ORDINANCE NO. O-2025-16

AN ORDINANCE GRANTING A SPECIAL USE PERMIT TO ALLOW THE CONSTRUCTION AND USE OF A 2,800 SQUARE-FOOT BANK BUILDING WITH A DRIVE-THROUGH SERVICE LANE, ON A CERTAIN PIECE OF PROPERTY COMMONLY KNOWN AS 204 E. GENEVA ROAD - FIFTH THIRD BANK

WHEREAS, written application has been made requesting a special use permit pursuant to Article 20.3 of the Wheaton Zoning Ordinance to allow the construction and use of a 2,800 square-foot bank building with a drive-through service lane and 16 parking spaces (following the demolition of the existing building), all on certain property legally described herein and commonly known as 204 E. Geneva Road, Wheaton, Illinois 60187; and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on March 11, 2025, to consider the special use permit; and the Planning and Zoning Board has recommended approval of the special use permit.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: The following described property has been and continues to be zoned and classified in the C-5 Planned Commercial District zoning classification:

LOT 2 IN ALBERTSON'S RESUBDIVISION, BEING A RESUBDIVISION OF LOT 1 OF MARILYN PARK CONSOLIDATION PLAT AND PART OF LOT 2 IN KNIGHTS BRIDGE RESUBDIVISION, BEING A SUBDIVISION IN THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 9, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 29, 2001 AS DOCUMENT R2001-232763, IN DUPAGE COUNTY, ILLINOIS.

P.I.N.: 05-09-102-110

The subject property is commonly known as 204 E. Geneva Road, Wheaton, IL 60187.

Section 2: Pursuant to the Findings of Fact made and determined by the Wheaton Planning and Zoning Board, a special use permit pursuant to Article 20.3 of the Wheaton Zoning Ordinance construction and use of a 2,800 square-foot bank building with a drive-through service lane and 16 parking spaces (following the demolition of the existing building) is granted, in full compliance with the following plans: "Site Plan - Fifth Third Bank, Wheaton", prepared by BHDP, Cincinnati, OH, dated October 25, 2023; "Engineering Plans - Fifth Third Bank, Wheaton", prepared by BHDP, Cincinnati, OH, dated November 19, 2024; "Landscape Plans - Fifth Third Bank, Wheaton", prepared by BHDP, Cincinnati, OH, dated November 19, 2024; and "Building Elevations - Fifth Third Bank, Wheaton", prepared by BHDP, Cincinnati, OH, dated November 19, 2024, subject to the following conditions:

1. The photometrics plan shall be revised to meet code;
2. The proposed antique white EIFS Barrier System (EXT-3) shown on the building elevations shall be replaced with masonry material;
3. The height of the proposed parapet wall shall be increased to fully screen the rooftop mechanical units as required by Article 3.4C.2 of the Wheaton Zoning Ordinance;

4. The monument sign plans shall be revised to meet code;
5. The dumpster enclosure shall be constructed of materials/ colors to match the proposed building and is subject to the approval of the Director of Planning and Economic Development;
6. The proposed landscaping along Geneva Road shall be revised to meet the sight distance requirements;
7. The water service must be relocated at least ten feet away from the sanitary service and the underground detention facility; and
8. The preliminary engineering plan shall be subject to further staff review prior to the issuance of a site development permit.

Section 3: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 4: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.

Philip J. Suess
Mayor

ATTEST:

Andrea Rosedale
City Clerk

Roll Call Vote:

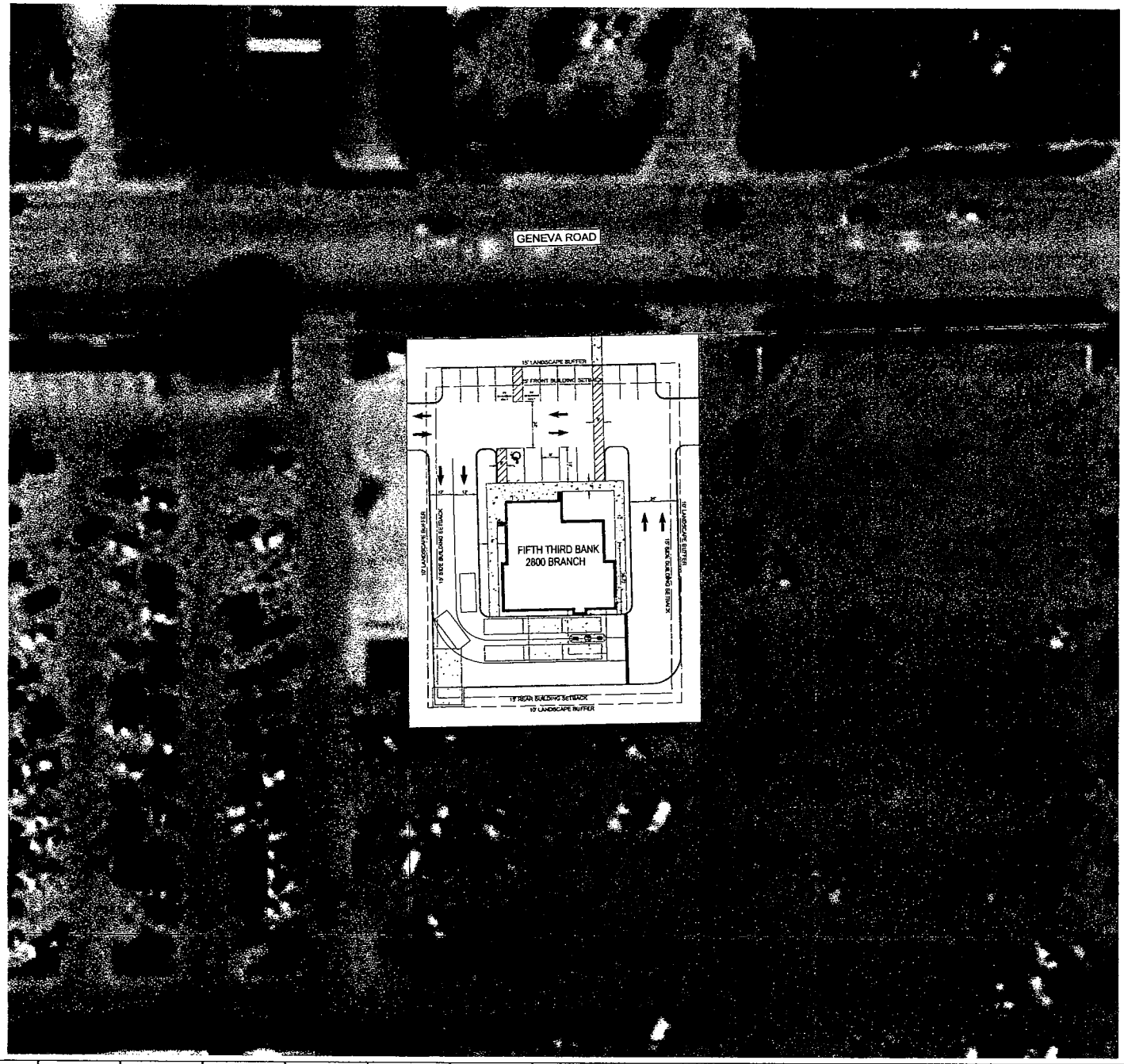
Ayes: Councilwoman Robbins
Councilman Weller
Councilman Barbier
Councilwoman Bray-Parker
Councilman Brown
Mayor Suess
Councilman Clousing

Nays: None

Absent: None

Motion Carried Unanimously

Passed: April 7, 2025
Published: April 8, 2025



SITE DATA:

SITE ADDRESS	204 E GENEVA ROAD, WHEATON, IL 60187
PIN	0509102110
BUILDING AREA	2800 SF BUILDING
EXISTING ZONING	C3
PROPOSED SITE AREA	0.98 ACRES
EXISTING USE	1101 STORE WITH PARKING LOT
FUTURE USE	BANK WITH ASSOCIATE PARKING AND DRIVE THRU

PARKING DATA

BANK PARKING REQUIRED	4.5 SPACE PER 1000 SF 2,800 SF x (4.5 / 1000 SF)	= 13 SPACES
TOTAL PARKING PROVIDED	STANDARD PARKING HANDICAP PARKING EV CHARGING TOTAL PARKING PROVIDED	= 13 SPACES = 1 SPACE = 2 SPACES = 16 SPACES
PARKING SPACE SIZE	9' X 18' PARKING SPACE 24' MINIMUM TWO WAY DRIVE AISLE	
ACCESSIBLE PARKING	9' X 18' PARKING SPACE (MINIMUM) 9' X 18' PARKING SPACE (PROVIDED) 5' MINIMUM WIDTH ACCESS AISLE	
DRIVE THROUGH	"CS REQUIRES SPECIAL USE PERMIT"	
STACKING	4 SPACES PER LANE	
LOADING ZONE	"NOTE: FINANCIAL INSTITUTIONS DO NOT USE LOADING ZONES FOR SECURITY PURPOSES. DELIVERY TRUCK WILL PARK DIRECTLY IN FRONT OF MAIN ENTRANCE."	

BUILDING REQUIREMENTS

FRONT YARD SETBACK	30'
300' YARD ABUTTING PUBLIC ROW SETBACK	75'
SIDE YARD SETBACK	19'
REAR YARD SETBACK	19'
MAXIMUM BUILDING HEIGHT	40'

LANDSCAPE REQUIREMENTS

"ALL PARKING LOTS DESIGNED FOR 30 OR MORE PARKING SPACES SHALL PROVIDE LANDSCAPING IN ACCORDANCE WITH THE PROVISIONS OF ARTICLE 14.3F 7-4 CITY OF WHEATON ZONING ORDINANCE."

"OUR SITE HAS LESS THAN 30 PARKING SPACES

LANDSCAPE ISLANDS	NOT LESS THAN 10 PERCENT OF THE INTERIOR OF THE PARKING LOT SHALL BE DEVOTED TO LANDSCAPING. INTERIOR PARKING LOT LANDSCAPING AREAS SHALL BE A MINIMUM OF 160 SF IN AREA, SUCH LANDSCAPING SHALL BE A MINIMUM OF 9' IN WIDTH AS MEASURED FROM BACK OF CURB TO BACK OF CURB.
LANDSCAPE BUFFERS	FRONT - 15' SIDE - 10' REAR - 10'

FLOOD ZONE

THIS PROPERTY IS IN ZONE X OF THE FLOOD INSURANCE RATE MAP PANEL NO. 17043C0261J EFFECTIVE DATE 08/03/2016.

JCA 2/7/24

DRAFT

NOT FOR CONSTRUCTION

Project Manager
Drawn
Checked
Drawing Date 10/25/2023
Project Number 230010.000

1 OF 1

BHDP ARCHITECTURE
CIVIL ENGINEERS
COLUMBUS
CHICAGO
CINCINNATI
DUBUQUE
www.bhdp.com

THE ALLENDERS GROUP, 6219 CENTRE PARK DRIVE

FIFTH THIRD BANK - WHEATON
204 E GENEVA ROAD, WHEATON, IL 60187

WHEATON - TEST FOR FIT OPTION 1

GENERAL NOTES

1. THE CITY OF WHEATON AND THE CURRENT EDITION OF THE STATE OF ILLINOIS DEPARTMENT OF TRANSPORTATION CONSTRUCTION MANUAL (IDOT CM), INCLUDING ALL SUPPLEMENTS, SHALL GOVERN ALL MATERIALS AND WORKMANSHIP SHOWN ON THE IMPROVEMENTS. SHOWN ON THIS PLAN, ENGIN REFERENCES TO MEASUREMENT AND PAYMENT IN THE IDOT CM UNLESS NOTED OTHERWISE. IN THE CASE OF CONFLICTS BETWEEN THE IDOT CM AND THE CITY OF WHEATON REQUIREMENTS, THE CITY OF WHEATON REQUIREMENTS SHALL PREVAIL.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE INVESTIGATION, LOCATION, SUPPORT, PROTECTION, AND RESTORATION OF ALL UNDERGROUND UTILITIES AND APPURTENANCES. WHERE SHOWN ON THESE PLANS OR NOT. THE CONTRACTOR SHALL EXPOSE ALL UTILITIES OR STRUCTURES PRIOR TO CONSTRUCTION TO VERIFY THE VERTICAL AND HORIZONTAL EFFECT ON THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL CALL "ONE CALL" (1-800-892-0123) AND ARRANGE FOR UTILITIES TO BE MARKED PRIOR TO CONSTRUCTION AND SHALL NOTIFY ALL UTILITY COMPANIES WHO ARE NON-MEMBERS OF THE ILLINOIS 811 SERVICE AT LEAST 48 HOURS PRIOR TO WORK IN THE VICINITY OF THEIR UNDERGROUND LINES.
3. CONTRACTOR SHALL OBTAIN A PERMIT FOR ALL CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH LOCAL, STATE, & FEDERAL REGULATIONS.
4. THE CONTRACTOR IS TO PERFORM ALL INSPECTIONS AS REQUIRED BY THE ILLINOIS DEPARTMENT OF HEALTH AND ENVIRONMENTAL CONTROL FOR THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT, AND FURNISH OWNERS REPRESENTATIVE WITH WRITTEN REPORTS.
5. THE CONTRACTOR IS REQUIRED TO VISIT THE SITE AND FULLY INFORM THEMSELVES CONCERNING ALL CONDITIONS AFFECTING THE SCOPE OF THE WORK. FAILURE TO VISIT THE SITE SHALL NOT RELIEVE THEM FROM ANY RESPONSIBILITY IN THE PERFORMANCE OF THE CONTRACT.
6. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED FOR EXPENSES INCURRED DUE TO SOIL CONDITIONS, GROUNDWATER, ANCHOR ROCK EXCAVATION. ALL OF THESE ITEMS SHALL BE INCLUDED IN THE PRICE BID FOR THE PROJECT.
7. THE COST OF ALL DEWATERING REQUIRED FOR THE CONSTRUCTION OF THIS PROJECT SHALL BE INCLUDED IN THE PRICE BID FOR THE PROJECT.
8. THE DIRECT OR INDIRECT DISCHARGE OR PUMPING OF UNFILTERED SEDIMENT LADEN WATER INTO THE STORM DRAINAGE SYSTEM OR WATERCOURSE IS ILLEGAL AND PROHIBITED.
9. ANY CONTRACTOR INSTALLING ANY WELL, WELL POINT, PIT, OR OTHER DEVICE USED FOR THE PURPOSE OF REMOVING GROUNDWATER FROM AN AQUIFER SHALL COMPLETE AND FILE A WELL LOG AND DRILLING REPORT WITH THE ILLINOIS DEPARTMENT OF NATURAL RESOURCES (IDNR) WITHIN 30 DAYS OF THE WELL INSTALLATION IN ACCORDANCE WITH THE ILLINOIS REQUIREMENTS. IN ADDITION, ANY SUCH FACILITY IS COMPLETED IN ACCORDANCE WITH THE ILLINOIS REQUIREMENTS. FOR COPIES OF THE NECESSARY WELL LOG DRILLING REPORT OR REGISTRATION FORMS, PLEASE CONTACT ILLINOIS DEPARTMENT OF NATURAL RESOURCES.
10. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO THE IDNR FOR THE REGISTRY, MAINTENANCE AND ABANDONMENT OF ANY WATER/ANNUAL DEVICES USED IN CONSTRUCTION OF THIS PROJECT.
11. ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT AND/OR FACE OF CURB, UNLESS OTHERWISE NOTED.
12. ALL SITE SIGNAGE, STRIPING COLOR AND WIDTH SHALL BE PER THE IDOT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
13. ALL EXISTING PAVEMENTS, WALKS, CURBS, ETC. SHALL BE SAWCUT BEFORE REMOVAL IF, DURING CONSTRUCTION, THE PAVEMENT, SIDEWALK, CURB, ETC. IS DAMAGED BEYOND THE ORIGINAL SAWCUT, THE DAMAGED AREA SHALL BE REQUIRED TO BE REPLACED AS DIRECTED BY THE ENGINEER. PAYMENT FOR SAWCUTTING SHALL BE INCLUDED IN THE PRICE BID FOR THE PROJECT.
14. THE CONTRACTOR SHALL SAWCUT EXISTING PAVEMENT TO PROVIDE A SMOOTH VERTICAL FULL DEPTH JOINT JOINT BETWEEN THE EXISTING PAVEMENT OF CURB AND THE PROPOSED PAVEMENT. CONTRACTOR SHALL LOCATE SOUND PAVEMENT EDGE AND CUT AND TRIM PAVEMENT TO A NEAT LINE. INCLUDE THE COST OF PAVEMENT REMOVAL AND DISPOSAL IN THE PRICE BID FOR THE PROJECT.

