPER EROSION AND SEDIMENT CONTROL.
3. STOCKPILES OF SOIL AND OTHER BUILDING MATERIALS TO REMAIN IN PLACE MORE THAN THREE (3) DAYS SHALL BE FURNISHED WITH EROSION AND SEDIMENT CONTROL MEASURES (I.E. PERIMETER SILT FENCE). STOCKPILES, NOT BEING ACTIVELY WORKED AND TO REMAIN IN PLACE FOR 14 DAYS OR MORE SHALL RECEIVE TEMPORARY SEEDING.
4. ALL TRAFFIC IN AND OUT OF THE CONSTRUCTION SITE SHALL BE RESTRICTED TO STABILIZED CONSTRUCTION ENTRANCE(S).



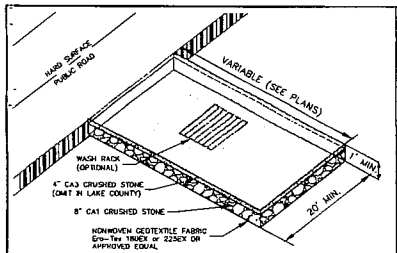
GHA GEWALT HAMILTON ASSOCIATES, INC.
625 Forest Edge Drive ■ Vernon Hills, IL 60061
TEL 847.478.9700 ■ FAX 847.478.9701

SOIL EROSION AND SEDIMENT CONTROL PLAN

POPEYES LOUISIANA KITCHEN
1815 NORTH MAIN STREET
WHEATON, ILLINOIS

NO.	BY	DATE	REVISION	NO.	BY	DATE	REVISION

FILE 5828.000–Popeyes Wheaton–DP.dwg		SHEET NUMBER
DRAWN BY: TLH DATE 12-20-24	GHA PROJECT # 5828.000	10
CHECKED BY: AJP DATE 12-20-24	SCALE 1" = 10'	OF 19 SHEETS



NOTE:

IF WASH RACKS ARE USED THEY SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.

CONSTRUCTION ENTRANCE LENGTH SHALL INITIALLY BE 70' AND BE REDUCED AT THE TIME OF WEST END COMPENSATORY STORAGE VAULT EXCAVATION TO ALLOW FOR VAULT CONSTRUCTION (REMAINING CONSTRUCTION ENTRANCE MUST AT LEAST BRIDGE THE PUBLIC RIGHT OF WAY).

03.15.2016

GEWALT HAMILTON ASSOCIATES, INC.

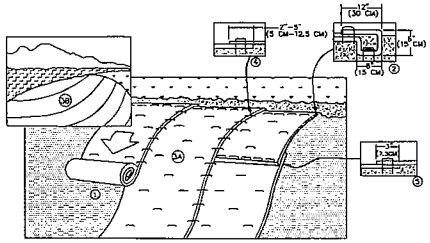
TEMPORARY CONSTRUCTION ENTRANCE

NOTES:

1. PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECP'S), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECP'S IN A 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF RECP'S BACK OVER SEED AND COMPACTED SOIL. SECURE RECP'S OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) APART ACROSS THE WIDTH OF THE RECP'S.
3. ROLL THE RECP'S (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. RECP'S WILL UNROLL WITH APPROPRIATE SIDE AGAINST SOIL SURFACE. ALL RECP'S MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. THE EDGES OF PARALLEL RECP'S MUST BE STAPLED WITH APPROXIMATELY 2"-5" (5 CM – 12.5 CM) OVERLAP DEPENDING ON RECP'S TYPE.
5. CONSECUTIVE RECP'S SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30 CM) APART ACROSS ENTIRE RECP'S WIDTH.

NOTE:

*IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY SECURE THE RECP'S.



STAPLE PLACEMENTS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. SEE STAPLE PATTERN GUIDES FOR ACTUAL RECOMMENDED PLACEMENTS.

03.15.2016

GEWALT HAMILTON ASSOCIATES, INC.

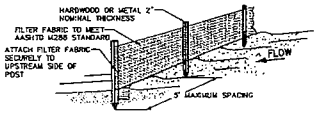
EROSION CONTROL BLANKET SLOPE INSTALLATION

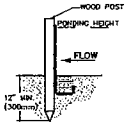
NOTES:

1. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
2. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY, 9" (225mm) MAXIMUM RECOMMENDED STORAGE HEIGHT.
3. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
4. FABRIC AND INSTALLATION SHALL MEET THE REQUIREMENTS OF AASHTO STANDARD SPECIFICATION M-288-00.
5. SLICING METHOD IS PREFERRED.

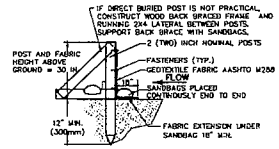
PROPERTY	TEST PROCEDURE	
Grab Elongation		
Machine Direction	ASTM D-4533	123 lbs
X-Machine Direction	ASTM D-4833	101 lbs
Permittivity	ASTM D-4491	0.05 sec^{-1}
A.S.O.	ASTM D-4751	30 u.s. Sieve
UV Stability	ASTM D-4355	70%

1. SET POSTS AND EXCAVATE OR SLIT-TRENCH A 8-INCH DEEP TRENCH UPSLOPE ALONG THE LINE OF THE POST
2. ATTACH AASHTO GEOTEXTILE FILTER FABRIC TO EACH POST WITH A MINIMUM OF 3(THREE) FASTENERS PER POST AND EXTEND TO THE BOTTOM OF THE TRENCH. ACCEPTABLE FASTENERS INCLUDE STAPLES, ZIP-TIES, OR WIRE TIES.
3. BACKFILL AND COMPACT THE EXCAVATED SPOIL MATERIALS





TRENCH INSTALLATION



INSTALLATION WITHOUT TRENCHING

03.15.2016

GEWALT HAMILTON ASSOCIATES, INC.

SILT FENCE INSTALLATION DETAIL

Stabilization Type:	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
Permanent Seeding			A			X X X	X X X					
Dormant Seeding	B											
Temporary Seeding			C			X X X	X X X					
Sodding			E X X									
Mulching	F											

A = KENTUCKY BLUEGRASS @ 90 LBS/AC. MIXED WITH PERENNIAL RYEGRASS @ 30 LBS/AC.
B = KENTUCKY BLUEGRASS @ 135 LBS/AC. MIXED WITH PERENNIAL RYEGRASS @ 45 LBS/AC.
C = SPRING OATS @ 100 LBS/AC.
D = WHEAT OR CEREAL RYE @ 150 LBS/AC.
E = SOD
F = STRAW MULCH (HYDROMULCH OR USE STRAW BLANKET) @ 2 TONS/AC.
XXX = IRRIGATION NEEDED

IRRIGATION SHOULD BE PROVIDED AS NECESSARY TO THOROUGHLY ESTABLISH INTENDED GROWTH.

NOTE:
SPRAYED GH PRODUCTS CANNOT BE USED NOV.-FEB.

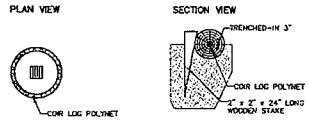
03.15.2016

GEWALT HAMILTON ASSOCIATES, INC.

TYPICAL SOIL PROTECTION CHART

NOTES:

1. DO NOT SCALE DRAWING.
2. REFER TO MANUFACTURER'S PRODUCT SPECIFICATIONS TO ENSURE QUALITY OF THE PRODUCTS



DROP INLET OR MANHOLE
INLET PROTECTION FOR DROP INLETS OR MANHOLES

* USE 9LB DENSITY 12" DIAMETER, 20' LONG COIR LOG POLYNET FOR STANDARD CIRCULAR DRAINAGE STRUCTURES. PLACE THE COIR LOG AROUND THE STRUCTURE AND JOIN THE ENDS TOGETHER WITH COIR TWINE. USE 2"x2"x24" WOODEN STAKES SPACED 3' APART TO HOLD DOWN LOG POLYNET.

MAINTENANCE
1. CLEAN OUT SEDIMENT BEHIND LOG WHEN ½ FULL
2. RESECURE LOOSE LOGS
3. REPLACE LOGS AS NEEDED
4. REMOVE WHEN NOT NEEDED

03.15.2016

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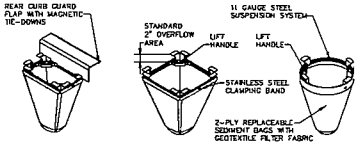
COIR ROLL DETAIL INLET PROTECTION



TYPICAL CURB BOX INLET FILTER — TYPICAL FLAT/RECTANGULAR/ROLLED CURB INLET FILTER — TYPICAL ROUND INLET FILTER

Material Property	Test Method	Value (min. ave.)	
1. Inner Filter Bag Specs (20'x10' roll)		Non-Woven	Woven Mono
Grab Tensile	ASTM D 4632	100 lbs	200 lbs
Puncture Strength	ASTM D 4833	65 lbs	90 lbs
Trapezoidal Tear	ASTM D 4533	45 lbs	70 lbs
UV Resistance	ASTM D 4355	70% at 500 hrs	80%
Apa Open Size (AOS)	ASTM D 4751	70 sieve (.212 mm)	40 sieve (.425 mm)
Permittivity	ASTM D 4491	2.0/sec	2.1/sec
Water Flow Rate	ASTM D 4491	140 gpm/sq.ft	145gpm/sq.ft
2. Polyester Outer Reinforcement Bag Specifications			
Weight	ASTM D 3776	5.33 oz/sqyd +/-15%	
Thickness	ASTM D 1777	.049 +/- .005	
3. Frame Construction			
A36 Structural Steel	ASTM A 378	Tensile Strength > 58,000 psi Yield Strength > 36,000 psi	
11 Gauge, Zinc Plated			

MAINTENANCE
1. CLEAN OUT AFTER EVERY RAIN EVENT

ACCEPTABLE MANUFACTURER'S AS LISTED BELOW:

1. INLET & PIPE PROTECTION, INC. Naperville, IL 60564 847 722-0890
2. MARATHON MATERIALS, INC. Plainfield, IL 60544 800-983-9483

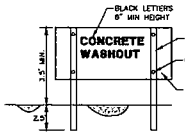
03.15.2016

GEWALT HAMILTON ASSOCIATES, INC.

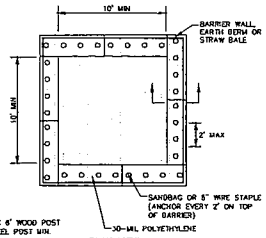
INLET FILTER BASKET DETAIL

NOTES

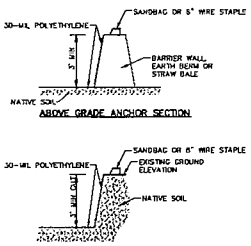
1. ACTUAL LAYOUT DETERMINED IN FIELD.
2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
3. CONCRETE WASHOUT SHOULD NOT BE ALLOWED IN STREET OR TO REACH A STORM WATER DRAINAGE SYSTEM OR WATERCOURSE.
4. CONCRETE WASHOUT AREA TO BE LOCATED AT LEAST 10' BEHIND CURB IF ADJACENT TO A PAVED ROAD.
5. IF USING STRAW BALES, STAKE IN PLACE USING (2) 2"x2"x4' WOODEN STAKES.
6. STRAW BALES SHALL BE TRENCHED IN 3".
7. CONCRETE WASHOUT DUMPSTER MAY BE USED IN LIEU OF CONSTRUCTION ONE AS DETAILED.