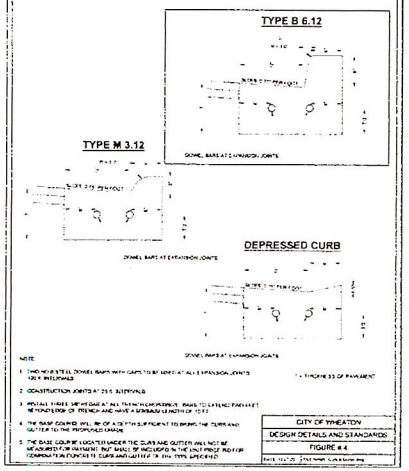
GRADING NOTES

1. CONTRACTOR TO REMOVE TREES AND CLEAR AREAS AS NECESSARY TO PERFORM ALL SITE WORK INCLUDING GRADING AND UTILITY WORK.
2. PROTECTION OF EXISTING TREES AND VEGETATION. PROTECT EXISTING TREES AND OTHER VEGETATION INDICATED TO REMAIN IN PLACE AGAINST UNNECESSARY CUTTING, BREAKING OR SKINNING OF ROOTS, SKINNING OR BRUISING OF BARK, SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIALS OR EXCAVATED MATERIALS WITHIN DRIP LINE, EXCESS FOOT OR VEHICULAR TRAFFIC, OR PARKING OF VEHICLES WITHIN DRIP LINE. PROVIDE TEMPORARY GUARDS TO PROTECT TREES AND VEGETATION TO BE LEFT STANDING.
3. ALL ELEVATIONS SHOWN ARE FINISHED GRADE ELEVATIONS.
4. SITE BUILDING PAD EXCAVATION AND CONSTRUCTION TO BE PER GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. BUILDING PAD PREPARATION SHALL BEGIN BY CLEARING & STRIPPING UNSUITABLE MATERIAL FROM PRO SITE, THEN PLACE & COMPACT BACKFILL MATERIAL AT GEOTECHNICAL ENGINEER'S AND ARCHITECT'S RECOMMENDATIONS. ALL BACKFILL MATERIAL MUST BE ACCEPTABLE TO THE GEOTECHNICAL ENGINEER.
5. ALL FILL UNDER PAVEMENT SHALL BE COMPACTED TO THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
6. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SITE EARTHWORK OF SITE. THE CONTRACTOR IS RESPONSIBLE FOR BUILT WORKMANSHIP AS NEEDED TO BALANCE THE SITE. GRADING AND CONSTRUCTION OF ROADWAY AREAS PRIOR TO BUTTERFLOWER OPERATIONS. AS-BUILT OF BUTTERFLOWER PIT WILL BE REQUIRED AT COMPLETION OF CONTRACTOR WORK AND MUST BE SUBMITTED TO THE CONSTRUCTION MANAGER.
7. CONTRACTOR SHALL IMPLEMENT ALL SOIL AND EROSION CONTROL PRACTICES REQUIRED BY THE CITY OF WHEATON AND THE ILLINOIS EPA.
8. ALL GROUND SURFACE AREAS THAT HAVE BEEN EXPOSED OR LEFT BARE AS A RESULT OF CONSTRUCTION AND ARE TO FINAL GRADE AND ARE TO REMAIN SO, SHALL BE SEEDED AND MULCHED AS SOON AS PRACTICAL IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. IF NO SPECIFICATIONS ARE SUPPLIED, USE IDOT CONSTRUCTION MANUAL.
9. CONTRACTOR TO "LAYOUT" BUILDING BASED ON ARCHITECTURAL/FOUNDATION PLANS. SITE PLAN IS FOR CONCEPTUAL PURPOSES ONLY.

UTILITY NOTES

1. ALL DRAIN TILE AND STORM SEWERS DAMAGED, DISTURBED OR REMOVED AS A RESULT OF THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED WITH THE SAME SIZE AND TYPE OR BETTER, MAINTAINING THE SAME GRADIENT AS EXISTING. THE DRAIN TILE AND/OR STORM SEWER SHALL BE CONNECTED TO THE CURB SUBDRAIN, STORM SEWER SYSTEM OR OUTLETTED INTO THE ROADWAY DITCH. AS APPLICABLE. REPLACED DRAIN TILE/STORM SEWER SHALL BE LAID ON COMPACTED BEDDING EQUAL IN DENSITY TO SURROUNDING STRATUM. BACKFILL MATERIAL SHALL BE DONE AT THE TIME OF THE BACKFILL OPERATION. COST OF THIS WORK TO BE INCLUDED IN THE PRICE BID FOR THE PROJECT.
2. ALL EXISTING UTILITIES SHOWN TO EXIST HAVE BEEN SHOWN ON THESE PLANS IN THEIR APPROXIMATE LOCATION. PRIOR TO THE BEGINNING OF CONSTRUCTION OR EARTH MOVING OPERATIONS, THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF THE UTILITIES SHOWN. THE CONTRACTOR IS ALSO RESPONSIBLE FOR THE PROTECTION AND/OR RELOCATION OF ANY UTILITIES THAT MAY EXIST AND ARE NOT SHOWN.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION AND/OR PROTECTION OF ANY UTILITIES AS REQUIRED BY THE PLAN WITH THE OWNER OF THE AFFECTED UTILITY.
4. UTILITY POLES WITHIN INFLUENCE OF THE UTILITY OPERATIONS SHALL BE REINFORCED BY THE UTILITY COMPANY PRIOR TO THESE CONSTRUCTION ACTIVITIES. NOTIFICATION OF THE UTILITY COMPANY PRIOR TO CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
5. COMPACTED FILLS ARE TO BE MADE TO A MINIMUM OF THREE FEET ABOVE THE CROWN OF ANY PROPOSED SEWER PRIOR TO CUTTING OF TRENCHES FOR PLACEMENT OF THE SEWERS. ALL FILLS SHALL BE CONTROLLED COMPACTED, AND INSPECTED BY AN APPROVED TESTING LABORATORY OR AN INSPECTOR FROM THE APPROPRIATE GOVERNMENTAL AGENCY.
6. CONTRACTOR TO REPLACE ANY PAVEMENT OR UTILITIES DAMAGED WHICH ARE NOT SPECIFIED TO BE REMOVED ON THESE PLANS.
7. ALL CATCH BASINS PLACED WITHIN THE PAVEMENT SHALL HAVE HEAVY DUTY FRAMES AND GRATES AND CONFORM TO ADA REQUIREMENTS.
8. ADJUST ALL EXISTING CASTINGS AND CLEANOUTS WITHIN PROJECT AREA TO GRADE AS REQUIRED.
9. ALL CATCH BASINS WITH DEPTH GREATER THAN 4.5' SHALL BE PROVIDED WITH STEPS. STEPS SHALL MEET THE REQUIREMENTS OF IDOT CM.
10. ALL STORM AND SANITARY SEWER MANHOLES WITH A DEPTH GREATER THAN 4' SHALL BE PROVIDED WITH STEPS. STEPS SHALL MEET THE REQUIREMENTS OF IDOT CM.
11. DISTANCES SHOWN FOR BOTH SANITARY AND STORM SEWER PIPES ARE MEASURED FROM CENTER OF STRUCTURE. THE CONTRACTOR IS RESPONSIBLE FOR ACTUAL FIELD LENGTH COORDINATED FOR STORM AND SANITARY STRUCTURES ARE SHOWN TO THE CENTER OF STRUCTURE, UNLESS OTHERWISE NOTED.
12. IMMEDIATELY AFTER PLACEMENT OF ANY CONDUITS, THE CONTRACTOR SHALL CONSTRUCT THE END TREATMENTS REQUIRED BY THE PLANS AT BOTH THE OUTLET AND INLET (NEC). THIS SHALL INCLUDE HEADWALLS, CONCRETE, RIP RAP, ROCK CHANNEL PROTECTION, SODDING, POURING BOTTOMS, MUDDING UPT HOLES, ETC.
13. ALL PROPOSED STORM SEWERS, SURFACE OR OTHER DRAINAGE FACILITIES ARE TO BE PRIVATE AND MAINTAINED BY THE OWNER. EROSION CONTROL MEASURES MUST PROVIDE PROTECTION UNTIL COMPLETION OF THE PROJECT AND VEGETATIVE STABILIZATION.
14. THE CONTRACTOR IS TO CONSTRUCT GUTTERS, CURB INLETS, DOWNSPOUTS, PIPING AND CONNECTIONS ETC. AS REQUIRED TO CONVEY THE ROOF AND PAVED SURFACE DRAINAGE TO THE DETENTION BASIN.
15. ROOF DRAINS, FOUNDATION DRAINS AND ALL OTHER CLEAR WATER CONNECTIONS TO THE SANITARY SEWER SYSTEMS ARE PROHIBITED.
16. SITE CONTRACTOR SHALL PICK UP ALL UTILITIES, WITH THE EXCEPTION OF DOWNSPOUTS, 3' OUTSIDE BUILDING WALL. COORDINATE WITH CONSTRUCTION MANAGER.
17. ALL STORM STRUCTURES ARE IDOT TYPES UNLESS OTHERWISE INDICATED.
18. STORM SEWER PIPE LABELED "STM" SHALL BE ONE OF THE FOLLOWING: PVC SDR35, PVC PROFILE PIPE PER IDOT SPECIFICATION, HIGH DENSITY POLYETHYLENE PER IDOT SPECIFICATIONS, ALUMINIZED CORRUGATED METAL, IDOT SPECIFICATIONS, OR REINFORCED CONCRETE PIPE, IDOT SPECIFICATIONS CLASS IV. STORM SEWER PIPE LABELED "RCP" SHALL BE REINFORCED CONCRETE PIPE, IDOT SPECIFICATIONS CLASS IV. ALL STORM IS TO BE INSTALLED PER IDOT SPECIFICATIONS. ALL STORM PIPE, USED MUST HAVE A MANUFACTURER SPECIFIED FRICTION FACTOR OF 0.013 (MANNING) OR LESS.
19. ALL CATCH BASINS IN THE PAVEMENT ARE TO HAVE 4 - 6" PERFORATED UNDERDRAINS EXTENDING 10 LF FROM THE CATCH BASIN IN THE UPHILL DIRECTION AND CAPPED. ALL CATCH BASINS ON THE CURB ARE TO HAVE 2 - 6" PERFORATED UNDERDRAINS EXTENDING 10 LF FROM THE CATCH BASIN IN THE UPHILL DIRECTION AND CAPPED.
20. FOR EXACT LOCATION OF DOWN SPOUTS & ROOF DRAINS, COORDINATE WITH CONSTRUCTION MANAGER. ALL ROOF DRAINS ARE TO BE 6" UNLESS OTHERWISE NOTED.
21. ALL YARD DRAINS SHALL BE ONE OF THE FOLLOWING: NEENAH, DUPLICATE DRAIN BASIN, NDS DURASOFT FABRICATED PVC CATCH BASIN, ADS DRAIN CATCH BASIN, OR APPROVED EQUAL.
22. ALL EXISTING INVERTS ALONG THE PROPOSED TOP OF EXISTING ELEVATIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION OF THE SEWER.
23. ANY FIELD TILE CUT IN EXCAVATION WHICH DRAINS IN AN OFFSITE AREA MUST BE TIED INTO THE STORM DRAINAGE SYSTEM.
24. THE FLOW IN ALL SEWERS, DRAINS, FIELD TILES AND WATERCOURSES ENCOUNTERED SHALL BE MAINTAINED BY THE CONTRACTOR AT HIS OWN EXPENSE, AND WHENEVER SUCH WATERCOURSES AND DRAINS ARE DISTURBED OR DESTROYED DURING THE PROSECUTION OF THE WORK, THEY SHALL BE RESTORED BY THE CONTRACTOR AT HIS OWN EXPENSE TO A CONDITION SATISFACTORY TO THE ENGINEER.
25. SANITARY SEWER SHALL BE SDR-26 OR APPROVED EQUAL AND CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF WHEATON. PIPE MUST MEET MINIMUM SLOPE REQUIREMENTS OF THE CITY OF WHEATON AND ILLINOIS EPA. SANITARY SEWER SHALL BE INSTALLED AT A MINIMUM DEPTH OF FOUR FEET (4') UNLESS OTHERWISE NOTED. A MINIMUM OF 18" CLEARANCE SHALL BE MAINTAINED AT ALL WATERLINE CROSSINGS. SANITARY SEPARATE JOINTS SHALL CONFORM TO ASTM D-3212.
26. SANITARY SEWER IS TO BE BEDDED WITH CLEAN GRANULAR MATERIAL-AGGREGATE NO 1 TO BE LARGER THAN 3/4" AND NOT SMALLER THAN NO. 8 SIEVE, FREE OF SALT AND FINES. ASPHTO M43 SIZE #57, 7 OR 8. BEDDING TO BE MINIMUM OF 6" BELOW & 12" ABOVE THE PIPE.
27. ALL WATERLINE CROSSINGS SHALL MAINTAIN A VERTICAL SEPARATION OF 18" MINIMUM. SANITARY SEWER SHALL BE LOCATED A MINIMUM OF 10' BELOW WATERLINE AT ALL CROSSINGS. WATERLINE SHALL BE LOCATED A MINIMUM OF 10' HORIZONTALLY FROM ANY SANITARY SEWER. ALL WATERLINE JOINTS SHALL BE LOCATED AT LEAST 10' HORIZONTALLY FROM ANY SANITARY SEWER JOINT. ALL WATERLINE PIPE SHALL BE LOCATED AT ALL CROSSINGS TO ENSURE BOTH JOINTS TO BE LOCATED AS FAR FROM SEWER AS POSSIBLE. ALL WATER SHALL HAVE A MINIMUM OF 4' OF COVER.
28. WATERLINE SHALL BE DUCTILE IRON PIPE, CLASS 52, MINIMUM 200 PSI.

CURB & GUTTER SPECIFICATIONS

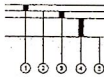


NOTE

1. TWO WITH STEEL DOWEL BARS WITH CAPS TO BE USED AT ALL EXPANSION JOINTS AND IN INTERVALS
2. CONSTRUCTION JOINTS AT 25 FT. INTERVALS
3. INSTALL THREE INCH BASE AT ALL TRANSITIONS, BARS TO EXTEND TWO FEET BEYOND EDGE OF TRENCH AND HAVE A MINIMUM LENGTH OF 10 FT
4. THE BASE COURSE WILL BE OF A DEPTH SUFFICIENT TO BRING THE CURB AND GUTTER TO THE PROPOSED GRADE
5. THE BASE COURSE LOCATED UNDER THE CURB AND GUTTER WILL NOT BE MEASURED FOR PAYMENT, BUT WILL BE INCLUDED IN THE UNIT PRICE BID FOR CONCRETE IN CURB AND GUTTER, 6 INCH TYPE B

CITY OF WHEATON
DESIGN DETAILS AND STANDARDS
FIGURE # 4
DATE: 10/1/21 STATUS: Final Draft Review

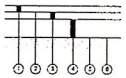
BARRIER CURB DETAIL
NTS
C-100



1. 1-1/2" IDOT MIX "D", N50, ASPHALT CONCRETE SURFACE COURSE
2. 2-1/4" B, N50, ASPHALT BINDER COURSE
3. 8" IDOT TYPE B, CA-6, BASE COURSE (PRIMED)
4. 4" MIN IDOT TYPE B, CA-2, STABILIZED SUBBASE COURSE CONSTRUCTED PER ARTICLE 312 OF THE IDOT STANDARD SPECIFICATIONS
5. SUBGRADE COMPACTION, REFERENCE GEOTECHNICAL ENGINEERING REPORT

ALL BITUMINOUS CONCRETE PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH ARTICLE 406 THROUGH ARTICLE 408 OF THE IDOT SPECIFICATIONS. FINAL DEPTHS OF PAVEMENT AND AGGREGATE SECTIONS TO BE FINALIZED BY FINDINGS OF GEOTECHNICAL REPORT.

STANDARD DUTY
ASPHALT PAVEMENT DETAIL
NTS
C-100



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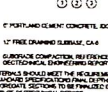
5. WOVEN GEOTEXTILE FABRIC
6. SUBGRADE COMPACTION, REFERENCE GEOTECH REPORT

ALL BITUMINOUS CONCRETE PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH ARTICLE 406 THROUGH ARTICLE 408 OF THE IDOT SPECIFICATIONS. FINAL DEPTHS OF PAVEMENT AND AGGREGATE SECTIONS TO BE FINALIZED BY FINDINGS OF GEOTECHNICAL REPORT

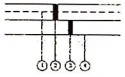
HEAVY DUTY
ASPHALT PAVEMENT DETAIL
NTS
C-100



1. 6" PORTLAND CEMENT CONCRETE, IDOT CLASS SI
2. 12" FREE DRAINING SUBBASE, CA-6
3. SUBGRADE COMPACTION, REFERENCE GEOTECHNICAL ENGINEERING REPORT

ALL MATERIALS SHOULD MEET THE REQUIREMENTS OF THE IDOT STANDARD SPECIFICATIONS. FINAL DEPTHS OF PAVEMENT AND AGGREGATE SECTIONS TO BE FINALIZED BASED ON FINDINGS OF GEOTECHNICAL REPORT

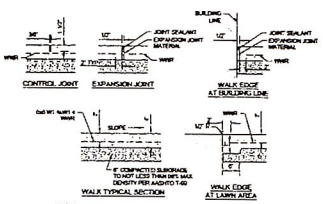
STANDARD DUTY
CONCRETE PAVEMENT DETAIL
NTS
C-100



1. 6X6 W2.9XW2.9 WELDED WIRE REINFORCEMENT
2. 8" PORTLAND CEMENT CONCRETE, IDOT CLASS SI
3. 12" FREE DRAINING SUBBASE, CA-6
4. SUBGRADE COMPACTION, REFERENCE GEOTECHNICAL ENGINEERING REPORT

ALL MATERIALS SHOULD MEET THE REQUIREMENTS OF THE IDOT STANDARD SPECIFICATIONS. FINAL DEPTHS OF PAVEMENT AND AGGREGATE SECTIONS TO BE FINALIZED BASED ON FINDINGS OF GEOTECHNICAL REPORT

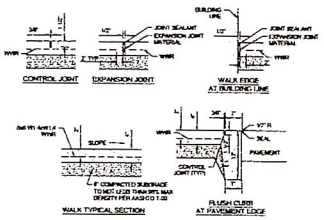
HEAVY DUTY
CONCRETE PAVEMENT DETAIL
NTS
C-100



NOTES:

1. INSTALL EXPANSION JOINTS AT 30' OC MAXIMUM AND WHERE SLAB ABUTS STRUCTURES, WHERE NEW WALK ABUTS ADJOINING WALK, SAWCUT EXISTING WALK TO NEAREST JOINT AND INSTALL EXPANSION JOINT. EXPANSION JOINTS SHALL BE 1/2" WIDE BY DEPTH OF SLAB. SEAL ALL EXPANSION JOINTS.
2. INSTALL CONTROL JOINTS AT 5' OC MAXIMUM. CONTROL JOINTS SHALL BE 3/4" WIDE BY 1 1/2" DEEP AND TOOLED. SAWED JOINTS ARE NOT PERMITTED.
3. WALK SHALL HAVE A MINIMUM CROSS SLOPE OF 1.00%, MAXIMUM CROSS SLOPE OF 2.00%.
4. WATER AND UTILITY BOXES IN THE WALK AREA SHALL BE ADJUSTED FLUSH WITH THE FINAL SURFACE.
5. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL DETAIL AT ALL BUILDING DOORS.

EXTERIOR CONCRETE
SLAB WALK DETAIL
NTS
C-100



NOTES:

1. INSTALL EXPANSION JOINTS AT 30' OC MAXIMUM AND WHERE SLAB ABUTS STRUCTURES, WHERE NEW WALK ABUTS ADJOINING WALK, SAWCUT EXISTING WALK TO NEAREST JOINT AND INSTALL EXPANSION JOINT. EXPANSION JOINTS SHALL BE 1/2" WIDE BY DEPTH OF SLAB. SEAL ALL EXPANSION JOINTS.
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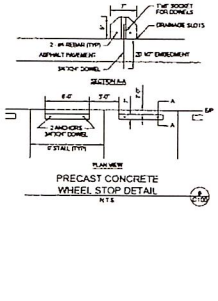
3. WALK SHALL HAVE A MINIMUM CROSS SLOPE OF 1.00%, MAXIMUM CROSS SLOPE OF 2.00%.
4. WATER AND UTILITY BOXES IN THE WALK AREA SHALL BE ADJUSTED FLUSH WITH THE FINAL SURFACE.
5. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL DETAIL AT ALL BUILDING DOORS.

EXTERIOR CONCRETE SLAB WALK
WITH FLUSH CURB DETAIL
NTS
C-100



PRECAST CONCRETE
WHEEL STOP DETAIL
NTS
C-100

NOTES:

GENERAL

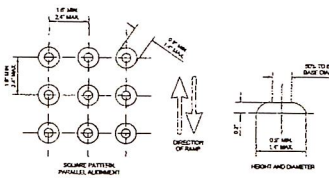
1. DETECTABLE WARNINGS ARE A DISTINCTIVE SURFACE PATTERN OF TRUNCATED DOMES WHICH ARE DETECTABLE BY CANE OR UNDERFOOT TO ALERT PEOPLE WITH VISION IMPAIRMENTS OF THEIR APPROACH TO STREETS AND HAZARDOUS DROP OFFS.

PLACEMENT

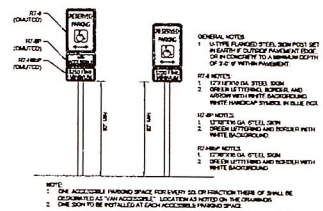
2. DETECTABLE WARNINGS ARE TO BE INSTALLED AT ANY LOCATION WHERE PEDESTRIANS MIGHT CROSS PATHS WITH VEHICULAR TRAFFIC LANES, SUCH AS THE EDGE OF CURB RAMPS OR AT BLENDED CURBS. A 24" STRIP OF DOMES IS TO BE INSTALLED FOR THE FULL WIDTH OF THE RAMP OR WALK
3. THE DEPTH OF CONCRETE UNDERNEATH OF DETECTABLE WARNING PRODUCTS SHALL BE A MINIMUM OF 4"

PRODUCTS & COLORS

4. COLOR OF THE DETECTABLE WARNINGS SHOULD CONTRAST WITH SURROUNDING CONCRETE WALK AND RAMP. BLACK IS NOT AN ACCEPTABLE COLOR. APPROVED PRODUCTS, AND SUGGESTED COLOR MAY BE FOUND IN THE IDOT HIGHWAY STANDARDS AND DISTRICT SPECIFIC STANDARDS. INSTALL PRODUCTS AS PER MANUFACTURER'S PRINTED INSTRUCTIONS.



DETECTABLE WARNINGS DETAIL
NTS
C-100



GENERAL NOTES

1. U-TYPE FLANGED STEEL SIGN POST SET IN EARTH 6' OUTSIDE PAVEMENT EDGE OR IN CONCRETE TO A MINIMUM DEPTH OF 3-0" 6" WITH PAVEMENT

R7-8 NOTES:

1. 12"X18" 0.08 GA. STEEL SIGN
2. GREEN LETTERING, BORDER, AND ARROW WITH WHITE BACKGROUND

R7-8P NOTES:

1. 12"X6" 0.08 GA. STEEL SIGN
2. GREEN LETTERING AND BORDER WITH WHITE BACKGROUND

R7-8AP NOTES:

1. 12"X6" 0.08 GA. STEEL SIGN
2. GREEN LETTERING AND BORDER WITH WHITE BACKGROUND

NOTE:

1. ONE ACCESSIBLE PARKING SPACE FOR EVERY 25 OR FRACTION THERE OF SHALL BE DESIGNATED AS "VAN ACCESSIBLE". LOCATION AS NOTED ON THE DRAWINGS
2. ONE SIGN TO BE INSTALLED AT EACH ACCESSIBLE PARKING SPACE

ACCESSIBLE PARKING SIGN DETAIL
NTS
C-100

Call Before You Dig

JULIE ILLINOIS ONE-CALL SYSTEM

NOTE: UNDERGROUND UTILITIES ARE PLOTTED FROM A COMPILATION OF AVAILABLE RECORD INFORMATION AND SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE EXISTENCE OR NON EXISTENCE OF UNDERGROUND UTILITIES CANNOT BE VERIFIED. PLEASE NOTIFY THE ILLINOIS JULIE UTILITY PROTECTION SERVICE AT 811 OR 1-800-892-0123 BEFORE ANY PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.

BHDP ARCHITECTURE
CHICAGO | DENVER | DALLAS | CHARLOTTE
BHDP
THE WILLMERS GROUP, SOPARTER
5016 CHARTER PARK DRIVE, WEST CHESTER TOWNSHIP, OH 45069
531 EAST TREE ROSE WAY, SUITE 400, CINCINNATI, OH 45246
HEAPY ENGINEERING
1400 W. DOROTHY LANE, DAYTON, OHIO 45449

FIFTH THIRD BANK - WHEATON BRANCH
204 E. GENEVA ROAD,
WHEATON, IL 60189

GENERAL NOTES AND DETAILS

DOUGLAS T. WOLFE
PROFESSIONAL ENGINEER
IL 062-057611
11.19.2024

DTW
Drawn
AMG
Checked
DTW
Drawing Date
11.19.2024
Project Number
24007T.003
24007T.003

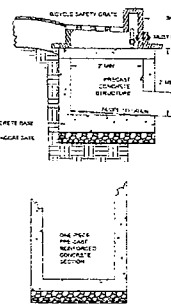
C100

11.19.2024
Issued for Permit
Issued for Permit
Date

R.L.A. FORMAT 1 SET
FOR PLOTTING AT 1:1
file:c:\Revit\24007T.003_Central_detached.rvt

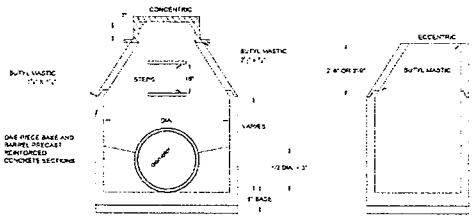
CURBLINE INLET OR CATCH BASIN

1. A MAXIMUM ADJUSTMENT OF 8" (20MM) THROUGH RISER RINGS. NO METAL RISER RINGS OR RINGS ALLOWED
   A. CONCRETE ADJUSTING RINGS SHALL HAVE A MINIMUM THICKNESS OF 2"
   B. RUBBER ADJUSTING RINGS SHALL "BE" NO MORE THAN 2
2. FRAME AND GRATE SHALL BE NEENAH R-3010
3. ALL JOINTS BETWEEN BARREL SECTION, RISER AND CASTING SHALL BE SEALED WITH FLEXIBLE BUTYL MASTIC MATERIAL 3/4" WIDE AND 3/8" THICK OR EQUAL. NO EXCEPTIONS. MORTAR IS NOT ALLOWED
4. THE GRATE SHALL BE A BICYCLE SAFETY GRATE
5. REFERENCE "A" STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, CURRENT EDITION
6. IN ALL INSTANCES WHERE 2 OR MORE PIPES ENTER OR EXIT AN INLET OR CATCH BASIN, THE INSIDE DIAMETER OF STRUCTURE MUST BE USED. ANY EXCEPTIONS MUST BE APPROVED BY THE CITY ENGINEER



CITY OF WHEATON
DESIGN DETAILS AND STANDARDS
FIGURE # 5

TYPE "A" STORM SEWER MANHOLE



NOTES

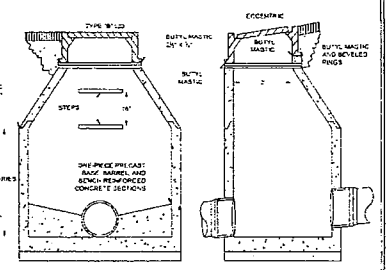
1. Manhole castings
   A. In paved and parkway areas Neenah R-1772 (380 lbs.) or an approved equal product with a solid lid as allowed by the City Engineer. Entry 1023-3, 370 lbs. will not be allowed
   B. In back or alleys Neenah R-1772 or an approved equal product with a solid lid as allowed by the City Engineer
2. Manholes to have ONE piece integral base and barrel section
3. Manholes to be a minimum 4' diameter for sewers 15" diameter or less, and 5' diameter for sewers larger than 15" and less than 48"
4. Manholes 4' in diameter which exceed a depth of 4' shall have steps to the bottom with polypropylene plastic. "Press Fit" type installation. Steps shall be 18" apart on center
5. All Manholes to have chimney seal collars.
6. All joints between barrel sections shall be sealed with flexible butyl mastic material 1½" wide by 1½" thick. All joints between riser rings and frames to be sealed with flexible butyl mastic material 20" wide and ½" thick
7. When shimming is required in street areas, beveled rubber riser rings shall be used. BRICK SHIMMING OR MORTAR IS NOT ALLOWED
8. Pipe in base shall be made of ground or place Class M concrete or precast with 4" aggregate diameter
9. The maximum amount of adjustment for frame elevations is 8" with 2" rings
   A. Concrete adjusting rings shall have a minimum thickness of 2"
   B. Rubber adjusting rings shall not total no more than 3"
10. When an expansion cone is used
    A. If the Manhole is of 4' dia. then the cone shall be 2'-6" in height
    B. If the Manhole is of 5' dia. then the cone shall be 3'-6" in height

CITY OF WHEATON
DESIGN DETAILS AND STANDARDS
FIGURE # 21
DATE 12.01.20 FILE NAME Type A Storm Sewer.dwg

SANITARY MANHOLE

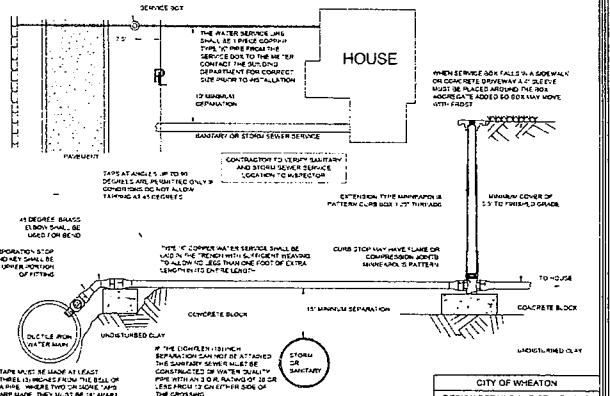
NOTES

1. Sanitary Manhole castings
   A. In paved and parkway areas Neenah R-1772 (380 lbs.) with a solid lid
   B. In back or alleys Neenah R-1772 (380 lbs.)
2. All frames and lids must have concealed pick holes and gasketed with locking features. "O" ring seals are not permitted. Flat gaskets "E" seals are preferred and frame must accommodate chimney seal
3. All lids must be stamped "Sanitary Manhole"
4. Manholes to have one piece integral base and barrel section
5. Manholes to be 4' diameter for sewers 18" or less and 5' diameter for sewers larger than 18" and less than 48"
6. Manholes 4' in diameter which exceed a depth of 4' shall have steps to the bottom with polypropylene plastic. "Press Fit" type installation. Steps shall be 18" apart on center
7. All Manholes to have chimney seal collars.
8. All joints between barrel sections shall be sealed with flexible butyl mastic material 1½" wide by 1½" thick. All joints between riser rings and frames to be sealed with flexible butyl mastic material 20" wide ½" thick
9. Expansion or internal chimney seals must be installed between the frame and frame
10. All connections to be by premoulded synthetic rubber sleeve with stainless steel clamps, non shear type
11. When shimming to grade is required in paved areas, beveled rubber adjustment rings and butyl mastic shall be used. No shimming of any kind or of mortar layers are allowed
12. The maximum amount of adjustment for frame elevation is 8" with 2" riser rings. Concrete adjusting rings shall have a minimum thickness of 2". Rubber adjusting rings shall total no more than 3". Beveled riser rings shall be used in areas where a difference in elevation exists. Metal riser rings are not allowed and bricks shall not be used for shimming the frame or the structure
13. When an expansion cone is used
    A. If the Manhole is of 4' dia. then the cone shall be of 2'-6" in height
    B. If the Manhole is of 5' dia. then the cone shall be of 3'-6" in height



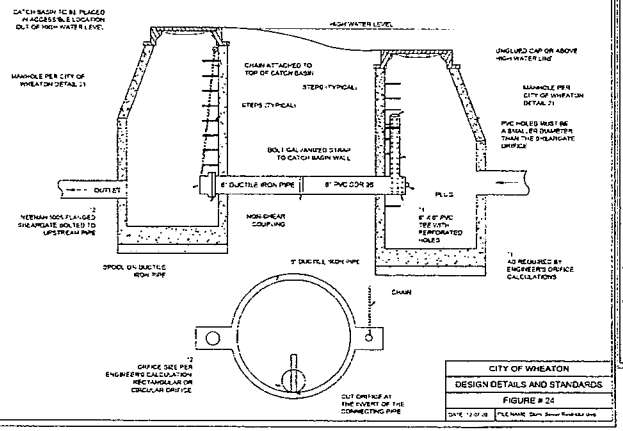
CITY OF WHEATON
DESIGN DETAILS AND STANDARDS
FIGURE # 16
DATE 12.01.20 FILE NAME Sanitary Manhole.dwg

WATER SERVICE CONNECTION DETAIL



CITY OF WHEATON
DESIGN DETAILS AND STANDARDS
FIGURE # 31
DATE 12.01.20 FILE NAME Water Service.dwg

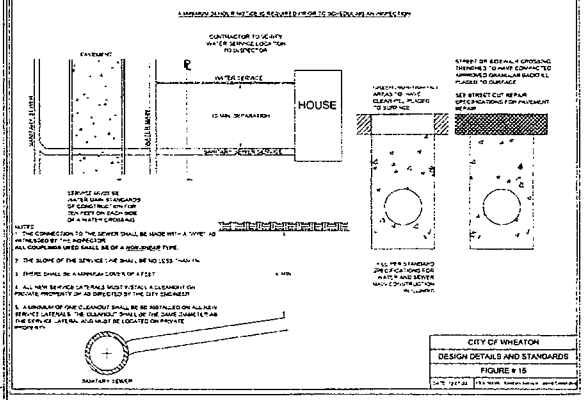
TYPICAL INSTALLATION STORM SEWER RESTRICTOR



CITY OF WHEATON
DESIGN DETAILS AND STANDARDS
FIGURE # 24
DATE 12.01.20 FILE NAME Storm Sewer Restrictor.dwg