CONCRETE WASHOUT SIGN DETAIL (OR EQUIVALENT)



PLAN VIEW



ABOVE GRADE ANCHOR SECTION

SUBGRADE ANCHOR SECTION

MAINTENANCE:

1. DRIED CONCRETE WASTE SHALL BE PICKED UP AND DISPOSED OF PROPERLY WHEN 75% OF CAPACITY IS REACHED.
2. HARDENED CONCRETE CAN BE PROPERLY RECYCLED AND REUSED ON-SITE OR HAULED OFF-SITE TO AN APPROPRIATE FACILITY.

03.15.2016

GEWALT HAMILTON ASSOCIATES, INC.

CONCRETE WASHOUT

GEWALT HAMILTON ASSOCIATES, INC.
625 Forest Edge Drive ■ Vernon Hills, IL 60061
TEL 847.478.9700 ■ FAX 847.478.9701

SOIL EROSION AND SEDIMENT CONTROL DETAILS

POPEYES LOUISIANA KITCHEN
1815 NORTH MAIN STREET
WHEATON, ILLINOIS

NO.	BY	DATE	REVISION	NO.	BY	DATE	REVISION

FILE: 5828.000-Popeyes Wheaton-DT.dwg
DRAWN BY: TLM DATE: 12-20-24
GHA PROJECT # 5828.000
CHECKED BY: AJP DATE: 12-20-24
SCALE: N.A.

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE PERFORMED ACCORDING TO THE ILLINOIS DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" LATEST EDITION, THE "SUPPLEMENTAL SPECIFICATIONS AND RECURRING SPECIAL PROVISIONS" LATEST EDITION, THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS" LATEST EDITION, THE ILLINOIS PLUMBING CODE, THE DETAILS IN THESE PLANS, THE CONTRACT DOCUMENTS, ALL APPLICABLE REQUIREMENTS OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION, THE IEPA AND ORDINANCES OF AUTHORITIES HAVING JURISDICTION AND ALL ADDENDA THERETO.

2. EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT MAY BE RESOLVED.

3. WHENEVER, DURING CONSTRUCTION OPERATIONS, ANY LOOSE MATERIAL IS DEPOSITED IN THE FLOW LINE OF GUTTERS, DRAINAGE STRUCTURES, DITCHES, ETC. SUCH THAT THE NATURAL FLOW LINE OF WATER IS OBSTRUCTED, THE LOOSE MATERIAL WILL BE REMOVED AT THE CLOSE OF EACH WORKING DAY. AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS. THIS WORK SHALL BE CONSIDERED INCLUDED IN THE CONTRACT. THE CONTRACTOR'S FAILURE TO PROVIDE THE ABOVE WILL PRECLUDE ANY POSSIBLE ADDED COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT THEREOF.

4. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AFFECTING THEIR WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE PRIOR TO ORDERING MATERIALS. IN ADDITION, THE CONTRACTOR MUST VERIFY THE LINE AND GRADES. IF THERE ARE ANY DISCREPANCIES FROM WHAT IS SHOWN ON THE CONSTRUCTION PLANS, STANDARD SPECIFICATIONS AND/OR SPECIAL DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY OMISSION OR DISCREPANCIES. FAILING TO SECURE SUCH INSTRUCTION, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS/HER OWN RISK AND EXPENSE AND NO ADDITIONAL COMPENSATION WILL BE PROVIDED FOR ANY COSTS INCURRED..

5. ALL PAVEMENT DIMENSIONS ARE SHOWN TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

6. WHERE SECTION OR SUBSECTION MONUMENTS ARE ENCOUNTERED, THE ENGINEER SHALL BE NOTIFIED BEFORE THE MONUMENTS ARE REMOVED. THE CONTRACTOR SHALL CAREFULLY PRESERVE ALL PROPERTY MARKS AND MONUMENTS UNTIL THE OWNER, AUTHORIZED SURVEYOR OR AGENT HAS WITNESSED OR OTHERWISE REFERENCED THEIR LOCATION.

7. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST 72 HOURS PRIOR TO BEGINNING WORK.

8. IF DURING CONSTRUCTION THE CONTRACTOR ENCOUNTERS OR OTHERWISE BECOMES AWARE OF ANY SEWERS OR UNDERDRAINS OTHER THAN THOSE SHOWN ON THE PLANS, HE/SHE SHALL INFORM THE ENGINEER, WHO SHALL DIRECT THE WORK NECESSARY TO MAINTAIN OR REPLACE THE FACILITIES IN SERVICE AND TO PROTECT THEM FROM DAMAGE DURING CONSTRUCTION IF MAINTAINED. EXISTING FACILITIES TO BE MAINTAINED THAT ARE DAMAGED BECAUSE OF NON-COMPLIANCE WITH THIS PROVISION SHALL BE REPLACED AT THE CONTRACTOR'S OWN EXPENSE.

9. THE CONTRACTOR SHALL PROVIDE TEMPORARY TOILET FACILITIES AND HAND SANITIZING STATIONS FOR THE USE OF ALL THE CONTRACTORS PERSONNEL EMPLOYED ON THE WORK SITE. THE FACILITIES SHALL BE MAINTAINED IN PROPER SANITARY CONDITION THROUGHOUT THE PROJECT. THE LOCATION OF THE TEMPORARY FACILITIES SHALL BE APPROVED BY THE ENGINEER.

10. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE NPDES PERMIT AND SWPPP MANUAL. IF NO NPDES PERMIT OR SWPPP MANUAL IS NEEDED FOR THE PROJECT THE CONTRACTOR SHALL PERFORM SOIL EROSION SEDIMENT CONTROL BEST PRACTICES OR AS DIRECTED BY THE OWNER TO PREVENT ILLICIT DISCHARGES FROM THE SITE.

UTILITY NOTES

1. UNDERGROUND WORK SHALL INCLUDE TRENCHING, DISPOSAL OF EXCESS MATERIAL, DEWATERING, INSTALLATION OF PIPE, CASTINGS, STRUCTURES, BACKFILLING OF TRENCHES AND COMPACTION, AND TESTING AS SHOWN ON THE CONSTRUCTION PLANS. FITTINGS AND ACCESSORIES NECESSARY TO COMPLETE THE WORK MAY NOT BE SPECIFIED BUT SHALL BE CONSIDERED AS INCLUDED TO THE COST OF THE CONTRACT. ALL SEWER SHALL BE INSTALLED USING A LASER AND BEGIN AT THE DOWNSTREAM END.

2. SANITARY SERVICE CONNECTIONS TO NEW SEWERS SHALL BE MADE WITH WYE BRANCHES. WYE BRANCHES SHALL BE FACTORY MANUFACTURED PERMANENTLY AFFIXED TO THE MAIN SEWER. TEE BRANCHES ARE NOT ALLOWED.

3. ALL CONNECTIONS TO EXISTING OR DISSIMILAR STORM/SANITARY LINES SHALL BE DONE WITH STAINLESS STEEL NON-SHEAR COUPLINGS.

4. STONE BEDDING AND BACKFILL SHALL BE OMITTED FOR A DISTANCE OF 15 FEET UP AND DOWNSTREAM OF SEWERS DRAINING TO OR FROM PONDS OR STREAMS. THE REPLACED BEDDING SHALL BE SILTY CLAY SOIL MECHANICALLY COMPACTED TO 90% MODIFIED PROCTOR DENSITY. THE USE OF PERMEABLE SOILS WILL NOT BE PERMITTED.

5. ALL WATER MAIN SHALL HAVE MECHANICAL RESTRAINED TYPE JOINTS AT ALL CONNECTIONS AND FITTINGS. IN ADDITION, ALL HARDWARE SHALL BE STAINLESS STEEL.

6. THRUST BLOCKING SHALL BE PROVIDED ON WATER MAIN AT ALL BENDS, TEES, ELBOWS, ETC. INDIVIDUAL INSPECTION FOR ALL THRUST BLOCKING IS REQUIRED. THRUST BLOCKING SHALL BE POURED IN PLACE CONCRETE. PRECAST BLOCKS MAY BE USED AS APPROVED BY THE ENGINEER IN THE FIELD.

7. ALL FLOOR DRAINS SHALL DISCHARGE TO THE SANITARY SEWER. ALL DOWNSPOUTS, SIDE YARD DRAINS, AND OUTSIDE DRAINS SHALL DISCHARGE TO THE STORM SEWER SYSTEM. FOOTING DRAINS SHALL FIRST DRAIN TO A SUMP PIT.

NON-WOVEN	STYLE DESCRIPTION	STANDARDS/REQUIREMENTS	RECOMMENDED PRODUCTS
MEDIUM DUTY	UNDERDRAIN FABRIC	6 oz.	
		MINIMUM GRAB TENSILE ASTM D4632 = 180 LBS	PROPEX GEOTEX 801
		MINIMUM TRAPEZOID TEAR ASTM D4533 = 80 LBS	US FABRICS 150NW
		MINIMUM FLOW RATE ASTM D4491 = 110 GAL/MIN/SQFT	THRACE LINQ 150EX
			TENCATE MIRAFI 180N

PROJECT SPECIFIC NOTES

1. THE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS THAT INCLUDE: CRITICAL SPOT GRADES SUCH AS OVERFLOW ELEVATIONS, SPOT ELEVATIONS NEAR ENTRANCES, SPOT ELEVATIONS ALONG THE DESIGNATED ADA ROUTE, SUFFICIENT INFORMATION SUCH THAT THE ENGINEER MAY VERIFY DETENTION VOLUMES, RIM AND INVERT ELEVATIONS OF ALL SEWERS, RIM AND TOP OF PIPE ELEVATIONS OF ALL WATER MAIN, LOCATIONS OF ALL INSTALLED UNDERGROUND UTILITIES, LOCATIONS OF ALL BURIED BENDS AND FITTINGS AND ALL FIELD CHANGES FROM THE APPROVED DRAWINGS.

2. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE GUARANTEED BY THE CONTRACTOR AND HIS SURETY FOR A PERIOD OF 12 MONTHS FROM THE DATE OF INITIAL ACCEPTANCE OF THE WORK BY THE OWNER AGAINST ALL DEFECTS IN MATERIALS AND WORKMANSHIP OF WHATEVER NATURE.

3. ALL CONSTRUCTION WILL BE INSPECTED BY THE OWNER'S REPRESENTATIVE. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE MUNICIPALITY AS WELL AS THE STANDARD SPECIFICATIONS.

4. THE SEWER AND WATER CONTRACTOR SHALL BE REQUIRED TO BE LICENSED AND BONDED WITH THE **CITY OF WHEATON** BEFORE WORK IS STARTED.

5. CONTRACTOR SHALL NOTIFY THE **CITY OF WHEATON (630-260-2000) AND THE PROJECT ENGINEER (847-478-9700)** AT LEAST 72 HOURS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT.

6. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, ENGINEER, THE MUNICIPALITY AND THEIR AGENTS, FROM ALL LIABILITY INVOLVED IN CONSTRUCTION, INSTALLATION AND TESTING OF THE WORK ON THIS PROJECT.

7. THE CONTRACTOR MUST CARRY INSURANCE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS. ALL OFFICIALS, EMPLOYEES AND AGENTS OF GEWALT HAMILTON ASSOCIATES MUST BE LISTED AS ADDITIONAL INSURED.

8. ALL ELEVATIONS ARE ON **NAVD 88** VERTICAL DATUM.

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL TRAFFIC CONTROL TO ADEQUATELY INFORM AND PROTECT THE PUBLIC OF ALL CONSTRUCTION OPERATIONS.