SANITARY SEWER SERVICE LATERAL DETAIL

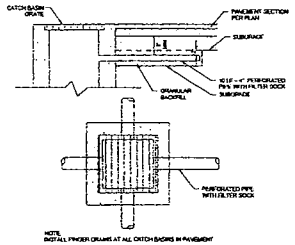
A MINIMUM 24 INCH 8" NOT 6" IS REQUIRED PRIOR TO 30-FOOT AND AN INSPECTION



NOTES

1. THE CONNECTION TO THE SEWER SHALL BE MADE WITH A "WYE" AS APPROVED BY THE INSPECTOR. ALL COUPLINGS USED SHALL BE OF A NON-SHEAR TYPE.
2. THE SLOPE OF THE SERVICE LINE SHALL BE NO LESS THAN 1%
3. THERE SHALL BE A MINIMUM COVER OF 4' FEET
4. ALL NEW SERVICE LATERALS MUST INSTALL A CLEANOUT ON PRIVATE PROPERTY OR AS DIRECTED BY THE CITY ENGINEER
5. A MINIMUM OF ONE CLEANOUT SHALL BE BE INSTALLED ON ALL NEW SERVICE LATERALS. THE CLEANOUT SHALL BE THE SAME DIAMETER AS THE SERVICE LATERAL AND MUST BE LOCATED ON PRIVATE PROPERTY

CITY OF WHEATON
DESIGN DETAILS AND STANDARDS
FIGURE # 15
DATE 12.01.20 FILE NAME Sanitary Service Lateral Detail.dwg



NOTE
INSTALL FINGER DRAINS AT ALL CATCH BASINS IN PAVEMENT

FINGER DRAIN DETAIL
NTS

Call Before You Dig
JULIE
ILLINOIS ONE-CALL SYSTEM

NOTE
UNDERGROUND UTILITIES ARE PLOTTED FROM A COMPILATION OF AVAILABLE RECORD INFORMATION AND SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE EXISTENCE OR NON-EXISTENCE OF UNDERGROUND UTILITIES CANNOT BE VERIFIED. PLEASE NOTIFY THE ILLINOIS JULIE UTILITY PROTECTION SERVICE AT 811 OR 1-800-892-0123 BEFORE ANY PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY

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DAYTON
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501 EAST PIKE ROSE WAY, SUITE 400, CINCINNATI, OH 45202
1400 W DOROTHY LANE DAYTON, OHIO 45409
THE HLENGERS GROUP, SCHAEFER, HEAPY ENGINEERING,

FIFTH THIRD BANK - WHEATON BRANCH
2N E. GENEVA ROAD,
WHEATON, IL 60189
GENERAL DETAILS

DOUGLAS T. WIDSTE
ILLINOIS

Project Manager	DTW
Drawn	AMG
Computer	DTW
Drawing Date	11.19.2024
Project Number	24007.003

C101

ALTA/NSPS LAND TITLE SURVEY

PHONE (773) 736-1349

WEB ADDRESS
www.mcteigueandassociates.com

McTIGUE & ASSOCIATES, LTD.
PROFESSIONAL LAND SURVEYING SERVICES
6800 W. RIGGINS AVE., COUNTY OF COOK, CHICAGO, IL 60630

PARCEL 1
LOT 2 IN ALBERTSON'S SUBDIVISION, BEING A RESUBDIVISION OF LOT 1 OF MARILYN PARK CONSOLIDATION PLAT AND PART OF LOT 2 IN KNIGHTS BRIDGE RESUBDIVISION, BEING SUBDIVISION IN THE EAST ½ OF THE NORTHWEST ¼ OF SECTION 8, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 29, 2001 AS DOCUMENT R2001-232283, IN DUPAGE COUNTY, ILLINOIS

PARCEL 2

A NON-EXCLUSIVE EASEMENT FOR THE BENEFIT OF PARCEL 1 AS CREATED BY CROSS PARKING AGREEMENT RECORDED SEPTEMBER 22, 1978 AS DOCUMENT R78-91167 AND AMENDED BY DOCUMENT R78-33751 FOR THE USE OF PARKING FACILITIES, DRIVEWAYS AND SIDEWALKS WHICH MAY EXIST FROM TIME TO TIME.

PARCEL 3

NON EXCLUSIVE PERPETUAL EASEMENT FOR THE BENEFIT OF PARCEL 1 AS CREATED BY THE DECLARATION OF EASEMENTS DATED NOVEMBER 10, 2011 AND RECORDED NOVEMBER 14, 2011 AS DOCUMENT R2011-137465, BY JEDD PROPERTIES, INC. A DELAWARE CORPORATION (DECLARANT) FOR ACCESS, UTILITIES AND DRAINAGE, AS THEREIN DEFINED OVER THE FOLLOWING DESCRIBED LAND:
LOT 1 IN ALBERTSON'S RESUBDIVISION, BEING A RESUBDIVISION OF LOT 1 OF MARILYN PARK CONSOLIDATION PLAT AND PART OF LOT 2 IN KNIGHTS BRIDGE RESUBDIVISION, BEING SUBDIVISION IN THE EAST ½ OF THE NORTHWEST ¼ OF SECTION 8, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 29, 2001 AS DOCUMENT R2001-232283, IN DUPAGE COUNTY, ILLINOIS.
PARCEL 4

NON-EXCLUSIVE EASEMENTS FOR INGRESS, EGRESS AND RIGHTS OF ACCESS AND PARKING OF MOTOR VEHICLES FOR THE BENEFIT OF PARCEL 1 AS CREATED BY THE CROSS PARKING AGREEMENT DATED MARCH 6, 1971 RECORDED SEPTEMBER 22, 1978 AS DOCUMENT R78-91167 AND AMENDED BY DOCUMENTS R78-33751 AND R84-17941 AND AMENDED BY CROSS ACCESS EASEMENT AGREEMENT AND SECOND AMENDMENT OF CROSS PARKING AGREEMENT RECORDED JUNE 28, 2001 AS DOCUMENT R2001-131734, OVER THE LAND AS DEFINED IN SAID DOCUMENT

COMMONLY KNOWN AS: 204 E. GENEVA ROAD, WHEATON, IL 60187
PIN: 05-08-102-110

TABLE "A" ITEMS

1. MONUMENTS PLACED FOR A REFERENCE MONUMENT OR WITNESS TO THE CORNERS AT ALL MAJOR CORNERS OF THE BOUNDARY OF THE PROPERTY UNLESS ALREADY MARKED OR REFERENCED BY EXISTING MONUMENTS OR MONUMENTS.

2. COMMONLY KNOWN AS: 204 E. GENEVA ROAD, WHEATON, IL 60187

3. SAID DESCRIBED PROPERTY IS RATED BY FEMA'S NATIONAL FLOOD HAZARD AS A AN AREA OF MINIMAL FLOOD HAZARD. THIS INFO FIRM PUBLISHED BY FEMA, COMMUNITY VILLAGE OF CAROL STREAM
MAP REVISED AUGUST 1, 2019

4. GROSS LAND AREA: 31497 SQ. FT. MORE OR LESS TOTAL

5. VERTICAL RELIEF SHOWN ON SURVEY AS A PER CLIENT

6(a). THE SUBJECT PROPERTY IS CURRENTLY ZONED PLAN COMMERCIAL DISTRICT

6(b). NOT REQUESTED BY CLIENT

7(a). EXTERIOR BUILDING DIMENSIONS SHOWN HEREON

7(b)(1). SQUARE FOOTAGE OF EXTERIOR BUILDINGS AT GROUND LEVEL

7(c)(2). NOT REQUESTED BY CLIENT

7(c). HEIGHT OF BUILDING AS SHOWN HEREON

8. SUBSTANTIAL FEATURES SHOWN HEREON

9. TOTAL NUMBER OF PARKING SPACES, IS WILL BE SHOWN ON FINAL PLAT

10. NO PARTY WALLS OBSERVED IN FIELD

11(a). OBSERVED UTILITY EVIDENCE SHOWN HEREON

11(b). NOT REQUESTED BY CLIENT

12. NOT REQUESTED BY CLIENT

13. ZONE PER PUBLIC RECORD WILL BE SHOWN ON FINAL PLAT

14. THE SUBJECT PROPERTY HAS ACCESS TO GENEVA ROAD, A DULY DEDICATED AND ACCEPTED PUBLIC STREETS OR HIGHWAYS

15. NOT REQUESTED BY CLIENT

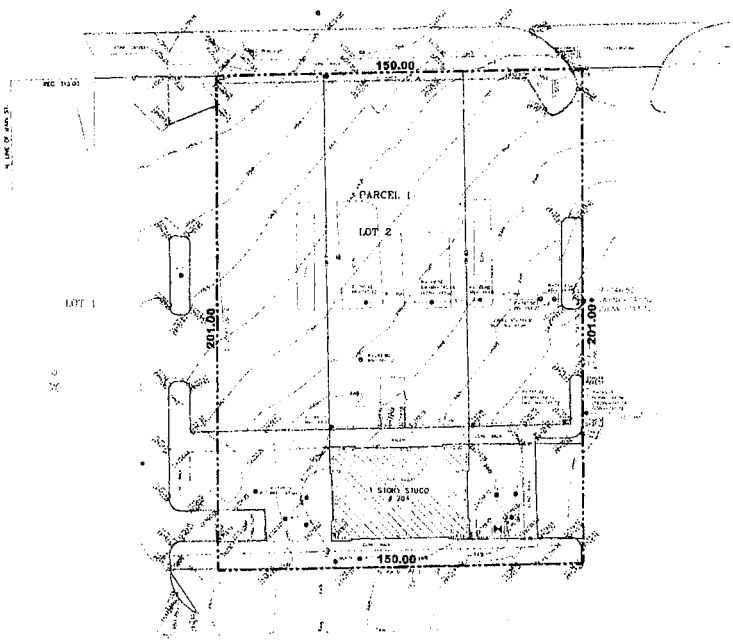
16. NO EVIDENCE OBSERVED AT TIME OF SURVEY

17. NO EVIDENCE OBSERVED AT TIME OF SURVEY

18. NOT BE DISPUTED BY CLIENT

19. NOT REQUESTED BY CLIENT

20. NOT REQUESTED BY CLIENT



GENERAL NOTES

1. THE LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON IS BASED ON FIELD OBSERVED EVIDENCE, SURVEY RECORDS, EVIDENCE FROM PARTIES OBTAINED FROM UTILITY COMPANIES OR PROVIDED BY CLIENT AND MARKINGS BY UTILITY COMPANIES AND OTHER APPROPRIATE SOURCES (IF NOTED HEREON). THE LOCATION MUST BE CONSIDERED APPROXIMATE UNLESS OTHERWISE INDICATED. NO SUBSURFACE INVESTIGATION IN THE AREA OF THE PROPERTY WAS MADE.

Legend

ENGINEER OF THE ILLINOIS GROUP INC
SUBSTANCE BY
DRAWN BY
CHECKED BY
WORK No. 24-000

THE HORIZONTAL COORDINATES AND DEGREE OF BEARING SHOWN HEREON ARE BASED ON NAD 83(2011) IN NAD83 (2011) STATE PLANE COORDINATES AS ESTABLISHED FROM AGRA COMPANY'S RTK NETWORK

THE VERTICAL DATUM REFERENCED HEREON IS BASED ON NAVD 88 (GEOID 12A) AS ESTABLISHED FROM AGRA COMPANY'S RTK NETWORK

THIS SURVEY IS MADE ON COMMITMENT FOR TITLE INSURANCE BY:

SCHEDULE A

COMMITMENT NO. YEAR
PROPERTY KEY 204 E. GENEVA ROAD, WHEATON, IL 60187

ITEM 3. EFFECTIVE DATE

SCHEDULE B, PART II
EXCEPTIONS

PERMANENT TAX NUMBER: PIN: 05-08-102-110

A TITLE COMMITMENT POLICY WAS NOT PROVIDED FOR THIS SURVEY. THIS PROPERTY MAY BE SUBJECT TO EASEMENTS AND/OR RESTRICTIONS NOT PROVIDED TO THE SURVEYOR PRIOR TO THE COMPLETION OF THIS SURVEY

STATE OF ILLINOIS
COUNTY OF COOK

MCTIGUE & ASSOCIATES, LTD., A PROFESSIONAL LAND SURVEYING COMPANY, HEREBY CERTIFY THAT I HAVE MADE THE SURVEY AND SUBDIVISION OF AN ACCURATE REPRESENTATION OF THE LAND AS DEFINED ABOVE. THE SURVEY WAS MADE ON THE GROUND UNDER MY DIRECT SUPERVISION AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

CHICAGO, ILLINOIS, DATED THIS 1 DAY OF FEBRUARY, A.D. 2024

ILLINOIS PROFESSIONAL LAND SURVEYOR
LOUIS S. MCTIGUE
CHICAGO
ILLINOIS
STATE OF ILLINOIS

NOTE:
UNDERGROUND UTILITIES ARE PLOTTED FROM A COMPILATION OF FIELD MARKINGS AND RECORDS OF VARIOUS UTILITY COMPANIES AND ARE NOT GUARANTEED TO BE ACCURATE. PRIOR TO DIGGING AND THE EXERCISE OF ANY EXCAVATION, CONTACT THE ILLINOIS ONE CALL SYSTEM AT 1-800-892-0123 FOR THE LOCATION OF ANY PERIOD OF CONSTRUCTION ACTIVITY.

Call Before You Dig
JULIE
ILLINOIS ONE-CALL SYSTEM, INC.

FIFTH THIRD BANK - WHEATON BRANCH
204 E. GENEVA ROAD,
WHEATON, IL 60187
SURVEY BASEMAP

THE FLOWERS GROUP, 6270 CENTRE TOWNSHIP, OH 45069
SCHAFER
471 EAST PETE ROSE WAY, SUITE 400 CINCINNATI, OH 45202
HEAVY ENGINEERING,
1400 N DONOVAN LANE, DAYTON, OHIO 45459

BHDP ARCHITECTURE
BHDP
DECHANT
COMMERCIAL
BANKING
CINCINNATI

C200

GENEVA RD.

CONC. DRIVEWAY

FOUND IRON PIPE

CONC. WALK

150.00

S 88°30'16" W

313.00

CONC DRIVEWAY

SIGN

EX. 10' UTILITY AND DRAINAGE EASEMENT R2001-232763

LOT 1

CONC.

R=750.48 INV=746.92

R=749.56 (W)INV=745.56 (E)INV=745.21

748.88 =744.68

N 00°24'32" W

201.00

R=746.52 (W)INV=743.52 (S)INV=743.12

RIM: 746.14
(W) 731.81 8"
(N) 731.81 24"
(E) 731.81 8"
(S) 731.81 24"

8" PVC

R=745.78 (E)INV=741.98 (SE)INV=741.78 (E)INV=741.78

12" PVC

CANOPY

F/F 749.01

1 STORY STUCO # 204

R=748.74 INV.=743.99

8" PVC

CONC. WALK

TROUGH ENCLOSURE

150.00

N 88°30'16" E

Call Before You Dig

JULIE ILLINOIS ONE CALL SYSTEM

NOTE
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DEMOLITION LEGEND

- REMOVE CONCRETE
- REMOVE PAVEMENT
- REMOVE BUILDING
- SAWCUT LINE

CODED NOTES

1. REMOVE CURB
2. REMOVE VEGETATION
3. REMOVE MANHOLE
4. REMOVE BUILDING
5. REMOVE DUMPSTER
6. REMOVE SIGN
7. REMOVE STORM LINE
8. REMOVE STRIPING
9. STORM LINE TO REMAIN
10. TRANSFORMER TO REMAIN
11. REMOVE SANITARY LINE
12. WATERLINE TO REMAIN
13. LOWER EXISTING WATER LINE. COORDINATE ELEVATION WITH PROPOSED STORM. SEE SHEET C300 & C501

NOTES

1. CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO DEMOLITION

0 5 10 20

11.19.2024
12.20.2024

BID & PERMIT SET
BHDP ARCHITECTURE
www.bhdparchitecture.com

BHDP ARCHITECTURE
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COLUMBUS
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1016 CENTRE PARK DRIVE, WEST CHESTER TOWNSHIP, OH 45069
537 EAST PETE ROSE WAY, SUITE 600, CINCINNATI, OH 45202
1400 W. DOROTHY LANE, DAYTON, OHIO 45409

THE FLEMINGER GROUP
SOHAEFER
HEAPY ENGINEERING

FIFTH THIRD BANK - WHEATON BRANCH
204 E. GENEVA ROAD,
WHEATON, IL 60187

DEMOLITION PLAN

DOUGLAS T. HOEVE
11-19-2024
ILLINOIS

Project Manager
DTW
Drawn
AMB
Checked
DTW
Drawing Date
11.19.2024
Project Number
240077.203

C300

GENEVA RD.