10. STOCKPILING MATERIAL WITHIN THE 100 YEAR FLOOD PLAIN AND OR THE FLOODWAY IS STRICTLY PROHIBITED

11. PRIOR TO PLACEMENT OF FABRIC AND STONE, THE SUBGRADE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER. PROOF-ROLLING SHALL BE DONE USING A THREE AXLE DUMP TRUCK TOGETHER WITH LOAD WEIGHING AT LEAST TWENTY-FIVE (25) TONS. THE LOAD SHALL BE UNIFORMLY PLACED IN THE DUMP BODY. ALL DEFICIENCIES SHALL BE REPAIRED AND RE-PROOF-ROLLED UNTIL FOUND ACCEPTABLE TO THE ENGINEER.

12. CRUSHED CONCRETE IS NOT PERMITTED FOR USE ON THE PROJECT UNLESS PRIOR WRITTEN NOTICE IS GIVEN BY THE ENGINEER.

13. ALL STONE USED ON THE PROJECT SHALL BE CRUSHED UNLESS SPECIFICALLY NOTED OTHERWISE.

14. ALL CONCRETE SHALL HAVE A LIGHT BROOM FINISH APPLIED WITHIN 1 HOUR OF FINAL STRIKING.

15. ALL CONCRETE SHALL CONSIST OF PORTLAND CEMENT CONCRETE MEETING REQUIREMENTS OF SECTION 1020. ALL SIDEWALKS, CURBS AND POST FOUNDATIONS SHALL BE CLASS SI 3,500 PSI @ 14 DAYS. ALL PAVEMENT SHALL BE CLASS PV 3,500 PSI @ 14 DAYS. WHERE NOTED ON THE PLANS HIGH EARLY CONCRETE SHALL BE CLASS PV TYPE III 3,500 PSI CONCRETE @ 3 DAYS. ALL CONCRETE REQUIRING A CURE TIME FASTER THAN 3 DAYS SHALL HAVE A MIX DESIGN SUBMITTED TO THE ENGINEER FOR APPROVAL. WHEN REQUIRED BY THE MUNICIPALITY, FLY ASH SHALL NOT BE USED IN THE MIX DESIGN. SLUMP SHALL BE 2-4" AND AIR CONTENT SHALL BE BETWEEN 5-8% UNLESS MODIFIED BY ARTICLE 1020.04.

16. ALL CONCRETE SHALL HAVE A WHITE, IDOT TYPE 3 CURING COMPOUND APPLIED TO THE SURFACE WITHIN 1 HOUR OF FINAL STRIKING AT THE MANUFACTURER RECOMMENDED APPLICATION RATE.

17. 3/4" THICK PRE-MOLDED FIBER EXPANSION JOINTS WITH 2 , 3/4" x 18" PLAIN ROUND, STEEL DOWEL BARS SHALL BE INSTALLED IN ALL CURBS AT (45') FORTY-FIVE FOOT INTERVALS AND AT ALL P.C.'S, P.T.'S AND CURB RETURNS. ALTERNATE ENDS OF THE DOWEL BARS SHALL BE GREASED AND FITTED WITH METAL EXPANSION TUBES. ALL EXPANSION JOINTS MUST BE FREE OF CONCRETE FOR FULL DEPTH. CONTRACTION JOINTS SHALL BE TOOLED AT 15' INTERVALS.

18. UNLESS OTHERWISE NOTED ON THE PLANS WHENEVER NEW CONCRETE ABUTS EXISTING/ OR NEW CONCRETE SET A 1/2" THICK PRE-MOLDED FIBER EXPANSION JOINT AND DOWEL WITH SMOOTH 12" #4 BARS @ 24" O.C. THIS INCLUDES CONCRETE POURED ADJACENT TO EXISTING SIDEWALKS, CURBS AND BUILDING. THE DOWEL BARS SHOULD BE 4" INTO EXISTING CONCRETE WITH 8" EXTENDING INTO NEW CONCRETE.

19. ALL DOWEL BARS AND TIE BARS SHALL BE EPOXY COATED UNLESS NOTED OTHERWISE.

20. ALL PAVEMENT AND BUILDING SUBGRADE SHALL BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY (ASTM D-1557). ALL SUBGRADE IN LAWN AREAS SHALL BE COMPACTED TO 90% MODIFIED PROCTOR DENSITY (ASTM D-1557). ALL TOPSOIL AND SUBGRADE 6" BELOW TOPSOIL SHALL BE COMPACTED TO 80% STANDARD PROCTOR DENSITY (ASTM D-698)

21. SPREAD SCREENED TOPSOIL ON ALL DISTURBED AREAS AND PROPOSED GREEN AREAS. TOPSOIL SHALL COMPLY WITH REQUIREMENTS OF ARTICLE 1081.05.

22. ALL SIGNAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE MOST RECENT VERSION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND ILLINOIS SUPPLEMENT OR ILLINOIS DEPARTMENT OF TRANSPORTATION DETAILS.

23. ALL SIGNAGE NOT ATTACHED TO SIGNAL OR LIGHTING POLES SHALL BE MOUNTED ON TELESCOPING STEEL SIGN SUPPORTS WITH BREAKAWAY BASES IN ACCORDANCE WITH SECTION 728.

24. ALL SIGNAGE SHALL HAVE TYPE ZZ SHEETING.

EROSION CONTROL NOTES

1. AT A MINIMUM, THE CONTRACTOR SHALL INSTALL AND MAINTAIN SOIL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN THE LATEST EDITION OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY'S URBAN MANUAL.

2. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATERS.

3. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFFSITE SEDIMENT TRACKING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY ROAD OF MATERIAL THAT IS FROM THE PROJECT. THIS WILL BE DONE AT THE CLOSE OF EACH DAY OF WORK OR MORE FREQUENTLY AS FIELD CONDITIONS WARRANT.

4. ALL STORM WATER STRUCTURES WITH OPEN LIDS SHALL BE PROTECTED WITH INLET FILTER BASKETS. DURING CONSTRUCTION, SEDIMENT SHALL BE REMOVED AS NEEDED, AND BASKETS SHALL BE REPAIRED OR REPLACED AS NEEDED.

5. AFTER ACHIEVING PERMANENT VEGETATION, ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE REMOVED, AND THE DRAINAGE STRUCTURES SHALL BE CLEANED.

6. THE CONTRACTOR SHALL KEEP A WATER SOURCE AT THEIR DISPOSAL FOR THE PURPOSE OF WATERING DOWN SOIL ON SITE AND ADJACENT ROADWAYS WHICH OTHERWISE MAY BECOME AIRBORNE.

7. THE CONTRACTOR SHALL STABILIZE ALL IDLE, DISTURBED AREAS WITHIN SEVEN DAYS OF CESSATION OF THE CONSTRUCTION ACTIVITIES IN THAT AREA.

8. THE CONTRACTOR IS EXPRESSLY ADVISED NOT TO DISTURB AREAS WHICH ARE OUTSIDE THOSE NECESSARY TO PROVIDE THE IMPROVEMENTS AS CALLED FOR IN THE PLANS.

9. ALL EROSION CONTROL MEASURES SHALL BE REPLACED IF DAMAGED OR MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.

10. ALL BYPASS CHANNELS, MUST BE CONSTRUCTED SO THAT CHANNEL FLOWS WILL NOT CAUSE EROSION OF EXCAVATED MATERIAL. IN EACH CASE A SEDIMENTATION BASIN MUST BE CONSTRUCTED SO AS TO ALLOW THE SEDIMENT TO SETTLE PRIOR TO THE DOWNSTREAM OUTLET OF THE PROJECT AREA.

11. PUMPS MAY BE USED AS BYPASS DEVICES, BUT IN NO CASE WILL THE WATER BE DIVERTED OUTSIDE THE PROJECT LIMIT. ALL PUMPED WATER SHALL BE FREE OF SILT. PUMPING MAY REQUIRE THE USE OF A SEDIMENT CONTAINMENT FILTER BAG AND OTHER SUPPLEMENTAL SEDIMENT CONTROL MEASURES.

12. CONCRETE WASHOUT FACILITIES SHALL BE MADE AVAILABLE IF NEEDED, AND PROPERLY MAINTAINED THROUGHOUT THE PROJECT.

13. PROPERLY MANAGE ALL MATERIAL STORAGE AREAS, PORTABLE TOILETS, AND EQUIPMENT FUELING, CLEANING, AND MAINTENANCE AREAS TO ENSURE THESE AREAS ARE FREE OF SPILLS, LEAKS, OR OTHER POTENTIAL POLLUTANTS.

14. WASTE, CONSTRUCTION DEBRIS, AND BUILDING MATERIALS SHALL BE COLLECTED AND PLACED IN APPROVED RECEPTACLES.

STORM SEWERS	MODEL/SPECIFICATION	STANDARDS/REQUIREMENTS	
	PVC SDR 26	PIPE:ASTM D-3034	JOINT:ASTM D-3212
	RCP CL 1-IV	PIPE:ASTM C-76	JOINT:ASTM C-443
FRAME & GRATE/LID	PAVED AREAS	OPEN LID:N/A	CLOSED LID: NEENAH R-1772 (280 LBS)
	CURB STRUCTURES	OPEN LID: NEENAH R-3281-A W/OPEN CURB BOX	CLOSED LID:N/A
	GRASS AREAS	OPEN LID: N/A	CLOSED LID: NEENAH R-1772
ADJUSTMENT RINGS	CONCRETE	4" MINIMUM, 12" MAXIMUM	
PIPE BEDDING MATERIAL	CA-11		
TRENCH BACKFILL	CA-6		

WATER MAIN	MODEL/SPECIFICATION	STANDARDS/REQUIREMENTS	
VALVE BOXES	5 25" TWO PIECE SCREW	LID EMBOSSED WATER. VALVE BOX ADAPTOR II (BY ADAPTOR INC.) REQUIRED FOR STABILIZATION (SEE CITY OF WHEATON DETAILS ON SHEET 11)	
WATER VALVES	AWWA C-509	RESILIENT WEDGE GATE VALVE	
WATER MAIN FITTINGS	AWWA C-153	ALL FITTINGS MUST BE MANUFACTURED IN THE USA	
PIPE BEDDING MATERIAL	CA-11		
TRENCH BACKFILL	CA-6		
POLYWRAP	8 MIL BLACK POLY	WRAP:ANSI/AWWA C105/A21.5	INSTALLATION:ASTM A-674 METHOD A
CURB STOP	NO LEAD BRASS	MUELLER B-25154, FORD B22-444	MAY HAVE COMPRESSION OR FLARE JOINTS. MINNEAPOLIS PATTERN
CURB BOX		MUELLER H-10304	
CORPORATION VALVE	NO LEAD BRASS	MUELLER H-15000, FORD F600	
SERVICE SADDLE	DOUBLE STRAP SADDLE	MUELLER SS SERIES SS DBLE STRAP, FORD FS323, ROMAC 306	
WATER SERVICE PIPE	TYPE K COPPER	PIPE:ASTM B-88	

SANITARY SEWERS	MODEL/SPECIFICATION	STANDARDS/REQUIREMENTS	
WATER MAIN CLASS			
	PVC SDR 26	PIPE:ASTM D-2241	JOINT:ASTM D-3139 GASKET:ASTM F-477
FRAME & GRATE/LID	PAVED AREAS	CLOSED LID: NEENAH R-1772 (280 LBS)	LIDS STAMPED "SANITARY MANHOLE"
	GRASS AREAS	CLOSED LID: NEENAH R-1772 (325 LBS)	
ADJUSTMENT RINGS	CONCRETE	4" MINIMUM, 12" MAXIMUM	
PIPE BEDDING MATERIAL	CA-11		
TRENCH BACKFILL	CA-6		
CHIMNEY SEAL	CRETEX	ASTM. C-923	
MANHOLE CONNECTIONS		ASTM. C-923	
JOINT WRAP	MAC WRAP	ASTM. C-877 TYPE II	

TESTING REQUIREMENTS	
WATER MAIN	ALL WATER MAIN SHALL HAVE A PRESSURE AND LEAKAGE TEST PERFORMED IN ACCORDANCE WITH SECTION 41-2.14 OF STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS ACCEPT THE PRESSURE DURING THE TESTS SHALL BE EQUAL TO 150PSI.
SANITARY SEWER	ALL SANITARY SEWER SHALL BE TESTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS. ALL RIGID SANITARY SEWER PIPE SHALL BE TESTED BY EITHER METHOD A B OR C AS OUTLINED IN SECTION 31-1.12. ALL FLEXIBLE SANITARY SEWER PIPE SHALL BE TESTED BY METHOD D AND EITHER METHOD A B OR C. ALL SANITARY SEWER MUST BE TESTED BY METHOD E. THE CONTRACTOR SHALL PROVIDE THE ENGINEER A COPY OF THE VIDEO ON A DIGITAL VIDEO DISC. THE VIDEO MUST BE IN COLOR AND PROCEED NO FASTER THAN 1 FOOT PER SECOND.
SEWER WATER MAIN CROSSINGS	ALL SEWERS THAT CROSS OR RUN PARRALLEL TO WATER MAINS SUBJECT TO IEPA REQUIREMENTS FOR WATER MAIN QUALITY PIPE MUST BE PRESSURE TESTED ACCORDING TO 41-2.14 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS
SANITARY MANHOLES	ALL SANITARY MANHOLES SHALL BE TESTED BY EITHER ASTM C-969 OR ASTM C-1244

GHA GEWALT HAMILTON ASSOCIATES, INC.
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GENERAL NOTES

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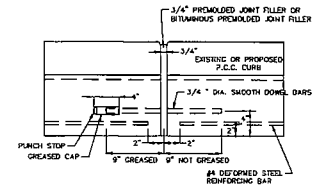


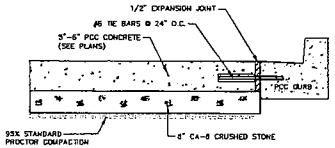
10.12.2018

GEWALT HAMILTON ASSOCIATES, INC.

EXPANSION JOINT DETAIL

NOTE:

PROPOSED PCC PAVEMENT SHALL BE 6" THICK IN PUBLIC RIGHT OF WAY AND 5" THICK EVERYWHERE ELSE.



02.01.2021

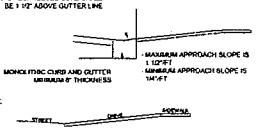
GEWALT HAMILTON ASSOCIATES, INC.

PCC PAVEMENT DETAIL

DRIVE APPROACH & SIDEWALK SPECIFICATIONS

GENERAL STANDARDS

1. ALL PORTLAND CEMENT CONCRETE SHALL CONFORM TO ILLINOIS DEPARTMENT OF TRANSPORTATION CLASS SI MIX
2. WHERE NEW CONCRETE WORK MEETS OR ABUTS ANY EXISTING CONCRETE STRUCTURES, THE EXISTING CONCRETE SHALL BE SAW CUT TO A STRAIGHT AND CLEAN EDGE AND EXPANSION MATERIAL PLACED BETWEEN THE NEW AND EXISTING WORK
3. EXPANSION MATERIAL IS ALSO REQUIRED BETWEEN NEW CURB AND NEW CONCRETE APPROACHES, NEW SIDEWALK AND NEW CONCRETE DRIVEWAYS, AND NEW CURB AND NEW SIDEWALK
4. A CULVERT WILL BE REQUIRED WHERE THE STREET DOES NOT HAVE CURB AND GUTTER
5. REPLACEMENT OF BARRIER CURB AND GUTTER WITH DEPRESSED CURB AND GUTTER TO BE WITH A SINGLE POUR. GUTTER SHALL BE A MINIMUM OF 8' THICK
6. WIRE MESH, REBAR, AND OTHER FORMS OF REINFORCEMENT ARE NOT ALLOWED IN CITY SIDEWALKS
7. PEA GRAVEL IS NOT ALLOWED AS FILL OR BASE MATERIAL
8. ALL CURB REPLACEMENTS SHALL BE A MINIMUM OF 3' IN LENGTH



RESIDENTIAL APPROACH

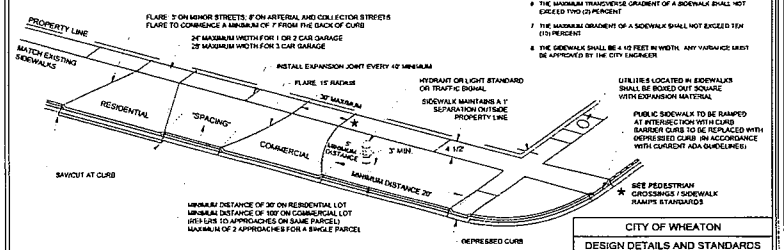
1. SHALL BE 5" THICK, PORTLAND CEMENT CONCRETE CLASS SI
2. 1 1/2" BITUMINOUS CONCRETE ON AN 8" THICK AGGREGATE BASE
3. BRICK PAVERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. MANUFACTURER'S SPECIFICATIONS MUST BE SUBMITTED AS PART OF THE PERMIT APPLICATION

COMMERCIAL APPROACH

1. 8" THICK, PORTLAND CEMENT CONCRETE, CLASS SI (BITUMINOUS IS NOT PERMITTED)

SIDEWALK

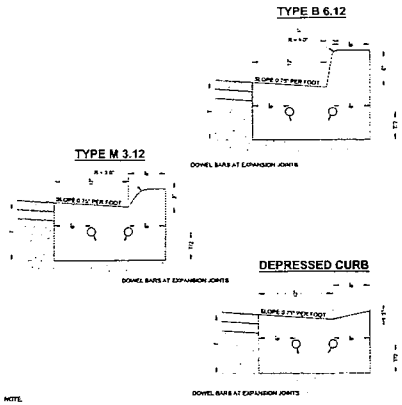
1. 4" THICK, PORTLAND CEMENT CONCRETE ON A COMPACTED CRUSHED AGGREGATE OR BANK RUN GRAVEL BASE
2. 5' THICK THROUGH RESIDENTIAL APPROACHES
3. 6' THICK THROUGH COMMERCIAL APPROACHES
4. WALK SHALL BE NO LOWER THAN THE CENTERLINE OF THE STREET
5. THE SIDEWALK SHALL HAVE SCORED TRANSVERSE JOINTS AT EQUAL SPACING OF FIVE (5) FEET
6. THE MAXIMUM TRANSVERSE GRADIENT OF A SIDEWALK SHALL NOT EXCEED TWO (2) PERCENT
7. THE MAXIMUM GRADIENT OF A SIDEWALK SHALL NOT EXCEED TEN (10) PERCENT
8. THE SIDEWALK SHALL BE 4 1/2 FEET IN WIDTH. ANY VARIANCE MUST BE APPROVED BY THE CITY ENGINEER



MINIMUM DISTANCE OF 30' ON RESIDENTIAL LOT
MINIMUM DISTANCE OF 100' ON COMMERCIAL LOT
(REGARDLESS OF APPROACHES ON SAME PARCEL)
MAXIMUM OF 2 APPROACHES FOR A SINGLE PARCEL

CITY OF WHEATON	
DESIGN DETAILS AND STANDARDS	
FIGURE # 1	
DATE: 12-07-20	FILE NAME: Drive Approach & Sidewalk.dwg

CURB & GUTTER SPECIFICATIONS



NOTE:

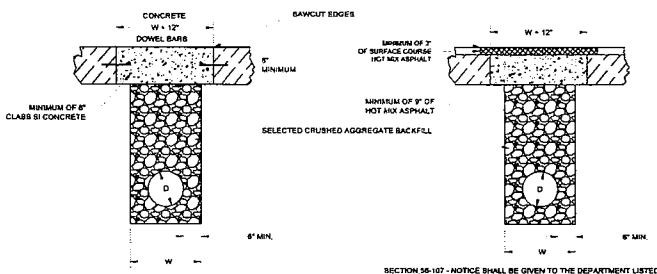
1. TWO NO 8 STEEL DOWEL BARS WITH CAPS TO BE USED AT ALL EXPANSION JOINTS 100 ft. INTERVALS
2. CONSTRUCTION JOINTS AT 25 ft. INTERVALS
3. INSTALL THREE 3/4" REBAR AT ALL TRENCH CROSSINGS. BARS TO EXTEND TWO (2) FT. BEYOND EDGE OF TRENCH AND HAVE A MINIMUM LENGTH OF 10 FT.
4. THE BASE COURSE WILL BE OF A DEPTH SUFFICIENT TO BRING THE CURB AND GUTTER TO THE PROPOSED GRADE
5. THE BASE COURSE LOCATED UNDER THE CURB AND GUTTER WILL NOT BE MEASURED FOR PAYMENT BUT SHALL BE INCLUDED IN THE UNIT PRICE BID FOR COMBINATION CONCRETE CURB AND GUTTER OF THE TYPE SPECIFIED

CITY OF WHEATON	
DESIGN DETAILS AND STANDARDS	
FIGURE # 4	
DATE: 04.01.20	FILE NAME: Curb & Gutter.dwg

STREET CUT REPAIR SPECIFICATIONS

Reference "Standard Specifications for Road and Bridge Construction" LATEST EDITION.

* ASPHALT PATCHES ONLY FOR ASPHALT ROADWAYS
* CONCRETE PATCHES ONLY FOR CONCRETE ROADWAYS



SECTION 56-106 - ANY STREET OR SIDEWALK DISTURBED BY EXCAVATION SHALL BE RESTORED TO ITS ORIGINAL CONDITION WITHIN 72 HOURS FROM THE TIME THE WORK COMMENCED, UNLESS GRANTED AN EXTENSION BY THE CITY ENGINEER. IN ALL CASES, HOWEVER, STREET OPENINGS SHALL BE BACK FILLED WITH APPROVED GRANULAR MATERIAL AND A TEMPORARY PAVEMENT SURFACE OF COMPACTED, COLD ASPHALT MATERIAL, A MINIMUM OF TWO INCHES IN DEPTH, SHALL BE PLACED ON THE AREA DISTURBED BY CONSTRUCTION WITHIN 12 HOURS FROM THE TIME THE WORK COMMENCED.

PATCHING ON ARTERIAL, COLLECTOR AND CENTRAL BUSINESS DISTRICT ROADWAYS, OR ROADWAYS THAT MAY BE DESIGNATED BY THE CITY, MUST BE BACK FILLED AND PATCHED THE DAY OF CONSTRUCTION. REFERENCE CROSS SECTIONS ABOVE.

PERMIT REQUIREMENTS: A STREET CUT PERMIT IS REQUIRED PRIOR TO ANY WORK.

A MINIMUM OF 24 HRS. NOTICE IS REQUIRED PRIOR TO INSPECTION.

SECTION 56-107 - NOTICE SHALL BE GIVEN TO THE DEPARTMENT LISTED ON THE PERMIT AT LEAST 24 HOURS BEFORE THE WORK OF REFILLING ANY EXCAVATION OR TUNNEL IN ANY STREET, ALLEY OR OTHER PUBLIC PLACE COMMENCES.

SECTION 56-16 - ANY PERSON DOING ANY PERMITTED WORK WITHIN ANY STREET OR ALLEY RIGHT-OF-WAY WITHIN THE CITY SHALL MAINTAIN SUFFICIENT AND SUITABLE SIGNS, BARRICADES AND LIGHTS DESIGNED TO WARN THE PUBLIC AGAINST HAZARDS CREATED BY THE PERMITTED WORK BEING DONE OR TO PREVENT DAMAGE TO ANY SUCH WORK.