EX. WATER (PER RECORD)

FOUND IRON PIPE

CONC. DRIVWAY

CONC. WALK

150.00

S 88°30'16" W

REC. 313.00

15' LANDSCAPE BUFFER

25' FRONT BUILDING SETBACK

EX. 10' UTILITY AND DRAINAGE EASEMENT R2001-232763

LOT 1

PARCEL 1

LOT 2

FIFTH THIRD BANK

2800 BRANCH

FFE = 751.50'

201.00

S 00°41'09" E

10' LANDSCAPE BUFFER

15' SIDE BUILDING SETBACK

W. 200' PARCEL

R=746.52

(W)INV=743.52

(S)INV=743.12

RIM: 746.14

(W) 731.81 8"

(N) 731.81 24"

(E) 731.81 8"

(S) 731.81 24"

R=745.78

(E)INV=741.36

(S)E)INV=741.78

(E)INV=741.78

12" PVC

15' REAR BUILDING SETBACK

10' LANDSCAPE BUFFER

150.00

N 88°30'16" E

PROPOSED LEGEND

- CATCH BASIN
- CURB INLET
- MANHOLE
- STORM SEWER CLEANOUT
- SANITARY SEWER CLEANOUT
- STANDARD DUTY ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT
- CONCRETE WALK
- HEAVY DUTY CONCRETE PAVEMENT
- STANDARD DUTY CONCRETE COLORED BLACK

CODED NOTES

1. BARRIER CURB
2. CONCRETE WALK WITH FLUSH CURB
3. CONCRETE SLAB WALK
4. CONCRETE WHEEL STOP
5. ADA PARKING SIGN
6. CONCRETE TO BE COLORED BLACK
7. PROPOSED DUMPSTER ENCLOSURE, SEE ARCHITECTURAL PLANS FOR DETAILS
8. CURB TO TRANSITION FROM FLUSH TO FULL HEIGHT OVER 1'
9. ATM ISLAND, SEE ARCHITECTURAL PLAN FOR DETAILS
10. DOUBLE SIDED STOP SIGN AND DO NOT ENTER SIGN
11. R1-1 STOP SIGN
12. DETECTABLE WARNING
13. PROPOSED DETENTION LIMITS
14. CURB REVEAL, SEE SHEET C600 FOR ELEVATIONS

PARKING REQUIRED	
STANDARD	13 SPACES
PROPOSED PARKING	
STANDARD	15 SPACES
HC ACCESSIBLE	1 SPACES

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JULIE ILLINOIS ONE-CALL SYSTEM

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BHDP ARCHITECTURE

BHDP

THE ELLERBROEK GROUP, SCHAEFER, HEAPY ENGINEERING

FIFTH THIRD BANK - WHEATON BRANCH
204 E. GENEVA ROAD,
WHEATON, IL 60618
LOCATION PLAN

DOUGLAS T. MOESTE

Project Number 240077.010

11.18.2024

C400

GENEVA RD.

EX. WATER (PER RECORD)

FOUND IRON PIPE

CONC. DRIVEWAY

CONC. WALK

150.00

S 88°30'16" W

REC. 313.00

CONC. DRIVEWAY

EX. 10' UTILITY AND DRAINAGE EASEMENT R2001-232763

LOT 1

201.00

S 00°41'05" E

N 00°41'05" W

201.00

PARCEL 1

LOT 2

FIFTH THIRD BANK

2800 BRANCH

FFE = 751.50'

4,820 CU.FT. DETENTION

RIM: 746.14

(W) 731.81 8"

(N) 731.81 24"

(E) 731.81 8"

(S) 731.81 24"

150.00

N 88°30'16" E

PROPOSED LEGEND

- STORM SEWER PIPE
- CATCH BASIN
- CURB INLET
- YARD DRAIN
- HEADWALL
- MANHOLE
- STORM SEWER CLEANOUT
- SANITARY SEWER PIPE
- SANITARY SEWER CLEANOUT
- WATERLINE PIPE

CODED NOTES

1. PROPOSED WATER CONNECTION
2. PROPOSED SANITARY SEWER CONNECTION
3. PROPOSED STORM SEWER CONNECTION
4. 1.5" WATER SERVICE
5. PROPOSED WATER LINE MATCH EXISTING SIZE
6. LOWER EXISTING WATER. SEE SHEET C501 FOR ELEVATIONS
7. UTILITY CROSSING MAINTAIN 18" VERTICAL CLEARANCE
8. CONNECT ALL DOWNSPOUTS TO SITE STORM COORDINATE FINAL LOCATIONS AT BUILDING

Call Before You Dig

JULIE ILLINOIS ONE CALL SYSTEM

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BHDP ARCHITECTURE

BHDP CONSULTING ENGINEERS

THE HUENKEMEYER GROUP, SCHAEFER, HEAPY ENGINEERING

FIFTH THIRD BANK, WHEATON BRANCH
2N4 E. GENEVA ROAD,
WHEATON, IL 60187

UTILITY PLAN

DOUGLAS J. MCKEITH

DTW

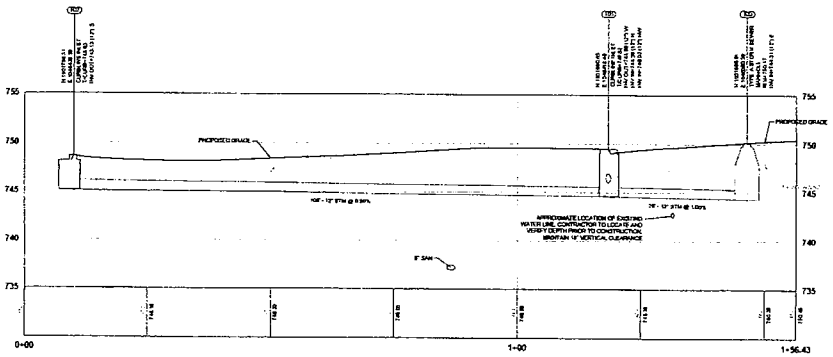
AMG

DTW

11.19.2024

240077.003

C500



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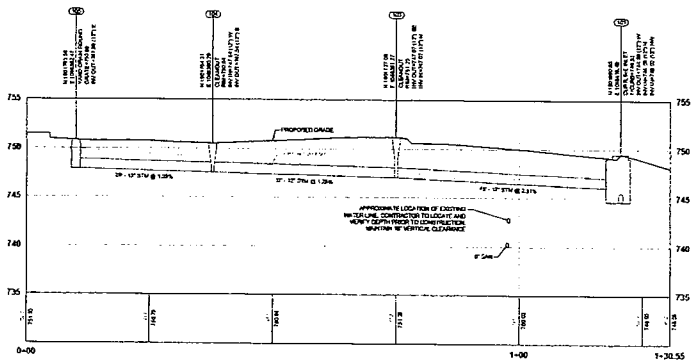

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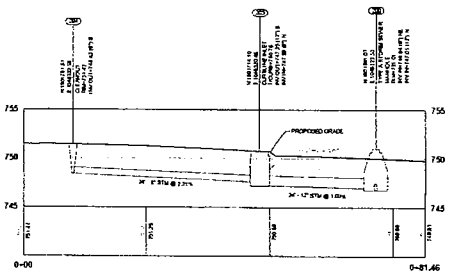

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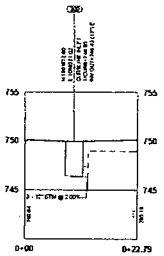

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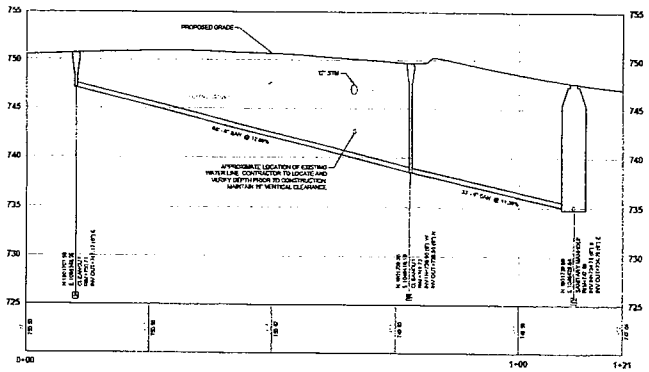
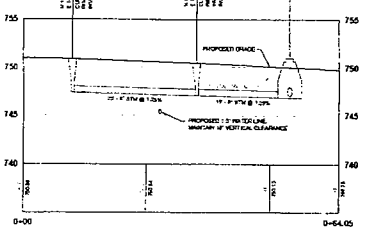


SAN A TO C



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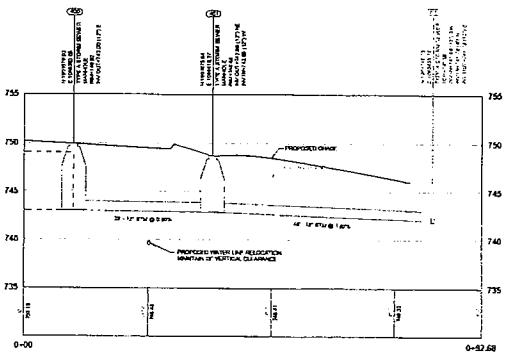

STM DETENTION TO EX

Call Before You Dig

JULIE ILLINOIS ONE-CALL SYSTEM

NOTE:
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BHDP

BHDP ARCHITECTURE
CINCINNATI COLUMBUS CLEVELAND CHARLOTTE
www.bhdp.com
BHDP ARCHITECTURE
5310 CENTRE PARK DRIVE, WEST DESTION TOWNSHIP, OH 45069
5500 NEW ALBANY ROAD, SUITE 200, COLUMBUS, OH 43054
1400 W. DOROTHY LANE, DAYTON, OHIO 45409

THE HILLBROKERS GROUP, LLC
HEAFY ENGINEERING

FIFTH THIRD BANK - WHEATON BRANCH
204 E. GENEVA ROAD
WHEATON, IL 60187
UTILITY PROFILES

DOUGLAS T. WOODS
REGISTERED PROFESSIONAL ENGINEER
No. 062-057204
STATE OF ILLINOIS

Project Manager: DTW
Drawn: MS
Checked: DTW
Drawing Date: 11 19 2024
Project Number: 240077.003

C501

GENEVA RD.

EX. WATER (PER RECORD)

FOUND IRON PIPE

CONC. DRIVEWAY

CONC. WALK

150.00

S 88°30'16" W

REC. 313.00

CWO

EX. 10' UTILITY AND DRAINAGE EASEMENT R2001-222783

LOT 1

PARCEL 1

LOT 2

FIFTH THIRD BANK

2800 BRANCH

FFE = 751.50'

201.00

S 00°41'49" E

201.00

N 00°41'49" W

EX. SAN (PER RECORD)

RIM: 746.14

(W) 731.81 8"

(N) 731.81 24"

(E) 731.81 8"

(S) 731.81 24"

4,820 CU.FT. DETENTION

CONC. WEIR

150.00

N 88°30'16" E

IP

Call Before You Dig

JULIE ILLINOIS ONE-CALL SYSTEM

NOTE
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GRADING LEGEND

EXISTING MAJOR CONTOUR

EXISTING MINOR CONTOUR

PROPOSED MAJOR CONTOUR

PROPOSED MINOR CONTOUR

PROPOSED SPOT ELEVATION

SPOT ELEVATION LEGEND

FINISHED GRADE ELEVATION

BACK OF CURB ELEVATION

EDGE OF CONCRETE ELEVATION

EDGE OF PAVEMENT ELEVATION

MANHOLE / CLEANOUT RIM ELEVATION

STORM INLET TOP OF CASTING ELEVATION

CATCH BASIN GRATE ELEVATION

PROPOSED EROSION CONTROL LEGEND

INLET PROTECTION

SILT FENCE

CONCRETE WASHOUT

CONSTRUCTION ENTRANCE

0 5 10 20

BHDP ARCHITECTURE

BHDP ENGINEERS GROUP
6010 CENTRE PARK DRIVE, WEST CHESTER TOWNSHIP, OH 45069
537 EAST PETE ROSE WAY, SUITE 400, CINCINNATI, OH 45203
1400 W DOROTHY LANE, DAYTON, OHIO 45420

FIFTH THIRD BANK - WHEATON BRANCH
234 E. GENEVA ROAD,
WHEATON, IL 60187
GRADING PLAN

Project Manager DTW
Drawn AMB
Checked DTW
Issuing Date 11.19.2024
Project Number 240077.003

C600

PROJECT DATA

PROJECT DESCRIPTION:
PROPOSED FINANCIAL INSTITUTION WITH ACCOMPANYING PARKING LOT AND UTILITIES

LATITUDE:	N 41°53'15.91"
LONGITUDE:	W 88°06'18.94"
ESTIMATED CONSTRUCTION DATES:	TBD
TOTAL SITE AREA:	0.89 ACRES
TOTAL DISTURBED AREA:	0.89 ACRES
EXISTING IMPERVIOUS AREA:	0.29 ACRES
PROPOSED IMPERVIOUS AREA:	0.44 ACRES
TOTAL IMPERVIOUS AREA AFTER CONSTRUCTION:	0.44 ACRES
INCREASE IN IMPERVIOUS AREA:	0.15 ± %
PRE-CONSTRUCTION RUNOFF COEFFICIENT:	C=0.60
POST-CONSTRUCTION RUNOFF COEFFICIENT:	C=0.72
IMMEDIATE RECEIVING WATERWAY:	WINFIELD CREEK
ULTIMATE RECEIVING STREAM:	WEST BRANCH DUPAGE RIVER
EXISTING LAND USE:	COMMERCIAL RETAIL STORE WITH ACCOMPANYING PARKING
SOILS:	531B - MARSHAN SILT LOAM, 2 TO 4 PERCENT SLOPE 146A - ELLIOTT SILT LOAM, 0 TO 2 PERCENT SLOPES

CONSTRUCTION SEQUENCE

TO COMPLETE THE EXCAVATION AND CONSTRUCTION OF THE PROPOSED JOB IMPROVEMENTS, COORDINATION OF THE CONTRACTOR'S WORK CREWS WILL BE REQUIRED. THE EXISTING DITCHES WILL PERFORM TEMPORARY SEDIMENT CONTROL AND STORAGE DURING THE PROPOSED CONSTRUCTION. WORK WILL GENERALLY PROCEED FROM DOWNSTREAM TO UPSTREAM IN THESE WORK AREAS. THE GENERAL CONSTRUCTION SEQUENCE IS AS FOLLOWS:

A) INSTALL EROSION CONTROL ITEMS
B) STRIP TOPSOIL AND ANY UNSUITABLE MATERIAL THROUGH THE INCREMENTAL WORK AREA.
C) INSTALL TEMPORARY DITCH CHECKS IN DOWNSTREAM END OF EXISTING DITCH WITHIN 24 HOURS FOLLOWING THE STRIPPING OPERATION
D) IF UG PIPE IS CALLED FOR IN THIS PORTION OF WORK AREA, PIPE CREW WILL INSTALL PIPE AS WELL AS MANHOLES.
E) AS PIPE INSTALLATION PROGRESSES, REPAIR OF THE ROADWAY WILL PROCEED BEHIND IT.
F) ANY DISTURBED OR EXPOSED AREAS SHALL BE STABILIZED PER OEPA TEMPORARY AND PERMANENT STABILIZATION REGULATIONS INCLUDING:
1. SEEDING
2. DITCH MATTING
3. INLET PROTECTION
4. MULCHING
5. WATERING

EMERGENCY ACTION & SPILL PREVENTION PLAN

THE SCOPE OF WORK COVERED BY THIS PLAN INCLUDES EMERGENCY RESPONSE TO SPILLS, CONTAINMENT OF SPILLED LIQUIDS, EMERGENCY NOTIFICATION NUMBERS, AND SOIL EXCAVATION FOR SPILL CLEAN-UP.

IN THE EVENT OF A SPILL EVENT THE EMPLOYEE SHALL ASSESS THE SPILL AND IMMEDIATELY NOTIFY THE SAFETY OFFICER AND SUPERVISOR IN CHARGE, OR OTHER INDIVIDUALS AS LISTED BELOW.

TITLE	NAME (PLEASE PRINT)	PHONE NUMBER
SITE SUPERINTENDENT		
PROJECT ENGINEER		

IMMEDIATELY AFTER NOTIFICATION, THE EMPLOYEE WILL BE DIRECTED BY THE SAFETY OFFICER, OR RESPONSIBLE PARTY TO START CONTAINMENT PROCEDURES TO PREVENT THE MATERIAL FROM REACHING THE STORM SEWERS, DRAINAGE DITCH, AND OTHER OUTLETS USING THE FOLLOWING ACTIONS OR ANY OTHER MEANS NECESSARY WITHOUT COMPROMISING WORKER SAFETY:

1) CLEAR PERSONNEL FROM THE SPILL AREA AND ROPE OFF AREA.
2) STOP THE SPILL.
3) USE SORBENT MATERIALS, PLUG PUTTY, OR HOLE PUTTY AS NECESSARY TO CONTROL THE SPILL AT THE SOURCE.
4) CONSTRUCT A TEMPORARY CONTAINMENT DIKE OF SORBENT MATERIALS OR DIRT TO CONTAIN SPILL.

SPILL KITS WILL BE LOCATED ON THE PROJECT AS DESIGNATED ON THE SWPPP PLAN.

UPON COMPLETION OF CONTAINMENT OPERATIONS, PROPER CLEAN-UP PROCEDURES WILL BE IMPLEMENTED IN ACCORDANCE WITH REGULATORY PROCEDURES.

IF THE SPILL EXCEEDS 25 GALLONS, THE FOLLOWING ORGANIZATIONS SHALL BE CONTACTED WITHIN 30 MINUTES OF THE INCIDENT.

EMERGENCY CONTACTS:

ILLINOIS EMERGENCY MANAGEMENT AGENCY (EMA) / STATE EMERGENCY RESPONSE COMMISSION (SERC) AT 1-800-782-7860 (IN STATE) OR 217-782-7860 (IF CALLING FROM OUT OF STATE)

NATIONAL RESPONSE CENTER (NRC) AT 1-800-424-8802 (IF THE SUBSTANCE IS CERCLA HAZARDOUS SUBSTANCE)

GENERAL NOTES

THE CONTRACTOR IS HEREBY ADVISED THAT STRICTER POLLUTION CONTROL STANDARDS AND ENFORCEMENT HAVE BEEN IMPOSED BY THE ILLINOIS EPA. ALSO, MANY PRIVATE CITIZEN ENVIRONMENTAL GROUPS, WHO HAVE BEEN KNOWN TO FILE CIVIL LEGAL ACTIONS, ARE PRESENT IN THE AREA AND OBSERVE ALL CONSTRUCTION OPERATIONS.