NOTE:

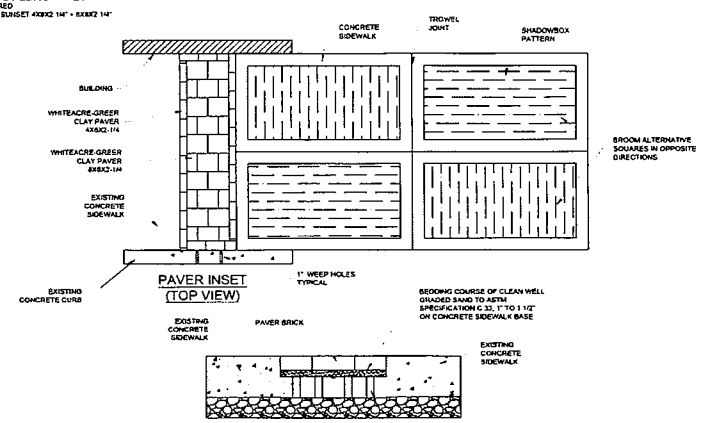
1. ONE LANE OF TRAFFIC SHALL BE MAINTAINED FOR PERMITTED FULL WIDTH STREET CUTS
2. CONCRETE PATCHES NOT PERMITTED ON ASPHALT STREETS
3. DOWEL BARS SHALL BE USED TO TIE NEW CONCRETE INTO EXISTING CONCRETE.

CITY OF WHEATON	
DESIGN DETAILS AND STANDARDS	
FIGURE # 2	
DATE: 12-07-20	FILE NAME: Street Cut Repair.dwg

PAVER BRICK WALKWAYS

For more information ref. "Wheaton City Code".

AS AN EXAMPLE THIS DRAWING USES:
WHITACRE-GREER CLAY PAVER, THIRTY SERIES RED
#36 RED BUNSET 4X8X2 1/4" + 8X8X2 1/4"



CITY OF WHEATON	
DESIGN DETAILS AND STANDARDS	
FIGURE # 3	
DATE: 12-07-20	FILE NAME: Paver Brick Walkways.dwg

GEWALT HAMILTON ASSOCIATES, INC.
625 Forest Edge Drive ■ Vernon Hills, IL 60061
Tel. 847.478.9700 ■ Fax 847.478.9701

DETAILS

POPEYES LOUISIANA KITCHEN
1815 NORTH MAIN STREET
WHEATON, ILLINOIS

NO.	BY	DATE	REVISION	NO.	BY	DATE	REVISION

FILE: 5828.000-Popeyes Wheaton-DT.dwg
DRAWN BY: TLM DATE: 12-20-24
CHECKED BY: AJP DATE: 12-20-24
GHA PROJECT # 5828.000
SCALE N.A.

SHEET NUMBER: 13 OF 19 SHEETS

NOTES:

MATERIALS

1. WHEEL STOPS: PRECAST, 3.5% MINIMUM AIR-ENTRAINED CONCRETE, 4000 PSI MINIMUM COMPRESSIVE STRENGTH. EACH STOP SHALL BE REINFORCED WITH TWO NO.4 DEFORMED STEEL REINFORCING BARS, MINIMUM. PROVIDE CHAMFERED CORNERS AND DRAIN SLOTS ON UNDERSIDE, AND PROVIDE HOLES FOR DOWEL-ANCHORING TO SUBSTRATE.

2. ADHESIVE FOR ANCHORING STOPS TO PARKING STRUCTURE SLABS, AT-GRADE CONCRETE PAVEMENTS. EPOXY ADHESIVE MANUFACTURED FOR THE PURPOSE.

3. ADHESIVE FOR BONDING DOWEL TO WHEEL STOP, AS PROPOSED BY CONTRACTOR AND APPROVED BY ENGINEER, SUITABLE FOR APPLICATION.

4. STEEL BARS FOR INSTALLATION: GALVANIZED STEEL DOWELS OR GALVANIZED NO. 3 STEEL REINFORCING BARS.

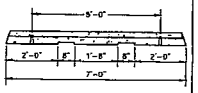
INSTALLATION

5. WHEEL STOPS TO BE CENTERED IN WIDTH OF PARKING STALL.

6. SECURELY ATTACH WHEEL STOPS INTO AT-GRADE CONCRETE WITH NOT LESS THAN TWO GALVANIZED STEEL DOWELS EMBEDDED IN HOLES CAST INTO WHEEL STOPS. FIRMLY BOND EACH DOWEL TO WHEEL STOP AND TO PAVEMENT.

7. AT CONCRETE PAVEMENT, DRILL HOLES IN PAVEMENT FOR DOWELS.

8. AT PARKING STRUCTURE SLABS, EPOXY TO SLAB.



10.12.2018

GEWALT HAMILTON ASSOCIATES, INC.

WHEEL STOP

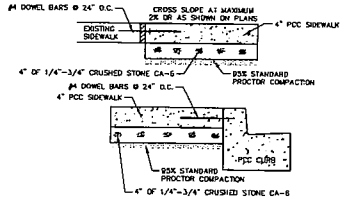
NOTES:

1. SET 1/2" EXPANSION JOINTS AT POINTS ABUTTING CURB OR PAVEMENT AND AT 60' MAX. INTERVALS.

2. CONTROL JOINTS SHALL BE 1/8" TO 1/4" WIDE AND 1/4 OF THE SIDEWALK THICKNESS DEEP. THE EDGE OF THE CONTROL JOINTS SHALL BE GIVE A 1/4" RADIUS.

3. SIDEWALK WIDTH AS SHOWN ON PLANS.

4. SIDEWALK JOINTS SHALL MATCH CURB CONTROL AND CONSTRUCTION JOINTS.



10.05.2021

GEWALT HAMILTON ASSOCIATES, INC.

PCC SIDEWALK DETAIL

GEWALT HAMILTON ASSOCIATES, INC.
625 Forest Edge Drive ■ Vernon Hills, IL 60061
TEL 847.478.9700 ■ FAX 847.478.9701

DETAILS

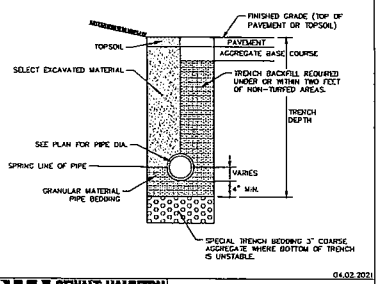
POPEYES LOUISIANA KITCHEN
1815 NORTH MAIN STREET
WHEATON, ILLINOIS

NO.	BY	DATE	REVISION	NO.	BY	DATE	REVISION

FILE: 5828.000-Popeyes Wheaton-DT.dwg
DRAWN BY: TLK DATE 12-20-24
CHECKED BY: AJP DATE 12-20-24
GHA PROJECT # 5828.000
SCALE: N.A.
SHEET NUMBER: 14 OF 19 SHEETS

NOTE:
SEE STORM TABLE FOR MATERIAL REQUIREMENTS.

TRENCH WIDTH
WIDTH (MAX.) = 9" + OD + 9" WHEN TRENCH DEPTH < 5 FT.
WIDTH (MAX.) = 18" + OD + 18" WHEN TRENCH DEPTH > 5 FT.

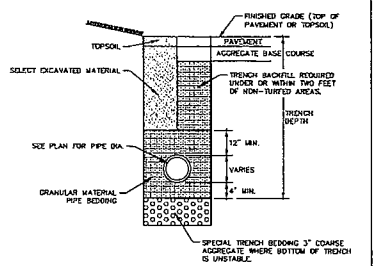


04.02.2021

GHA GEWALT HAMILTON ASSOCIATES, INC. — STORM TRENCH DETAIL RIGID PIPE INSTALLATION

NOTE:
SEE STORM TABLE FOR MATERIAL REQUIREMENTS.

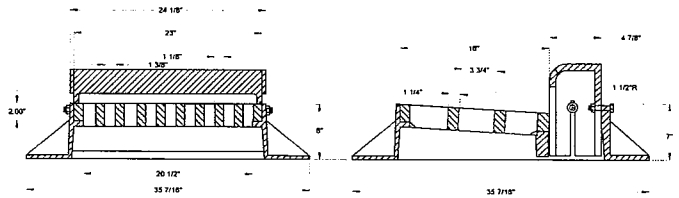
TRENCH WIDTH
WIDTH (MAX.) = 9" + OD + 9" WHEN TRENCH DEPTH < 5 FT.
WIDTH (MAX.) = 18" + OD + 18" WHEN TRENCH DEPTH > 5 FT.



04.02.2021

GHA GEWALT HAMILTON ASSOCIATES, INC. — STORM TRENCH DETAIL FLEXIBLE PIPE INSTALLATION

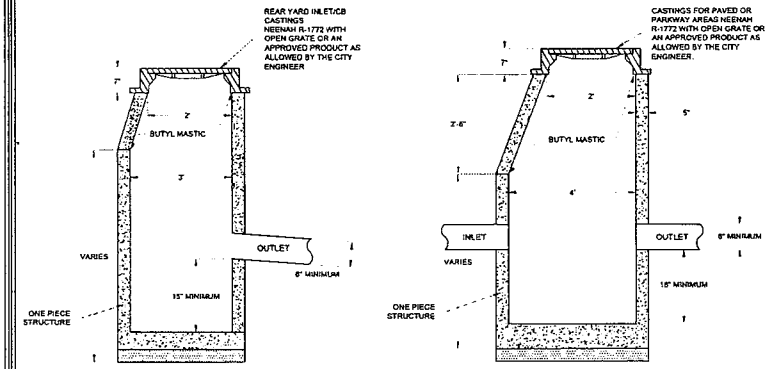
SPECIAL FRAME AND GRATE FOR CATCH BASIN AND INLET
TOTAL WEIGHT 355 lbs



NEENAH #R-3010 OR EQUIVALENT FRAME AND GRATE
1. Use Vane grates, specify right or left, this shall be approved by Sewer Division first.
2. Curb box shall be adjustable from three (3) inches to seven (7) inches.
3. All frame backs must have stamped symbol of a fish per NPDES regulations.