THE CONTRACTOR SHALL INFORM ALL SUBCONTRACTORS OF THE REQUIREMENTS AND RESPONSIBILITIES OF THE SWPPP AND SHALL DOCUMENT ALL SUCH NOTIFICATIONS AND/OR DISCUSSIONS.

THE CONTRACTOR WILL BE REQUIRED TO PARTICIPATE IN SEDIMENT AND EROSION CONTROL INSPECTIONS ON A WEEKLY BASIS AND SIGN AN APPROVED INSPECTION SHEET THAT SHALL BE KEPT ON FILE AT THE JOB SITE.

UNLESS OTHERWISE NOTED, STANDARDS AND SPECIFICATIONS ESTABLISHED IN THE LATEST EDITION OF THE ILLINOIS URBAN MANUAL SHALL GOVERN THE EROSION AND SEDIMENT CONTROL INSTALLATIONS SPECIFIED ON THIS PLAN.

THIS PROJECT WILL INVOLVE SEVERAL CONSTRUCTION PHASES AND SEQUENCING THROUGHOUT ITS LIFETIME. IT IS VERY IMPORTANT THAT ALL TEMPORARY SEDIMENT AND EROSION CONTROL (SEC) FIELD METHODS ALONG WITH THIS PLAN, ARE UPDATED TO REFLECT THE ACTUAL FIELD CONDITIONS, CURRENT WEATHER CONDITIONS AND SITE GRADE CHANGES. THE ENGINEER OR THE ILLINOIS EPA CAN AND WILL MODIFY THIS PLAN AS NECESSARY.

THE CONTRACTOR WILL VOLUNTARILY SELF REPORT ANY POTENTIAL VIOLATIONS OF THE IEPA NPDES PERMIT TO THE ENGINEER AND THE IEPA.

THE CONTRACTOR SHALL REMOVE EXISTING GROUND COVER ONLY AS NECESSARY FOR THE PROJECT PHASE CURRENTLY UNDER CONSTRUCTION.

CONSTRUCTION AND DEMOLITION DEBRIS SHALL BE PROPERLY DISPOSED OF ACCORDING TO RUN REQUIREMENTS.

THE CONTRACTOR WILL BE REQUIRED TO BUILD SEDIMENT BASINS OR SEDIMENT TRAPS OR USE EQUAL METHODS TO DETAIN AND CLEAN WATER TO ACCEPTABLE EPA STANDARDS BEFORE REDISCHARGING THE WATER BACK INTO THE STREAM.

THERE SHALL BE NO TURBID DISCHARGES TO SURFACE WATERS, RESULTING FROM DEWATERING ACTIVITIES. SEDIMENT-LADEN WATER MUST PASS THROUGH A SETTLING POND, FILTER BAG, OR OTHER COMPARABLE PRACTICE, PRIOR TO DISCHARGE.

NO SOLID OR LIQUID WASTE SHALL BE DISCHARGED INTO STORM WATER RUNOFF.

ALL PROCESS WASTEWATER (EQUIPMENT WASHING, LEACHATE FROM ON-SITE WASTE DISPOSAL, ETC.) SHALL BE COLLECTED AND DISPOSED OF AT A PUBLICLY OWNED TREATMENT WORKS.

ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH ALL LOCAL EROSION/SEDIMENT CONTROL, WASTE DISPOSAL, SANITARY AND HEALTH REGULATIONS.

OTHER EROSION CONTROL ITEMS MAY BE NECESSARY DUE TO ENVIRONMENTAL CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND IMPLEMENTATION OF ADDITIONAL EROSION CONTROL ITEMS, AT THE ENGINEER'S DISCRETION.

NO SOIL, ROCK, DEBRIS OR OTHER MATERIAL SHALL BE DUMPED OR PLACED IN ANY AREAS NOT ADEQUATELY PROTECTED BY EROSION CONTROL INSTALLATIONS.

IT IS PREFERRED TO USE PERMANENT EROSION CONTROL ITEMS AS SHOWN IN THE PLANS TO CONTROL CONSTRUCTION POLLUTION WHEN POSSIBLE. OTHERWISE, THE TEMPORARY POLLUTION PREVENTION ITEMS ARE TO BE USED.

MOST TEMPORARY S&EC METHODS, INCLUDING BUT NOT LIMITED TO, SILT FENCE AND DITCH CHECKS MAY ALL HAVE TO BE PERIODICALLY REMOVED AND REPLACED, OR MOVED FROM THE EXISTING ROAD DITCH OR STRIPPED AREAS AS WORK PROGRESSES. ANY CHANGES SHALL BE NOTED IN THE PLAN BY RED LINE AND DATED ON A CORRECTIVE ACTION LOG.

ALL TEMPORARY SEDIMENT CONTROLS AND STORM WATER QUALITY METHODS WILL BE BUILT/INSTALLED AS THE PROJECT PROGRESSES TO ELIMINATE UNNECESSARY DISTURBANCE AND REDUNDANCY. ALL TEMPORARY CONTROLS SHALL BE IN PLACE AND FUNCTIONING PROPERLY WHEN THREATENING WEATHER IS IMMINENT.

"TEMPORARY STABILIZATION" MEANS THE ESTABLISHMENT OF TEMPORARY VEGETATION, MULCHING, GEOTEXTILES, SOD, PRESERVATION OF EXISTING VEGETATION AND OTHER TECHNIQUES CAPABLE OF QUICKLY ESTABLISHING COVER OVER DISTURBED AREAS TO PROVIDE EROSION CONTROL BETWEEN CONSTRUCTION OPERATIONS.

"PERMANENT STABILIZATION" MEANS THE ESTABLISHMENT OF PERMANENT VEGETATION, DECORATIVE LANDSCAPE MULCHING, MATTING, SOD, RIP RAP AND LANDSCAPING TECHNIQUES TO PROVIDE PERMANENT EROSION CONTROL ON AREAS WHERE CONSTRUCTION OPERATIONS ARE COMPLETE OR WHERE NO FURTHER DISTURBANCE IS EXPECTED FOR AT LEAST A YEAR.

OFF SITE TRACKING OF SEDIMENTS SHALL BE MINIMIZED. A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. ALL PAVED STREETS ADJACENT TO THE SITE WILL BE SWEPT DAILY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARP.

STABILIZATION PRACTICES

PERMANENT SEEDING AND MULCHING STABILIZATION SHALL BE PROVIDED PER ILLINOIS URBAN MANUAL GUIDELINES AS SET FORTH IN CODE 875 AND 880. (SEE TABLE 1)

TABLE 1. PERMANENT STABILIZATION

AREA REQUIRING PERMANENT STABILIZATION	TIME FRAME TO APPLY EROSION CONTROLS
ANY AREAS THAT WILL LIE DORMANT FOR ONE YEAR OR MORE	WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE
ANY AREAS WITHIN 50 FEET OF A SURFACE WATER OF THE STATE AND AT FINAL GRADE	WITHIN TWO DAYS OF REACHING FINAL GRADE
ANY OTHER AREAS AT FINAL GRADE	WITHIN SEVEN DAYS OF REACHING FINAL GRADE WITHIN THAT AREA

TEMPORARY SEEDING AND MULCHING STABILIZATION SHALL BE PROVIDED PER ILLINOIS URBAN MANUAL GUIDELINES AS SET FORTH IN CODE 875 AND 885. (SEE TABLE 2)

TABLE 2: TEMPORARY STABILIZATION

AREA REQUIRING TEMPORARY STABILIZATION	TIME FRAME TO APPLY EROSION CONTROLS
ANY DISTURBED AREAS WITHIN 50 FEET OF A SURFACE WATER OF THE STATE AND NOT AT FINAL GRADE	WITHIN TWO DAYS OF THE MOST RECENT DISTURBANCE IF THE AREA WILL REMAIN IDLE FOR MORE THAN 14 DAYS
FOR ALL CONSTRUCTION ACTIVITIES, ANY DISTURBED AREAS THAT WILL BE DORMANT FOR MORE THAN 14 DAYS BUT LESS THAN ONE YEAR, AND NOT WITHIN 50 FEET OF A SURFACE WATER OF THE STATE	WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE WITHIN THE AREA FOR RESIDENTIAL SUBDIVISIONS, DISTURBED AREAS MUST BE STABILIZED AT LEAST SEVEN (7) DAYS PRIOR TO TRANSFER OF PERMIT COVERAGE FOR THE INDIVIDUAL LOT(S).
DISTURBED AREAS THAT WILL BE IDLE OVER WINTER	PRIOR TO THE ONSET OF WINTER WEATHER

ALL TEMPORARY EROSION AND SEDIMENT CONTROL INSTALLATIONS SHALL BE REMOVED WHEN 70% VEGETATION HAS BEEN REACHED.

SEEDING & MULCHING

MULCH ANCHOR OTHER APPROPRIATE VEGETATIVE PRACTICES SHALL BE APPLIED TO DISTURBED AREAS WITHIN 7 DAYS OF GRADING IF THE AREA IS TO REMAIN DORMANT (UNDISTURBED) FOR MORE THAN 14 DAYS OR ON AREAS AND PORTIONS OF THE SITE WHICH CAN BE BROUGHT TO FINAL GRADE.

MULCH SHALL CONSIST OF UNROTTED SMALL GRAIN STRAW APPLIED AT THE RATE OF 2 TONS/AC. OR 90 LB./1000 SQ. FT. (TWO TO THREE BALES). THE STRAW MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THE SOIL SURFACE IS COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1000-SQ.-FT. SECTIONS AND PLACE TWO 45-LB. BALES OF STRAW IN EACH SECTION.

MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR RUNOFF. THE FOLLOWING ARE ACCEPTABLE METHODS FOR ANCHORING MULCH:

1) MECHANICAL-USE A DISK, CHIPPER, OR SIMILAR TYPE TOOL SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH MATERIAL INTO THE SOIL. STRAW MECHANICALLY ANCHORED SHALL NOT BE FINELY CHOPPED BUT BE LEFT GENERALLY LONGER THAN 6 IN.
2) MULCH NETTING-USE ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS, FOLLOWING ALL PLACEMENT AND ANCHORING SUGGESTIONS. USE IN AREAS OF WATER CONCENTRATION AND STEEP SLOPES TO HOLD MULCH IN PLACE.
3) SYNTHETIC BINDERS-FOR STRAW MULCH, SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRO-TAC), DCA-70, PETROSET, TERRA-TACK OR EQUAL MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER. ALL APPLICATIONS OF SYNTHETIC BINDERS MUST BE CONDUCTED IN SUCH A MANNER WHERE THERE IS NO CONTACT WITH WATERS OF THE STATE.
4) WOOD CELLULOSE FIBER - WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. THE FIBER BINDER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 LB./ACRE. THE WOOD CELLULOSE FIBER SHALL BE MIXED WITH WATER AND THE MIXTURE SHALL CONTAIN A MAXIMUM OF 50 LB./100 GAL. OF WOOD CELLULOSE FIBER.

TEMPORARY SEEDING & MULCHING FOR EROSION CONTROL

SEED TYPE	PER 1,000 SQ.FT.	PER ACRE
PERENNIAL RYEGRASS TALL FESCUE ANNUAL RYEGRASS	1 POUND 1 POUND 1 POUND	40 POUNDS 40 POUNDS 40 POUNDS
SMALL GRAIN STRAW	90 POUNDS	2 TONS
FERTILIZER	6 POUNDS OF 10-10-10 OR 12-12-12	250 POUNDS OF 10-10-10 OR 12-12-12

NOTE: OTHER APPROVED SPECIES MAY BE SUBSTITUTED

STOCKPILE

SILT FENCING SHALL BE INSTALLED AROUND TEMPORARY SPOIL STOCKPILES. THESE STOCKPILES SHALL BE STRAW MULCHED AND/OR TEMPORARILY SEEDED WITHIN 7 WORKING DAYS IF LEFT DORMANT FOR 14 DAYS OR LONGER.

TIMING OF CONTROLS/MEASURES

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, CONSTRUCTION ENTRANCE(S) AND SILT FENCE WILL BE CONSTRUCTED PRIOR TO CLEARING OR GRADING OF ANY OTHER PORTIONS OF THE SITE. SEDIMENT CONTROL DEVICES SHALL BE IMPLEMENTED FOR ALL AREAS REMAINING DISTURBED LONGER THAN 14 DAYS AND/OR WITHIN 7 DAYS OF ANY GRADING ACTIVITIES. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN 14 DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN 2 DAYS OF THE LAST DISTURBANCE IF THE AREA IS WITHIN 50 FEET OF A STREAM, AND WITHIN 7 DAYS OF THE LAST DISTURBANCE IF THE AREA IS MORE THAN 50 FEET AWAY FROM A STREAM. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, THAT AREA WILL BE STABILIZED WITH PERMANENT SEED AND MULCH. AFTER THE ENTIRE SITE IS STABILIZED, THE ACCUMULATED SEDIMENT WILL BE REMOVED FROM THE BASIN.

STABILIZATION TYPE	J	F	M	A	M	J	J	A	S	O	N	D
PERMANENT SEEDING				*	*	*	*	*	*	*		
DORMANT SEEDING	*	*	*							*	*	*
TEMPORARY SEEDING				*	*	*	*	*	*	*		
SODDING				**	**	**	**	**	**			
MULCHING	*	*	*	*	*	*	*	*	*	*	*	*

* IRRIGATION NEEDED
** IRRIGATION NEEDED FOR 2-3 WEEKS AFTER SOD IS APPLIED

INSPECTIONS

ALL BMPS ON THIS SITE SHALL BE INSPECTED BY "QUALIFIED INSPECTION PERSONNEL" ASSIGNED BY THE CONTRACTOR OR DESIGNATED REPRESENTATIVE AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND BY THE END OF THE NEXT CALENDAR DAY, EXCLUDING WEEKENDS AND HOLIDAYS UNLESS WORK IS SCHEDULED, AFTER A RAIN EVENT OF 0.5 INCHES PER 24 HOUR PERIOD. A RECORD OF THESE INSPECTIONS SHALL BE MAINTAINED IN THE CONSTRUCTION OFFICE WITH THE SWPPP FOR PUBLIC VIEWING. ANY VIOLATIONS WILL BE REPORTED THROUGH THE PROJECT PERSONNEL. A RAIN GAUGE WILL BE LOCATED WITHIN THE PROJECT LIMITS.

FOLLOWING EACH INSPECTION, A CHECKLIST MUST BE COMPLETED AND SIGNED BY THE QUALIFIED INSPECTION PERSONNEL REPRESENTATIVE. AT A MINIMUM, THE INSPECTION REPORT SHALL INCLUDE:

1. THE INSPECTION DATE;
2. NAMES, TITLES, AND QUALIFICATIONS OF PERSONNEL MAKING THE INSPECTION;
3. WEATHER INFORMATION FOR THE PERIOD SINCE THE LAST INSPECTION (OR SINCE COMMENCEMENT OF CONSTRUCTION ACTIVITY IF THE FIRST INSPECTION) INCLUDING A BEST ESTIMATE OF THE BEGINNING OF EACH STORM EVENT, DURATION OF EACH STORM EVENT, APPROXIMATE AMOUNT OF RAINFALL FOR EACH STORM EVENT (IN INCHES), AND WHETHER ANY DISCHARGES OCCURRED;
4. WEATHER INFORMATION AND A DESCRIPTION OF ANY DISCHARGES OCCURRING AT THE TIME OF THE INSPECTION;
5. LOCATION(S) OF DISCHARGES OF SEDIMENT OR OTHER POLLUTANTS FROM THE SITE;
6. LOCATION(S) OF BMPS THAT NEED TO BE MAINTAINED;
7. LOCATION(S) OF BMPS THAT FAILED TO OPERATE AS DESIGNED OR PROVED INADEQUATE FOR A PARTICULAR LOCATION;
8. LOCATION(S) WHERE ADDITIONAL BMPS ARE NEEDED THAT DID NOT EXIST AT THE TIME OF INSPECTION; AND
9. CORRECTIVE ACTION REQUIRED INCLUDING ANY CHANGES TO THE SWPPP NECESSARY AND IMPLEMENTATION DATES

MAINTENANCE

THE CONTRACTOR SHALL MAINTAIN, REPAIR, OR REPLACE ALL EROSION CONTROL INSTALLATIONS AS NEEDED TO ENSURE THE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. ALL REPAIRS TO BMPS SHALL BE MADE WITHIN 3 DAYS (OR SOONER IF POSSIBLE) OF NOTIFICATION OF DEFICIENCIES. IF THE CORRECTIONS ARE NOT MADE WITHIN THE 3 DAY PERIOD, LIQUIDATED DAMAGES MAY BE ASSESSED.

ONGOING INSPECTION OF INSTALLATIONS WILL BE PERFORMED BY THE CONTRACTOR OR DESIGNATED REPRESENTATIVE.

ANY TRAPPED SEDIMENT OR DEBRIS REMOVED DURING CLEANING OF OR REMOVAL OF BMP INSTALLATIONS SHALL BE PLACED IN AREAS NOT SUBJECT TO EROSION AND PERMANENTLY STABILIZED.