CITY OF WHEATON	
DESIGN DETAILS AND STANDARDS	
FIGURE # 26	
DATE: 12-07-20	FILE NAME: Special Frame and Grate.dwg

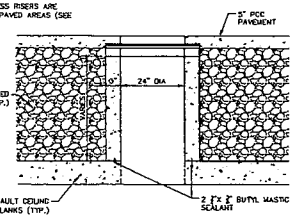
CATCH BASIN WITH FRAME AND GRATE FOR INLET



NOTES:
1. MAXIMUM ADJUSTMENT OF 8" USING 2 RISER RINGS. NO METAL RISER RINGS OR BRICK ALLOWED
   A. CONCRETE ADJUSTING RINGS SHALL HAVE A MINIMUM THICKNESS OF 2"
   B. RUBBER ADJUSTING RINGS SHALL TOTAL NO MORE THAN 3"
2. ALL JOINTS BETWEEN BARREL SECTION, RISER, AND CASTINGS ARE TO BE SEALED WITH FLEXIBLE BUTYL GASKET MATERIAL TWO AND ONE QUARTER (2-1/4) INCHES WIDE AND THREE-EIGHTS (3/8) INCHES THICK OR APPROVED EQUAL.
3. FOUR (4) FOOT DIAMETER CATCH BASIN STRUCTURES WHICH EXCEED A DEPTH OF FOUR (4) FEET SHALL HAVE POLYPROPYLENE PLASTIC COATED "PRESS FIT" MANHOLE STEPS INSTALLED.
4. FLEXIBLE BUTYL MASTIC MATERIAL SHALL BE PLACED BETWEEN ALL BARREL SECTIONS, RISER RINGS, AND FRAMES.
3. ALL CATCH BASINS MUST BE 3' INSIDE DIAMETER UNLESS 2 OR MORE PIPES ENTER OR EXIT THE STRUCTURE. IF TWO OR MORE PIPES ENTER OR EXIT THE CATCH BASIN, THE MINIMUM STRUCTURE DIAMETER IS 4'. SUBSTITUTIONS MUST BE APPROVED BY THE CITY ENGINEER

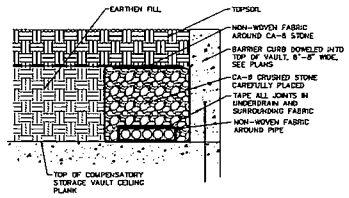
CITY OF WHEATON	
DESIGN DETAILS AND STANDARDS	
FIGURE # 25	
DATE: 12-07-20	FILE NAME: CATCH BASIN FOR INLET.dwg

NOTES:
1. SEE STORM TABLE AND TYPE A STORM SEWER MANHOLE DETAIL FOR FURTHER REQUIREMENTS.
2. PRECAST REINFORCED CONCRETE SECTIONS PER ASTM C-478 AND PREFORMED BITUMINOUS JOINTS WITH INTEGRAL PRECAST BOTTOMS.
3. FINAL ADJUSTMENT TO FRAMES TO BE DONE WITH STEEL SHIMS SET IN MORTAR.
4. SOME VAULT ACCESS RISERS ARE LOCATED IN NON-PAVED AREAS (SEE PLANS).



03.15.2016

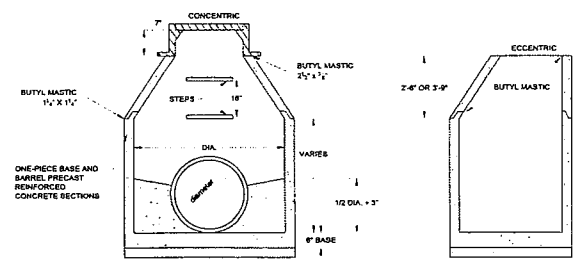
GHA GEWALT HAMILTON ASSOCIATES, INC. — VAULT ACCESS RISER



05.11.2019

GHA GEWALT HAMILTON ASSOCIATES, INC. — 12" HORIZONTAL FLAT PANEL DRAIN DETAIL

TYPE "A" STORM SEWER MANHOLE



NOTES:
1. Manhole castings
   A. In paved and parkway areas Neenah R-1772 (380 lbs.) or an approved equal product with a solid lid as allowed by the City Engineer. EJIW 1022-3 (370 lbs.) will not be accepted.
   B. In back lot areas Neenah R-1772 or an approved equal product with a solid lid as allowed by the City Engineer.
2. Manholes to have ONE piece integral base and barrel section.
3. Manholes to be a minimum 4' diameter for sewers 18" diameter or less, and 5' diameter for sewers larger than 18" diameter and less than 48" diameter.
4. Manholes 4' in diameter which exceed a depth of 4' shall have steps to be cast in with polypropylene plastic, "Press Fit" type installation. Steps shall be 16" apart on center
5. All Manholes to have chimney seal collars.
6. All joints between barrel sections shall be sealed with flexible butyl mastic material 1½" wide by 1½" thick. All joints between riser rings and frames to be sealed with flexible butyl mastic material 2½" wide and ½" thick.
7. When shimming is required in street areas, beveled rubber riser rings shall be used. BRICK SHIMMING OR MORTAR IS NOT ALLOWED
8. The 4" base shall be made of poured in place Class SI concrete or precast with 4" aggregate cushion.
9. The maximum amount of adjustment for frame elevation is 8" with 2 rings
   A. Concrete adjusting rings shall have a minimum thickness of 2"
   B. Rubber adjusting rings shall total no more than 3"
10. When an eccentric cone is used:
   A. If the Manhole is of 4' dia. then the cone shall be 2'-9" in height.
   B. If the Manhole is of 5' dia. then the cone shall be 3'-9" in height.

CITY OF WHEATON	
DESIGN DETAILS AND STANDARDS	
FIGURE # 21	
DATE: 12-07-20	FILE NAME: Type A Storm Sewer.dwg

GHA GEWALT HAMILTON ASSOCIATES, INC.
625 Forest Edge Drive ■ Vernon Hills, IL 60061
Tel 847.478.9700 ■ Fax 847.478.9701

DETAILS

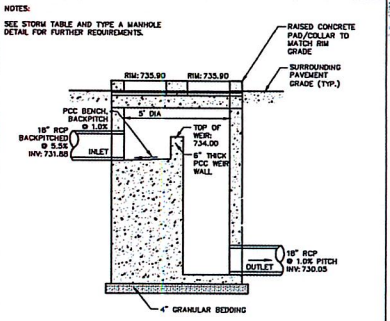
POPEYES LOUISIANA KITCHEN
1815 NORTH MAIN STREET
WHEATON, ILLINOIS

NO.	BY	DATE	REVISION	NO.	BY	DATE	REVISION

FILE: 5828.000-Popeyes Wheaton-DT.dwg		SHEET NUMBER:
DRAWN BY: TLM DATE: 12-20-24	GHA PROJECT # 5828.000	15
CHECKED BY: AJP DATE: 12-20-24	SCALE: N.A.	OF 19 SHEETS

NOTES:

SEE STORM TABLE AND TYPE A MANHOLE DETAIL FOR FURTHER REQUIREMENTS.

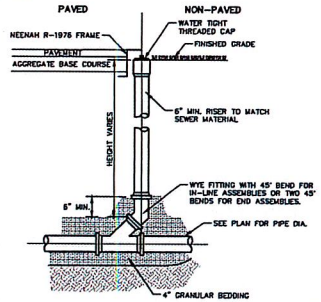


03.15.2022

GEWALT HAMILTON ASSOCIATES, INC.

OVERFLOW WEIR SS#13

NOTE:
SEE SANITARY TABLE FOR MATERIAL REQUIREMENTS.



03.15.2016

GEWALT HAMILTON ASSOCIATES, INC.

SANITARY SEWER CLEAN-OUT DETAIL

WAGATE®

WaGate Flap Valve

KVI NPS 8"-24"

Use

Used as flood protection and emergency shutdown. For mounting on outlet pipes in ducting or from pump station. For stormwater and wastewater.

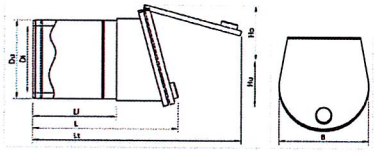
- Pipe insert with 2 rubber rings for sealing against existing piping
- Can be mounted below the water surface
- The flap has a 15 degree inclination
- Corrosion-proof materials
- UV-resistant

Material

Valve pipe: PE 100
Flap: PEHD 500 UV-bestandig
Hinges: EP 400/3-3+1.5 LD rubber
Seal against flap: EPDM
Steel: EN 1.4404

Technical data

Waterproof for one-sided water pressure
Max pressure: 0.5 psi
Temperature: -50°C - +80°C



Dimensions [in] and weight [lbs]

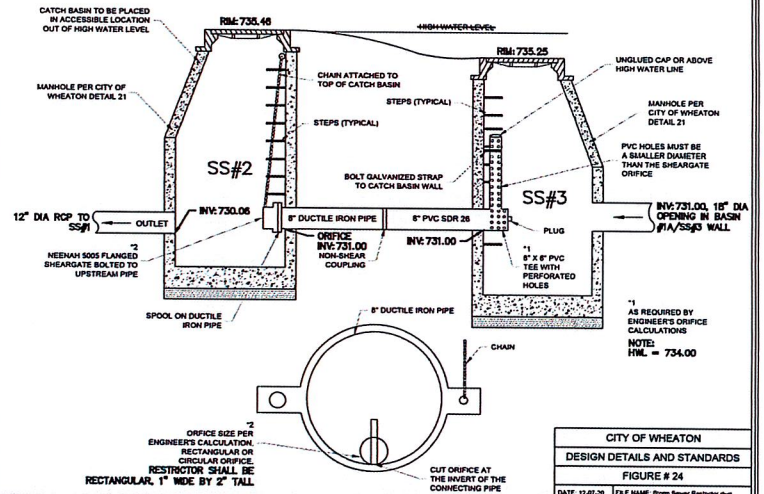
NPS	Di	Do	Do	Ho	Hu	L	Lt	U	B	Weight
8	8	7.7-7.9	16.4	6.5	7.9	15.5	20.9	10.7	9	
9	9	8.1-8.9	18.4	7.2	7.9	15.8	22.1	11.6	10.6	
10	10	9.1-9.8	20.5	8.1	9.9	18.5	25.6	12.8	13.4	
11	11	9.8-11	23.0	9.1	9.9	19.5	26.4	14	16.5	
12	12	11-12.4	25.8	10.2	11.8	19.7	28.9	15.9	24	
14	14	12.6-14	29.1	11.5	11.8	24.8	30.5	17.6	33.5	
16	16	14.1-15.8	32.7	12.9	15.8	28.7	37	19.7	41	
18	18	15.9-17.7	36.8	14.5	17.7	31.5	42.5	22.8	63.9	
20	20	17.8-19.7	40.9	16.1	19.7	35.4	46.3	23.1	92.6	
22	22	19.7-22	45.8	18	22.1	38.6	51.2	27.3	117.3	
24	24	22-24.8	51.6	20.3	23.6	40.1	57.5	30.1	161.4	

Other dimensions on request.
We reserve the right to make changes to the product.

Eschborn Heritage Ave
Chicago IL 60631
+1 (847) 971 9017

WAPRO

TYPICAL INSTALLATION STORM SEWER RESTRICTOR

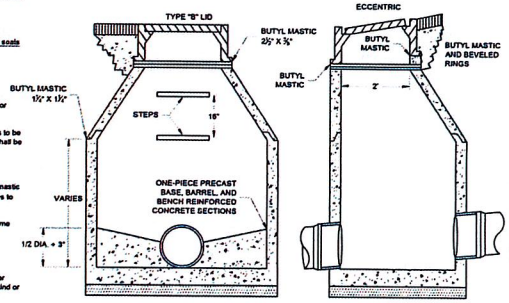


CITY OF WHEATON
DESIGN DETAILS AND STANDARDS
FIGURE # 24
DATE: 12-07-20 | FILE NAME: Storm Sewer Restrictor.dwg

SANITARY MANHOLE

NOTES:

1. Sanitary Manhole castings
   A. In paved and parkway areas Neenah R-1772 (360 lbs.) with a solid lid.
   B. In backlot areas Neenah R-1772 (325 lbs.).
2. All frames and lids must have concealed pick holes and gasketed self-sealing features. "O" ring seals are not permitted. Flat gaskets "T" seals are required, and frame must accommodate chimney seal.
3. All lids must be stamped "Sanitary Manhole".
4. Manholes to have one piece integral base and barrel section.
5. Manholes to be 4' diameter for sewers 18" or less, and 5' diameter for sewers larger than 18" and less than 48".
6. Manholes 4' in diameter which exceed a depth of 4' shall have steps to be coated with polypropylene plastic, "Press Fit" type installation. Steps shall be 16" apart on center.
7. All Manholes to have chimney seal collars.
8. All joints between barrel sections shall be sealed with flexible butyl mastic material 1½" wide by 1/2" thick. All joints between riser rings and frames to be sealed with flexible butyl mastic material 2½" wide ¾" thick.
9. External or internal chimney seals must be installed between the dome and frame.
10. All connections to be by preinstalled synthetic rubber sleeve with stainless steel clamps, non shear-type.
11. When shimming to grade is required in paved areas, beveled rubber adjustment rings and butyl mastic shall be used. No shimming of any kind or or mortar layers are allowed.
13. The maximum amount of adjustment for frame elevation is 8" with 2 riser rings. Concrete adjusting rings shall have a minimum thickness of 2". Rubber adjusting rings shall total no more than 3". Beveled riser rings shall be used in cases where a difference in elevation exists. Metal riser rings are not allowed and bricks shall not be used for shimming the frame on the structure.
14. When an eccentric cone is used:
   A. If the Manhole is of 4' dia. then the cone shall be of 2'-6" in height.
   B. If the Manhole is of 5' dia. then the cone shall be of 3'-9" in height



CITY OF WHEATON
DESIGN DETAILS AND STANDARDS
FIGURE # 16
DATE: 12-07-20 | FILE NAME: Sanitary Manhole.dwg

GEWALT HAMILTON ASSOCIATES, INC.
625 Forest Edge Drive ■ Vernon Hills, IL 60061
TEL 847.478.9700 ■ FAX 847.478.9701

DETAILS

POPEYES LOUISIANA KITCHEN
1815 NORTH MAIN STREET
WHEATON, ILLINOIS

NO.	BY	DATE	REVISION	NO.	BY	DATE	REVISION

FILE: 5828.000-Popeyes Wheaton-DT.dwg
DRAWN BY: TLM DATE: 12-20-24
GHA PROJECT # 5828.000
CHECKED BY: AJP DATE: 12-20-24
SCALE: N.A.

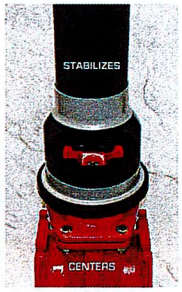
SHEET NUMBER: 16 OF 19 SHEETS

VALVE BOX SETTER

Valve Box Adaptor II

ADVANTAGES

- Eliminates settling and shifting of the valve box over the Gate Valve.
- Allows proper keying of the valve.
- Protects epoxy coating on valves.
- Centers valve box over operating nut.
- Seals valve box with a resilient material.
- Cost Effective



CITY OF WHEATON	
DESIGN DETAILS AND STANDARDS	
FIGURE # 32	
DATE: 12-07-20	FILE NAME: Valve Box Setter 1.dwg

VALVE BOX SETTER

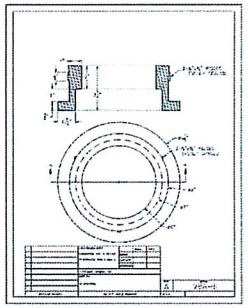
Valve Box Adaptor II

Detail Specifications

All valve boxes shall be installed upon the valve with the use of a Valve Box Adaptor II as manufactured by Adaptor Inc. or an approved equal.

The VBA-II shall be installed in lieu of hardwood blocking and shall be incidental to the valve and box installation.

Manufactured from recycled "Green" natural rubber



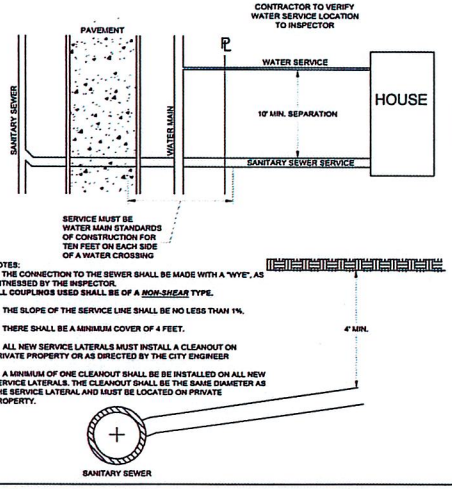
AMERICAN MADE PRODUCTS

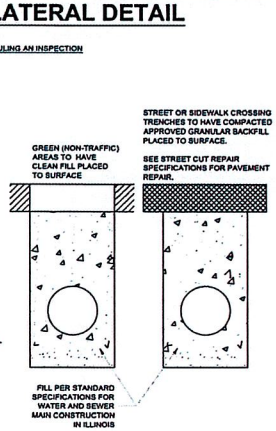
WWW.ADAPTORINC.COM

CITY OF WHEATON	
DESIGN DETAILS AND STANDARDS	
FIGURE # 33	
DATE: 12-07-20	FILE NAME: Valve Box Setter 2.dwg

SANITARY SEWER SERVICE LATERAL DETAIL

A MINIMUM 24-HOUR NOTICE IS REQUIRED PRIOR TO SCHEDULING AN INSPECTION



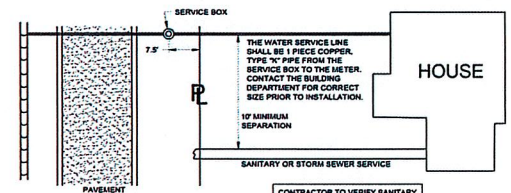


NOTES:

1. THE CONNECTION TO THE SEWER SHALL BE MADE WITH A "WYE", AS WITNESSED BY THE INSPECTOR. ALL COUPLINGS USED SHALL BE OF A *NON-SHEAR* TYPE.
2. THE SLOPE OF THE SERVICE LINE SHALL BE NO LESS THAN 1%.
3. THERE SHALL BE A MINIMUM COVER OF 4 FEET.
4. ALL NEW SERVICE LATERALS MUST INSTALL A CLEANOUT ON PRIVATE PROPERTY OR AS DIRECTED BY THE CITY ENGINEER
5. A MINIMUM OF ONE CLEANOUT SHALL BE BE INSTALLED ON ALL NEW SERVICE LATERALS. THE CLEANOUT SHALL BE THE SAME DIAMETER AS THE SERVICE LATERAL AND MUST BE LOCATED ON PRIVATE PROPERTY.

CITY OF WHEATON	
DESIGN DETAILS AND STANDARDS	
FIGURE # 15	
DATE: 12-07-20	FILE NAME: Sanitary Service Lateral Detail.dwg

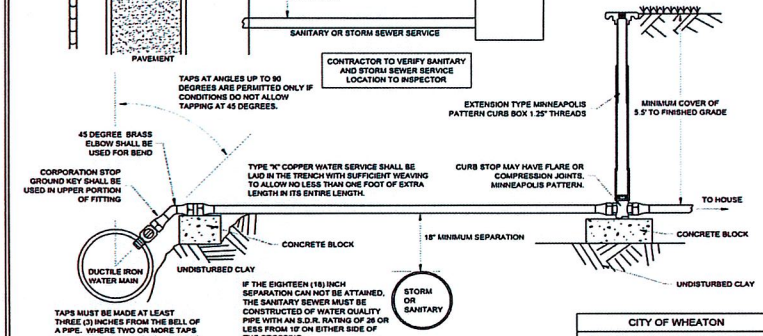
WATER SERVICE CONNECTION DETAIL



CONTRACTOR TO VERIFY SANITARY AND STORM SEWER SERVICE LOCATION TO INSPECTOR

WHEN SERVICE BOX FALLS IN A SIDEWALK OR CONCRETE DRIVEWAY A 4" SLEEVE MUST BE PLACED AROUND THE BOX. AGGREGATE ADDED SO BOX MAY MOVE WITH FROST.

TAPS AT ANGLES UP TO 90 DEGREES ARE PERMITTED ONLY IF CONDITIONS DO NOT ALLOW TAPPING AT 45 DEGREES.



IF THE EIGHTEEN (18) INCH SEPARATION CAN NOT BE ATTAINED, THE SANITARY SEWER MUST BE CONSTRUCTED OF WATER QUALITY PIPE WITH AN S.D.R. RATING OF 26 OR LESS FROM 10' ON EITHER SIDE OF THE CROSSING.

TAPS MUST BE MADE AT LEAST THREE (3) INCHES FROM THE BELL OF A PIPE. WHERE TWO OR MORE TAPS ARE MADE, THEY MUST BE 18" APART.

CITY OF WHEATON	
DESIGN DETAILS AND STANDARDS	
FIGURE # 31	
DATE: 12-07-20	FILE NAME: Water Service.dwg

GHA GEWALT HAMILTON ASSOCIATES, INC.
625 Forest Edge Drive ■ Vernon Hills, IL 60061
TEL 847.478.9700 ■ FAX 847.478.9701

DETAILS

POPEYES LOUISIANA KITCHEN
1815 NORTH MAIN STREET
WHEATON, ILLINOIS

NO.	BY	DATE	REVISION	NO.	BY	DATE	REVISION

FILE: 5828.000-Popeyes Wheaton-DT.dwg
DRAWN BY: TLM DATE 12-20-24
CHECKED BY: AJP DATE 12-20-24
GHA PROJECT # 5828.000
SCALE N.A.
SHEET NUMBER 17 OF 19 SHEETS

POPEYES LOUISIANA KITCHEN - PLANT LIST			
Qty.	Common Name	Botanical Name	Size
Trees			
1	Espresso Coffeetree	Gymnocladus dioica	2" BB
1	American Hophornbeam	Ostrya virginiana	3" BB
2	Japanese Tree Lilac	Syringa reticulata 'Ivory Silk'	2" BB
1	Shawnee Brave Bald Cypress	Taxodium distichum 'Shawnee Brave'	3" BB
Shrubs			
8	Green Velvet Boxwood	Buxus x 'Green Velvet'	18" BB
24	Buttonbush	Cephalanthus occidentalis	24" BB
18	Isanti Dogwood	Cornus sericea 'Isanti'	24" BB
1	Pink Diamond Hydrangea	Hydrangea paniculata 'Pink Diamond'	24" BB
19	Inkberry	Ilex glabra 'Compacta'	3 gal.
9	Grey Owl Juniper	Juniperus virginiana 'Grey Owl'	3 gal.
9	Knock Out Sunny Rose	Rosa 'Radsun' (Ko Sunny)	3 gal.
Perennials and Ornamental Grasses			
30	Summer Peek-A-Boo Allium	Allium 'Summer Peek-A-Boo'	1 gal.
22	Moonshine Yarrow	Achillea millefolium 'Moonshine'	1 gal.
9	Lesser Calamint	Calamintha nepeta ssp. nepeta	1 gal.
15	Shenandoah Switch Grass	Panicum virgatum 'Shenandoah'	1 gal.
26	Autumn Joy Sedum	Sedum 'Autumn Joy'	1 gal.
16	Carousel Little Bluestem	Schizachyrium scoparium 'Carousel'	1 gal.
41	Standing Ovation Little Bluestem	Schizachyrium scoparium 'Standing Ovation'	1 gal.

LOW SWALE SEED MIX		
Species	Common Name	Rate PLS* oz needed
(Grasses/ Sedges)		
Calamagrostis canadensis	Bluejoint Grass	1.00
Carex cristatella	Crested Oval Sedge	2.00
Carex lurida	Bottlebrush Sedge	3.00
Carex spp.	Prairie Sedge Species	4.00
Carex stipata	Common Fox Sedge	2.00
Elymus canadensis	Canada Wild Rye	16.00
Elymus virginicus	Virginia Wild Rye	16.00
Glyceria striata	Fowl Manna Grass	1.00
Juncus effusus	Common Rush	1.00
Juncus tenuis	Path Rush	1.00
		47.00
(Temporary Cover)		
Avena sativa	Common Oats	512.00
		512.00
(Forbs)		
Alisma subcordatum	Common Water Plantain	1.00
Eutrochia grammifolia	Common Grass-Leaved Goldenrod	0.50
Iris spp.	Blue Flag species	3.00
Iseirs sibirica	Marsh Blazing Star	1.50
Lobelia siphilitica	Great Blue Lobelia	0.50
Lycopus americanus	Common Water Horehound	0.50
Mimulus ringens	Monkey Flower	0.50
Pycnanthemum virginianum	Common Mountain Mint	0.50
Rudbeckia hirta	Black-eyed Susan	4.00
Rudbeckia triloba	Brown-Eyed Susan	2.00
Zizia aurea	Golden Alexander	2.00
	Totals	18.00
		575.00

*PLS = "Pure Live Seed"

Install at 29.75 PLS pounds per acre

CREEKSIDE MEADOW SEED MIX		
Species	Common Name	Rate PLS oz needed
(Grasses/ Sedges)		
Andropogon gerardii	Big Bluestem	4.00
Carex cristatella	Crested Oval Sedge	0.50
Carex lurida	Bottlebrush Sedge	3.00
Carex spp.	Prairie Sedge Species	3.00
Carex stipata	Common Fox Sedge	2.00
Carex vulpinoidea	Brown Fox Sedge	6.00
Elymus canadensis	Canada Wild Rye	16.00
Elymus virginicus	Virginia Wild Rye	16.00
Juncus effusus	Common Rush	1.00
Panicum virgatum	Switch Grass	3.00
Scirpus atrovirens	Dark Green Rush	2.00
Scirpus cyperinus	Wool Grass	0.50
Sporobolus heterolepis	Prairie Cord Grass	3.00
		60.00
(Temporary Cover)		
Avena sativa	Common Oats	512.00
(Forbs)		
Alisma subcordatum	Common Water Plantain	1.00
Asclepias incarnata	Swamp Milkweed	3.00
Coreopsis tripteris	Tall Coreopsis	1.00
Eutrochia grammifolia	Common Grass-Leaved Goldenrod	0.50
Eutrochium maculatum	Spotted Joe-Pye Weed	1.00
Iris spp.	Blue Flag species	3.00
Iseirs sibirica	Marsh Blazing Star	1.00
Lycopus americanus	Common Water Horehound	0.50
Mimulus ringens	Monkey Flower	0.50
Pentheorum sedoides	Ditch Stonecrop	1.00
Pycnanthemum virginianum	Common Mountain Mint	0.50
Rudbeckia subtomentosa	Sweet Black-eyed Susan	1.00
Rudbeckia triloba	Brown-Eyed Susan	1.00
Senna hebecarpa	Wild Senna	1.00
Symphyotrichum novae-angliae	New England Aster	0.50
Verbena hastata	Blue Vervain	1.50
Zizia aurea	Golden Alexander	2.00
		30.00
		592.00

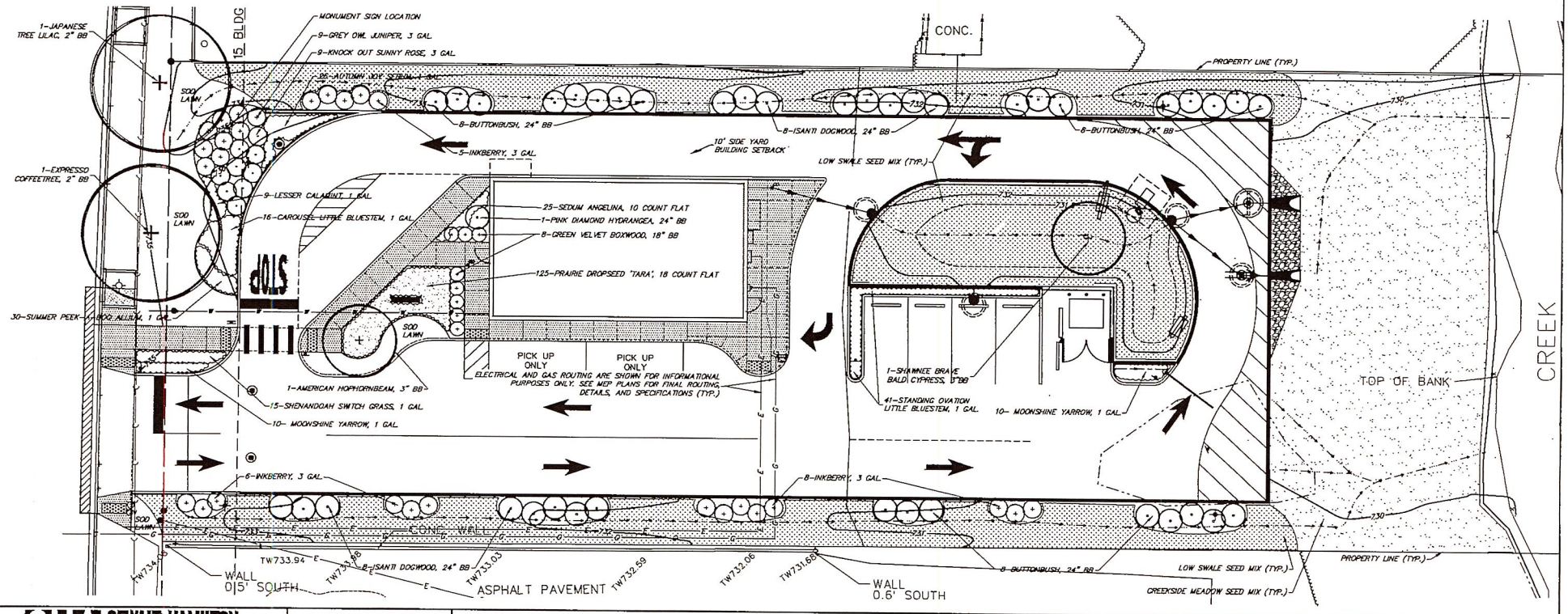
Apply at a rate of 37.0 PLS pounds per acre

PLANTING NOTES

1. TREE MULCH RINGS ARE FIVE FOOT DIAMETER WITHIN LAWN AREAS. ALL EXISTING TREES WITHIN WORK AREA BOUNDARIES SHALL HAVE A MULCH TREE RING INSTALLED, WITH SOD REMOVED WITHIN LIMITS OF THE MULCH RING.
2. PLANTING BED EDGES SHALL BE SPADE CUT TO DEPTH OF THREE INCHES. CURVED BEDS SHALL BE SMOOTH RADIUS WITH NO STRAIGHT SEGMENTS.
3. WHERE LANDSCAPING IS SHOWN WITHIN 5' OF ANY UTILITY STRUCTURE OR UTILITY LINE, CONSULT WITH LANDSCAPE ARCHITECT BEFORE PROCEEDING.
4. SEED LIMITS SHOWN ON PLANS ARE APPROXIMATE. SEEDING WORK SHALL EXTEND TO THE LIMITS OF NEW GRADING OR AND DISTURBED AREAS.
5. CONTRACTOR RESPONSIBLE FOR ALL EROSION CONTROL MEASURES WITHIN SEEDING LIMITS.
6. SEE GEOMETRIC AND PAVING PLAN FOR ADDITIONAL NOTES REGARDING SOD AND LAWN SEEDING WORK.
7. REFER TO LANDSCAPE SPECIFICATIONS FOR ADDITIONAL STANDARDS, CONDITIONS AND APPLICABLE NOTES.

N

GRAPHIC SCALE
10 0 5 10
(IN FEET)
1 inch = 10 ft.



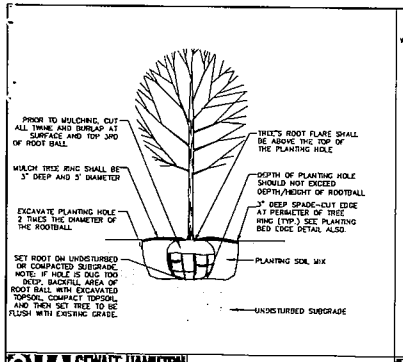
GEWALT HAMILTON ASSOCIATES, INC.
625 Forest Edge Drive ■ Vernon Hills, IL 60061
Tel: 847.478.9700 ■ Fax 847.478.9701

LANDSCAPE PLAN

POPEYES LOUISIANA KITCHEN
1815 NORTH MAIN STREET
WHEATON, ILLINOIS

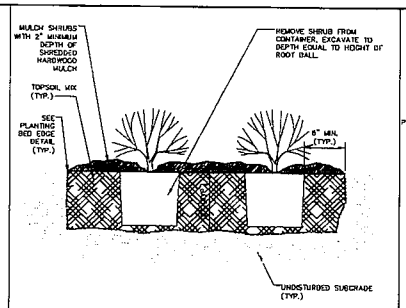
NO.	BY	DATE	REVISION	NO.	BY	DATE	REVISION

FILE: 5828.000-popeyes Wheaton-LA.dwg
DRAWN BY: JLC DATE: 12-17-24
GHA PROJECT # 5828.000
CHECKED BY: AJP DATE: 12-18-24
SCALE: 1"=10'
SHEET NUMBER 18 OF 19 SHEETS



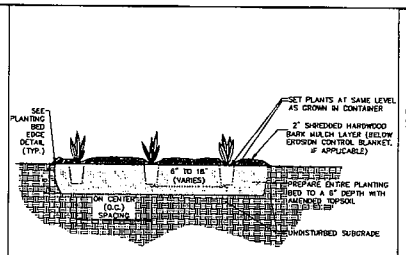
GHA GEWALT HAMILTON ASSOCIATES, INC.

TREE PLANTING DETAIL



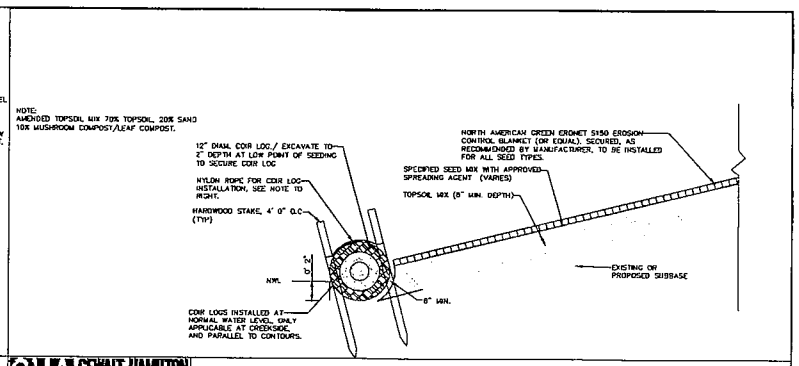
GHA GEWALT HAMILTON ASSOCIATES, INC.

SHRUB PLANTING DETAIL



GHA GEWALT HAMILTON ASSOCIATES, INC.

PLUG PLANTING DETAIL



GHA GEWALT HAMILTON ASSOCIATES, INC.

SEEDING DETAIL

GHA GEWALT HAMILTON ASSOCIATES, INC.
625 Forest Edge Drive ■ Vernon Hills, IL 60061
TEL 847.478.9700 ■ Fax 847.478.9701

LANDSCAPE DETAILS

POPEYES LOUISIANA KITCHEN
1815 NORTH MAIN STREET
WHEATON, ILLINOIS

NO.	BY	DATE	REVISION	NO.	BY	DATE	REVISION

FILE: 5828.000-popeyes Wheaton-LA.dwg

DRAWN BY: JLC	GHA PROJECT # 5828.000	SHEET NUMBER 19
DATE: 12-17-24		
CHECKED BY: AJP	SCALE 1"=10'	OF 19 SHEETS
DATE: 12-18-24		