DUST CONTROL

DUST CONTROL INVOLVES PREVENTING OR REDUCING DUST FROM EXPOSED SOILS OR OTHER SOURCES DURING LAND DISTURBING, DEMOLITION AND CONSTRUCTION ACTIVITIES TO REDUCE THE PRESENCE OF AIRBORNE SUBSTANCES WHICH MAY PRESENT HEALTH HAZARDS, TRAFFIC SAFETY PROBLEMS OR HARM ANIMAL OR PLANT LIFE.

THE FOLLOWING SPECIFICATIONS FOR DUST CONTROL SHALL BE FOLLOWED ONSITE:

1. VEGETATIVE COVER/MANMULCH - APPLY TEMPORARY OR PERMANENT SEEDING AND MULCH TO AREAS THAT WILL REMAIN IDLE FOR OVER 14 DAYS. SAVING EXISTING TREES AND LARGE SHRUBS WILL ALSO REDUCE SOIL AND AIR MOVEMENT ACROSS DISTURBED AREAS. SEE TEMPORARY SEEDING, PERMANENT SEEDING, MULCHING PRACTICES, AND TREE AND NATURAL AREA PROTECTION PRACTICES.
2. WATERING - SPRAY SITE WITH WATER UNTIL THE SURFACE IS WET BEFORE AND DURING GRADING AND REPEAT AS NEEDED, ESPECIALLY ON HAUL ROADS AND OTHER HEAVY TRAFFIC ROUTES. WATERING SHALL BE DONE AT A RATE THAT PREVENTS DUST BUT DOES NOT CAUSE SOIL EROSION. WETTING AGENTS SHALL BE UTILIZED ACCORDING TO MANUFACTURERS INSTRUCTIONS.
3. SPRAY-ON ADHESIVES - APPLY ADHESIVE ACCORDING TO THE FOLLOWING TABLE OR MANUFACTURERS' INSTRUCTIONS.

ADHESIVE	WATER DILUTION (ADHESIVE:WATER)	NOZZLE TYPE	APPLICATION RATE (GAL/AC)
LATEX EMULSION	12.5:1	FINE	250
RESIN IN WATER ACRYLIC EMULSION (HD TRAFFIC)	4:1	FINE	300
ACRYLIC EMULSION (MD TRAFFIC)	7:1	COARSE	450
ACRYLIC EMULSION (TRAFFIC)	3.5:1	COARSE	350

PERMITTEE

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ADDRESS2:
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FAX:
CONTACT:
EMAIL:

GENERAL PERMIT: _____

NPDES PERMIT: ILR10

DATE OF ISSUE: _____

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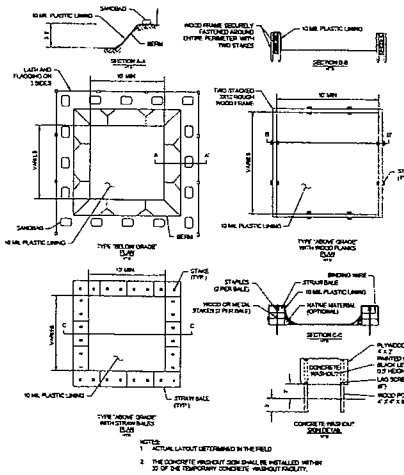
NOTE
UNDERGROUND UTILITIES ARE PLOTTED FROM A COMPILATION OF AVAILABLE RECORD INFORMATION AND SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE EXISTENCE OR NON EXISTENCE OF UNDERGROUND UTILITIES CANNOT BE VERIFIED. PLEASE NOTIFY THE ILLINOIS J.U.L.I.E. UTILITY PROTECTION SERVICE AT 811 OR 1-800-892-0123 BEFORE ANY PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY

BHDP ARCHITECTURE
BHDP
DUPCHESS CLAUSSEN CHACOTTE
TRIG ALSHEIKHS GROUP, SOVERIEN, HEAVY ENGINEERING

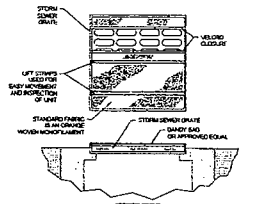
FIFTH THIRD BANK: WHEATON BRANCH
234 E. GENEVA ROAD,
WHEATON, IL 60518
EROSION CONTROL NOTES

DOUGLAS T. MOERITZ
DTW
AMD
DTW
11.19.2024
240077.003
C700



NOTES:
1. ACTUAL LAYOUT DETERMINED IN THE FIELD
2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

CONCRETE WASHOUT DETAIL
NTS



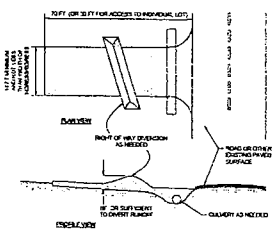
SPECIFICATIONS

MECHANICAL PROPERTIES	TEST METHOD	UNITS	MARV
GRAB TENSILE STRENGTH	ASTM D 4632	lbs (GN)	1,200 (5.3) x 1,150 (5.25)
GRAB TENSILE ELONGATION	ASTM D 4632	%	30 x 20
PUNCTURE STRENGTH	ASTM D 4833	lbs (GN)	540 (2.4)
MULLEN BURST STRENGTH	ASTM D 3786	kPa (PSI)	3000 (430)
TRAPEZOID TEAR STRENGTH	ASTM D 4533	lbs (GN)	0.25 (1.1) x 0.20 (0.9)
UV RESISTANCE	ASTM D 4355	%	70
APPARENT OPENING SIZE	ASTM D 4751	MEASUREMENT	40 (0.425)
FLOW RATE	ASTM D 4491	GAL/MIN/SQ.FOOT (L)	150 (1140)
PERMITTIVITY	ASTM D 4491	SEC-1	2.1

INSTALLATION: THE EMPTY DANDY SAG SHOULD BE PLACED OVER THE GRATE. AS THE GRATE STANDS ON END, IF USING OPTIONAL OIL ABSORBENTS, PLACE ABSORBENT PILLOW IN POUCH, ON THE BOTTOM (BELOW GRADE SIDE) OF THE UNIT. ATTACH ABSORBENT PILLOW TO FLAP LOOP. TUCK THE ENCLOSURE FLAP INSIDE TO COMPLETELY ENCLOSE THE GRATE. VELCRING THE LIFTING DEVICES DO NOT RELY ON LIFTING DEVICES TO SUPPORT THE ENTIRE WEIGHT OF THE GRATE). PLACE THE GRATE INTO ITS FRAME.

MAINTENANCE: REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM SURFACE AND VICINITY OF UNIT AFTER EACH STORM EVENT. REMOVE SEDIMENT THAT HAS ACCUMULATED WITHIN THE CONTAINMENT AREA OF THE DANDY SAG AS NEEDED. IF USING OPTIONAL OIL ABSORBENTS, REMOVE AND REPLACE ABSORBENT PILLOW WHEN HEAVY SATURATION

DANDY SAG DETAIL
NTS



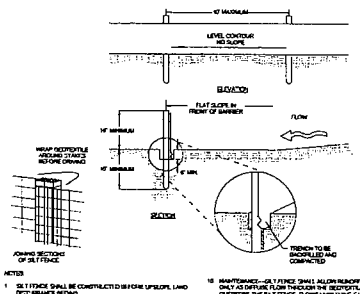
NOTES:

1. STONE SIZE - USE CA-1 (1.5-2.5 INCH) STONE SHALL BE USED, OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - THE CONSTRUCTION ENTRANCE SHALL BE AS LONG AS REQUIRED TO STABILIZE HIGH TRAFFIC AREAS BUT NOT LESS THAN 70 FT. (EXCEPTION: APPLY 30 FT. MINIMUM TO SINGLE RESIDENCE LOTS).
3. THICKNESS - THE STONE LAYER SHALL BE AT LEAST 6 INCHES THICK FOR LIGHT DUTY ENTRANCES OR AT LEAST 12 INCHES FOR HEAVY DUTY USE.
4. WIDTH - THE ENTRANCE SHALL BE AT LEAST 14 FEET WIDE, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
5. GEOTEXTILE - A GEOTEXTILE SHALL BE LAID OVER THE ENTIRE AREA PRIOR TO PLACING STONE. IT SHALL BE STANDARD OF STRONG NON-WOVEN POLYMERIC FIBERS AND MEET THE FOLLOWING SPECIFICATIONS:

MINIMUM TENSILE STRENGTH	200 LBS
MINIMUM PUNCTURE STRENGTH	80 LBS
MINIMUM TEAR STRENGTH	30 LBS
MINIMUM BURST STRENGTH	320 PSI
MINIMUM ELONGATION	20%
EQUIVALENT OPENING SIZE	100% (0.8MM)
PERMITTIVITY	10 PER CHECKS

6. TIMING - THE CONSTRUCTION ENTRANCE SHALL BE INSTALLED AS SOON AS IS PRACTICABLE BEFORE MAJOR GRADING ACTIVITIES.
7. CULVERT - A PIPE OR CULVERT SHALL BE CONSTRUCTED UNDER THE ENTRANCE IF NEEDED TO PREVENT SURFACE WATER FROM FLOWING ACROSS THE ENTRANCE OR TO PREVENT RUNOFF FROM BEING DIRECTED OUT ONTO PAVED SURFACES.
8. WETTER BUFF - A WETTER BUFF SHALL BE CONSTRUCTED AS PART OF THE CONSTRUCTION ENTRANCE, IF NEEDED TO PREVENT SURFACE RUNOFF FROM FLOWING THE LENGTH OF THE CONSTRUCTION ENTRANCE AND OUT ONTO PAVED SURFACES.
9. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR THE WASHING AND REWORKING OF EXISTING STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIAL SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY. THE USE OF WATER TRUCKS TO REMOVE MATERIALS DROPPED, WASHED, OR TRACKED ONTO ROADWAYS WILL NOT BE PERMITTED UNDER ANY CIRCUMSTANCES. THE PRECEDING PROVISIONS OF ADDITIONAL SYSTEM SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE ABOVE. ANY SEDIMENT DEPOSITED ONTO PAVED PUBLIC ROADWAY OR ANY SURFACE WHERE RUNOFF IS NOT CHANNELED BY MOVEMENT CONTROLS, SHALL BE REMOVED IMMEDIATELY. REMOVAL SHALL BE ACCOMPLISHED BY SCRAPING OR SWEEPING.
10. CONSTRUCTION ENTRANCES SHALL NOT BE RELIED UPON TO REMOVE MUD FROM VEHICLES AND PREVENT OFF-SITE TRACKING. VEHICLES THAT ENTER AND LEAVE THE CONSTRUCTION SITE SHALL BE RESTRICTED FROM MUDDY AREAS.
11. REMOVAL - THE ENTRANCE SHALL REMAIN IN PLACE UNTIL THE DISTURBED AREA IS STABILIZED OR REPLACED WITH A PERMANENT ROADWAY OR DRIVEWAY.

CONSTRUCTION ENTRANCE DETAIL
NTS



NOTES:

1. SILT FENCE SHALL BE CONSTRUCTED DISTURBED UPSLOPE, LAND DISTURBANCE BEGINS.
2. ALL SILT FENCE SHALL BE PLACED AS CLOSE TO THE CONTOUR AS POSSIBLE SO THAT WATER WILL NOT CONCENTRATE AT LOW POINTS IN THE FENCE AND THAT THE FENCE SHALL SMALLER OR DEPRESSIONS THAT MAY CARRY SMALL CONCENTRATED FLOWS TO THE SILT FENCE ARE DESIGNATED ACCORDING LENGTH
3. ENDS OF THE SILT FENCES SHALL BE PROLONT UPSLOPE SLIGHTLY SO THAT WATER PONDED BY THE SILT FENCE WILL BE PREVENTED FROM FLOWING AROUND THE ENDS.
4. SILT FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE.
5. WHERE POSSIBLE, MODIFICATION SHALL BE PRESCRIPTED FOR 5 FEET OR AS MUCH AS POSSIBLE UPSLOPE FROM THE SILT FENCE. IF VEGETATION IS REMOVED, IT SHALL BE REESTABLISHED WITHIN 7 DAYS FROM THE INSTALLATION OF THE SILT FENCE.
6. THE HEIGHT OF THE SILT FENCE SHALL BE A MINIMUM OF 16 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
7. THE SILT FENCE SHALL BE PLACED IN AN EXCAVATED OR SLICED TRENCH CUT A MINIMUM OF 6 INCHES DEEP. THE TRENCH SHALL BE MADE WITH A TRENCHER, CABLE LAYING MACHINE, SLICING MACHINE, OR OTHER SUITABLE DEVICE THAT WILL ENSURE AN ADEQUATE, UNIFORM TRENCH DEPTH.
8. THE SILT FENCE SHALL BE PLACED WITH THE STAKES ON THE DOWNHILL SIDE OF THE FENCE. THE STAKES SHALL BE SPACED OF GEOTEXTILE MUST BE BELOW THE GROUND SURFACE. EXCESS MATERIAL SHALL LAY ON THE BOTTOM OF THE 6-INCH DEEP TRENCH. THE TRENCH SHALL BE BACKFILLED AND COMPACTED ON BOTH SIDES OF THE FABRIC.
9. SEAMS BETWEEN SECTIONS OF SILT FENCE SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST WITH A MINIMUM 6-IN. OVERLAP PRIOR TO DRIVING INTO THE GROUND.
10. MAINTENANCE—SILT FENCE SHALL ALLOW RUNOFF TO PASS ONLY AS DIFFUSE FLOW THROUGH THE GEOTEXTILE. IF RUNOFF OVERTOPS THE SILT FENCE, FLOWS UNDER THE FABRIC OR ERODES THE MATERIAL SUPPORTING THE FENCE, THE FENCE SHALL BE REPAIRED OR REPLACED AS APPROPRIATE. IN THE LOCATION OF THE SILT FENCE, SHALL BE CONSIDERED. ALL SEDIMENT DEPOSITS SHALL BE REMOVED, OR SUITABLE PROTECTIVE SHALL BE INSTALLED.

SEDIMENT DEPOSITS SHALL BE ROUTINELY REMOVED WHEN THE DEPOSIT REACHES APPROXIMATELY ONE-HALF OF THE HEIGHT OF THE SILT FENCE.

SILT FENCES SHALL BE INSPECTED AFTER EACH RAINFALL AND AT LEAST DAILY DURING A PROLONGED RAINFALL. THE LOCATION OF EXISTING SILT FENCE SHALL BE REVIEWED DAILY TO ENSURE ITS PROPER LOCATION AND EFFECTIVENESS. IF DAMAGED, THE SILT FENCE SHALL BE REPAIRED IMMEDIATELY.

CRITERIA FOR SILT FENCE MATERIALS

1. FENCE POST – THE LENGTH SHALL BE A MINIMUM OF 32 INCHES. WOOD POSTS SHALL BE 2-IN. NOMINAL DIMENSIONED HARDWOOD OF SQUARE QUALITY. THEY SHALL BE FREE OF KNOTS, SPLITS AND OTHER VISIBLE IMPERFECTIONS, THAT WILL WEAKEN THE POSTS. THE MINIMUM SPACING BETWEEN POSTS SHALL BE 10 FT. POSTS SHALL BE DRIVEN A MINIMUM 16 INCHES INTO THE GROUND, WHERE POSSIBLE. IF NOT POSSIBLE, THE POSTS SHALL BE ADEQUATELY SECURED TO PREVENT OVERTURNING OF THE FENCE DUE TO SEDIMENT WATER LOADING.
2. SILT FENCE FABRIC – SEE CHART BELOW

SILT FENCE FABRIC	VALUES	TEST METHOD
TENSILE STRENGTH	MINIMUM 50 LBS	ASTM D 4632
MINIMUM ELONGATION	30%	ASTM D 4632
MINIMUM POINT USE STRENGTH	20 LBS	ASTM D 4833
MINIMUM TEAR STRENGTH	40 LBS (180 N)	ASTM D 4533
APPARENT OPENING SIZE	<0.84 MM	ASTM D 4751
MINIMUM PERMITTIVITY	1.0 PER SECOND	ASTM D 4491
UV EXPOSURE STRENGTH RETENTION	90%	ASTM D 4355

SILT FENCE DETAIL
NTS

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NOTE
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BHDP ARCHITECTURE
CINCINNATI COLUMBUS RALEIGH CHARLOTTE
www.bhdp.com
BHDP
THE KLEINGERS GROUP, SOLWERFER, HEAPY ENGINEERING,
6219 CENTRE PARK DRIVE, WEST CHESTER TOWNSHIP, OH 45069
520 EAST PETE ROSE WAY, SUITE 400, CINCINNATI, OH 45202
1400 W. DOROTHY LANE, DAYTON, OHIO 45409

FIFTH THIRD BANK - WHEATON BRANCH
204 E. GENEVA ROAD,
WHEATON, IL 60187
EROSION CONTROL DETAILS

Project Manager: DTW
Drawn: AMB
Checked: DTW
Drawing Date: 11.19.2024
Project Number: 24001/7.003

C701

PLAN KEY NOTES

A. FIX GRASS, REPAIR AS NEEDED TO PROVIDE A FULL TURF AREA - NO BARE SPOTS
B. PLANTING BED EDGING
C. EX PLANTING TO REMAIN

LEGEND

SOD (9,640 SF)
GRAVEL (1,033 SF)

NOTES

1. SEE ALL NOTES THROUGHOUT THE DRAWING SET AND IN THE SPECIFICATIONS MANUAL. NOT ALL NOTES WILL BE ON THIS SHEET. REVIEW ALL DISCIPLINE SHEETS FOR ANY ALL NOTES PRIOR TO BID AND/OR CONSTRUCTION.

PLANT SCHEDULE (ALL SHEETS)

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING/REMARK
			STREET/SHADE TREES			
QB	5	*Quercus bicolor*	Swamp White Oak	12"-14"	B&B	3" DBH MIN.
TA	18	*Tilia americana*	American linden	10"-12"	B&B	3" DBH MIN.
			EVERGREEN TREES			
JV	16	*Juniperus virginiana*	Eastern Red Cedar	6' HT	B&B	3" DBH MIN.
			DECIDUOUS SHRUBS			
CA	77	*Ceanothus americanus*	New Jersey Tea	#5	POT	4' HT min, Per drawing
			EVERGREEN SHRUBS			
RA	117	*Rhus aromatica*	Fragrant Sumac	#5	POT	4' HT min, Per drawing

GENERAL NOTES

1. THE KLEINGELDER GROUP, 1219 CENTRE PARK DRIVE, WEST CHESTER, OHIO 45069 (513 770 1651) PREPARED THE SURVEY FOR THIS PROJECT. IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT OF ANY ANY DISCREPANCIES BETWEEN THE SURVEY AND FIELD CONDITIONS PRIOR TO CONTRACTION.
2. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL EXISTING CONDITIONS, IMPROVEMENTS, VEGETATION AND UTILITIES TO REMAIN. ANY DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.
3. THE CONTRACTOR SHALL CONSTRUCT ALL ITEMS WITHIN THIS CONTRACT IN ACCORDANCE WITH ALL STATE AND LOCAL CODES, REGULATIONS AND ENGINEERING STANDARDS. CONTRACTOR TO COORDINATE ALL WORK WITHIN THE PUBLIC RIGHT OF WAY OR STREETS WITH THE APPROPRIATE JURISDICTIONS.
4. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THESE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
5. CONTRACTOR SHALL REVIEW ALL DRAWINGS AND SPECIFICATIONS PRIOR TO BIDDING AND/OR CONSTRUCTION. IF THERE IS A CONFLICT BETWEEN THE DRAWINGS, DETAILS ON DRAWINGS, AND/OR THE SPECIFICATIONS, THEN THE SPECIFICATIONS WILL PREVAIL. THE HIGHER ORDER OF PRECEDENCE OF DOCUMENTS" GOVERNS: 1) SPECIFICATIONS, 2) DETAILS, 3) DRAWINGS.

PLANTING GENERAL NOTES

1. PLANT QUANTITIES IN PLANT SCHEDULE ARE FOR CONVENIENCE ONLY AND ARE NOT GUARANTEED. SYMBOL QUANTITIES ON PLAN WILL PREVAIL IF DISCREPANCIES OCCUR.
2. THE CONTRACTOR SHALL SHOW PROOF OF PROCUREMENT, SOURCES, QUANTITIES AND VARIETIES FOR ALL SHRUBS, PERENNIALS, ORNAMENTAL GRASSES, AND ANNUALS WITHIN 21 DAYS FOLLOWING THE AWARD OF CONTRACT. TIMELY PROCUREMENT OF ALL PLANT MATERIAL IS ESSENTIAL TO THE SUCCESSFUL COMPLETION AND ACCEPTANCE OF THE PROJECT.
3. SUBSTITUTIONS SHALL ONLY BE ALLOWED WHEN THE CONTRACTOR HAS EXHAUSTED ALL SOURCES FOR THE SPECIFIED MATERIAL AND HAS PROVEN THAT THE SPECIFIED MATERIAL IS NOT AVAILABLE. THE CONTRACTOR MUST PROVIDE NAME AND VARIETY OF SUBSTITUTION TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO ORDERING OR PLANTING. SUBSTITUTIONS SHALL BE REARD SF EQUIVALENT SIZE OF VARIETY OF PLANT HAVING SAME ESSENTIAL CHARACTERISTICS.
4. ALL PLANT MATERIAL SHALL BE NURSERY GROWN, SOUND, HEALTHY, VIGOROUS AND FREE FROM INSECTS, DISEASE AND INJURIES. WITH HABIT OF GROWTH THAT IS NORMAL FOR THE SPECIES. SIZES SHALL BE EQUAL TO OR EXCEEDING SIZES INDICATED ON THE PLANT LIST. KIND, SIZE AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1), MOST RECENT EDITION, EXPECT DECIDUOUS TREE CALIPER SIZE. ALL DECIDUOUS TREE CALIPER MEASUREMENTS SHALL BE TAKEN AT DBH.
5. ALL PLANT MATERIAL THAT HAS BEEN RECENTLY PLANTED IN A NEW CONTAINER SIZE PRIOR TO PURCHASING SHALL HAVE BEEN IN THE NEW CONTAINER SIZE FOR A MINIMUM OF 3 MONTHS TO BE CONSIDERED. CONTRACTOR TO PROVIDE DOCUMENTATION ON THE LENGTH OF TIME EACH PLANT TYPE HAS BEEN IN ITS CURRENT CONTAINER SIZE.
6. PROVIDE A MINIMUM OF 48 HOURS NOTICE FOR APPROVAL OF PLANT LAYOUT AND SAMPLE TREE PLANTING.
7. THE CONTRACTOR SHALL REPORT SUBSURFACE SOIL OR DRAINAGE PROBLEMS TO THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.
8. CONTRACTOR SHALL PLACE SHREDDED BARK MULCH AROUND ALL TREES AND IN ALL PLANTING BEDS, AS INDICATED IN DRAWINGS, TO A DEPTH OF 3" MINIMUM. SEE TYP PLANTING DETAILS.
9. SEE SPECIFICATIONS FOR PLANT MAINTENANCE AND WARRANTY REQUIREMENTS.

EXISTING TREE PROTECTION SPECIFICATIONS

1. ALL EX TREES ONSITE, WITHOUT SHOWN OR NOT ON THE PLANS, TO BE PRESERVED AND PROTECTED DURING CONSTRUCTION WITH HEAVY DUTY TEMPORARY FENCING. TREE PROTECTION FENCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF ANY SITE PREPARATION WORK (CLEARING, GRUBBING, OR GRADING).
2. FENCES SHALL COMPLETELY SURROUND THE TREE OR CLUSTERS OF TREES. THE FENCE SHALL BE LOCATED AT THE OUTERMOST LIMITS OF THE TREE BRANCHES. WHERE THIS IS NOT POSSIBLE, FENCE SHALL BE LOCATED OUTSIDE THE CRITICAL ROOT ZONE AT A MINIMUM. THE CRITICAL ROOT ZONE IS GENERALLY CONSIDERED 1' PER CALIPER INCH OF TREE TRUNK. THE FENCE WILL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROJECT IN ORDER TO PREVENT THE FOLLOWING: SOIL COMPACTION IN THE CRITICAL ROOT ZONE RESULTING FROM VEHICULAR TRAFFIC OR STORAGE OF EQUIPMENT OR MATERIALS.
3. CRITICAL ROOT ZONE DISTURBANCES DUE TO GRADE CHANGES GREATER THAN TWO INCHES (2") CUT OR FILL OR BORING WHICH WAS NOT AUTHORIZED BY THE CITY.
4. WOUNDS TO THE TRUNK, LIMBS, OR EXPOSED ROOTS BY MECHANICAL EQUIPMENT.
5. OTHER ACTIVITIES DETRIMENTAL TO TREES SUCH AS CHEMICAL STORAGE, CEMENT TRUCK CLEANING, AND ETC.
6. IN CASES OF AREA CONSTRAINTS WHERE THE PROTECTIVE FENCE IS CLOSER TO THE TRUNK THAN FOUR FEET (4'), THE TRUNK MUST BE PROTECTED WITH STRAPPED-ON PLANKING TO A HEIGHT OF EIGHT FEET (8') OR TO THE LIMITS OF THE LOWER BRANCHES.
7. CONTRACTOR TO MAINTAIN A MINIMUM 6" THICK LAYER OF MULCH OUT TO THE DRIPLINE OF THE TREE THROUGHOUT CONSTRUCTION WHEN PROTECTIVE FENCING CANNOT EXTEND TO DRIPLINE OF TREE.
8. ALL GRADING WITHIN CRITICAL ROOT ZONES OF PROTECTED TREES SHALL BE PERFORMED BY HAND OR LIGHT EQUIPMENT TO MINIMIZE DAMAGE. PRIOR TO GRADING, RELOCATE THE PROTECTIVE FENCING TO TWO FEET (2') BEHIND THE GRADE CHANGE AREA.
9. TREES MOST HEAVILY IMPACTED BY CONSTRUCTION ACTIVITIES SHOULD BE WATERED DEEPLY MAXIMUM TWICE A WEEK DURING PERIODS OF HOT AND DRY WEATHER. ALL OTHER TREES NOT IN THE CONSTRUCTION ZONE SHALL BE WATERED ONCE PER WEEK. TREE CROWNS SHOULD BE SPRAYED WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES. IF A TREE IS INDICATING SIGNS OF STRESS, CONTRACTOR SHALL CONTACT THE OWNER AND LANDSCAPE ARCHITECT IMMEDIATELY.
10. TRENCHING AROUND PROTECTED TREES FOR LANDSCAPE IRRIGATION, DRAINAGE, LIGHTING, ETC. SHALL BE DONE BY HAND AND LOCATED AS FAR FROM THE EXISTING TRUNKS AS POSSIBLE. DO NOT CUT ANY ROOTS LARGER THAN 2" DIA. WHEN DIGGING TRENCHES. TRENCHES SHALL RADIATE OUT FROM THE TRUNK.
11. PRUNING TO PROVIDE CLEARANCE FOR STRUCTURES, VEHICULAR TRAFFIC, AND EQUIPMENT SHALL TAKE PLACE BEFORE CONSTRUCTION BEGINS AND SHALL BE EXECUTED UNDER THE DIRECTION OF A LICENSED ARBORIST.

SITE DATA

A. SITE ADDRESS: 204 E GENEVA RD, WHEATON IL 60618
B. EXISTING PARCEL #: 05-06-102-110
C. EXISTING ZONING: C5
D. SITE ACREAGE: 0.8921 ACRE (38,148 SF)
E. EXISTING USE: PARKING LOT
F. EXISTING BUILDING HT: NONE
G. IMPERVIOUS SITE AREA: 20,608 SF
H. TOTAL SITE AREA: 38,148 SF

BUILDING REQUIREMENTS

A. LANDSCAPE BUFFERS:
A.A. FRONT: 15' BUFFER
A.B. SIDES: 12' BUFFER
A.C. REAR: 10' BUFFER

LANDSCAPE REQUIREMENTS

A. INTERIOR LANDSCAPING AREA (20 SF/STALL = 10%)
A.A. PARKING LOT AREA: 15,172 SF
A.B. REQUIRED INTERIOR LANDSCAPE: 1,517 SF
A.C. PROVIDED INTERIOR LANDSCAPE: 1,033 SF
B. TREE REQUIREMENTS (1 SHADE TREE PER 20 SPACES)
B.A. PARKING SPACES: 17
B.B. INTERIOR TREES PROVIDED: 3
C. LANDSCAPE ISLANDS.
C.A. INTERIOR ISLANDS: MIN 8' BOC TO BOC, 162 SF MIN

LANDSCAPE REQUIREMENTS

A. FRONT AND SIDE YARDS ADJACTING STREETS (A MINIMUM OF 75% OF THE REQUIRED)

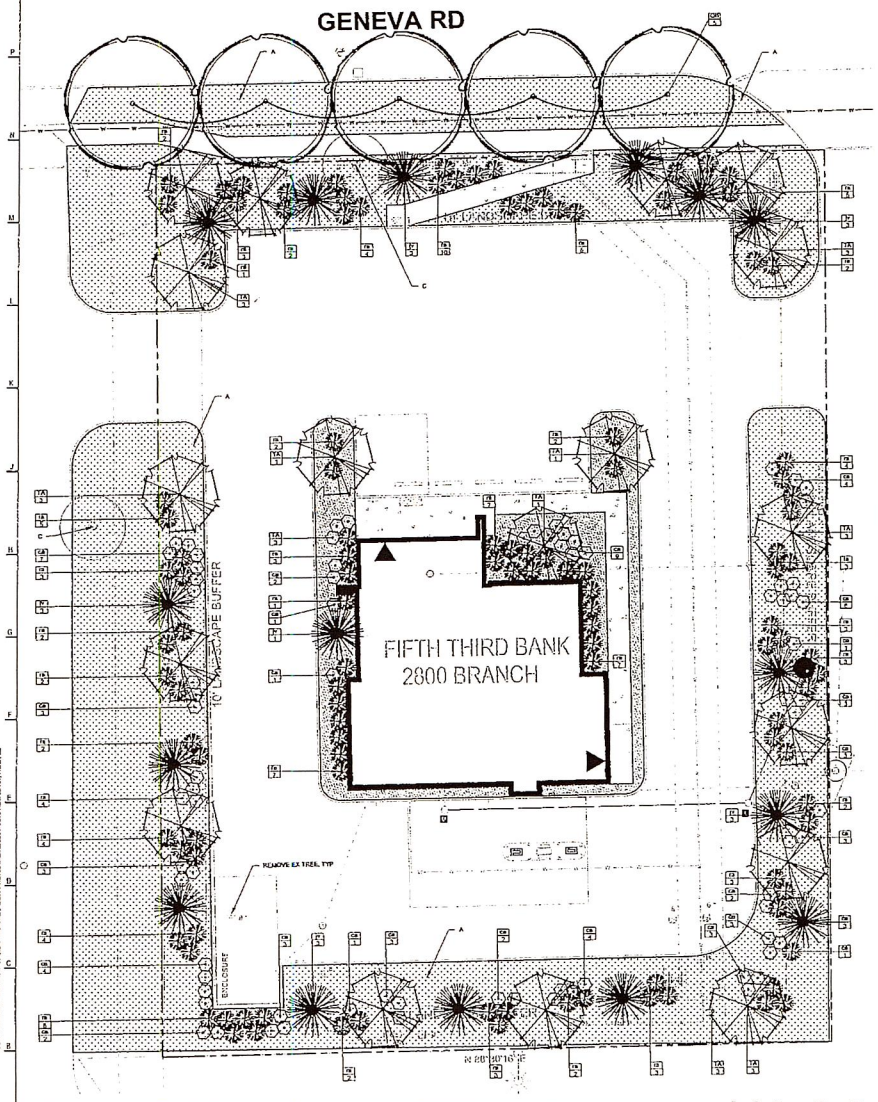
A.A.	FRONT BUFFER (2,213 SF X 75%)	1,660 SF
A.A.	EVERGREEN TREES (50%)	8
A.C.	SHADE TREES (50%)	8
A.D.	EVERGREEN SHRUBS (50%)	30
A.E.	DECIDUOUS SHRUBS (50%)	28

B. INTERIOR SIDE YARDS (A MINIMUM OF 60% OF THE REQUIRED)

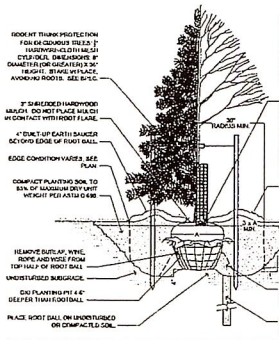
B.A.	LEFT SIDE BUFFER (1,774 SF X 50%)	887 SF
B.B.	EVERGREEN TREES (887 SF X 25%)	3
B.C.	SHADE TREES (25%)	3
B.D.	EVERGREEN SHRUBS (25%)	15
B.E.	DECIDUOUS SHRUBS (25%)	15
B.F.	RIGHT SIDE BUFFER (1,774 SF X 50%)	887 SF
B.G.	EVERGREEN TREES (887 SF X 25%)	3
B.H.	SHADE TREES (25%)	3
B.I.	EVERGREEN SHRUBS (25%)	15
B.J.	DECIDUOUS SHRUBS (25%)	15

C. REAR YARDS (A MINIMUM OF 60% OF THE REQUIRED)

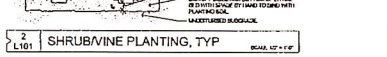
C.A.	REAR BUFFER (1,500 SF X 60%)	750 SF
C.B.	EVERGREEN TREES (750 SF X 25%)	3
C.C.	SHADE TREES (25%)	3
C.D.	EVERGREEN SHRUBS (25%)	13
C.E.	DECIDUOUS SHRUBS (25%)	13



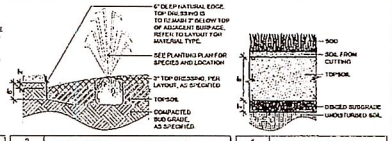
1 L101 PLANTING LAYOUT SCALE 1:10



1 L101 TREE PLANTING, TYP NTS



2 L101 SHRUB/VINE PLANTING, TYP SCALE: 1/2" = 1'-0"



3 L101 PLANTING EDGING, TYP NTS

4 L101 SOD, TYP NTS

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1400 W. DOROTHY LANE, DAYTON, OHIO 45429

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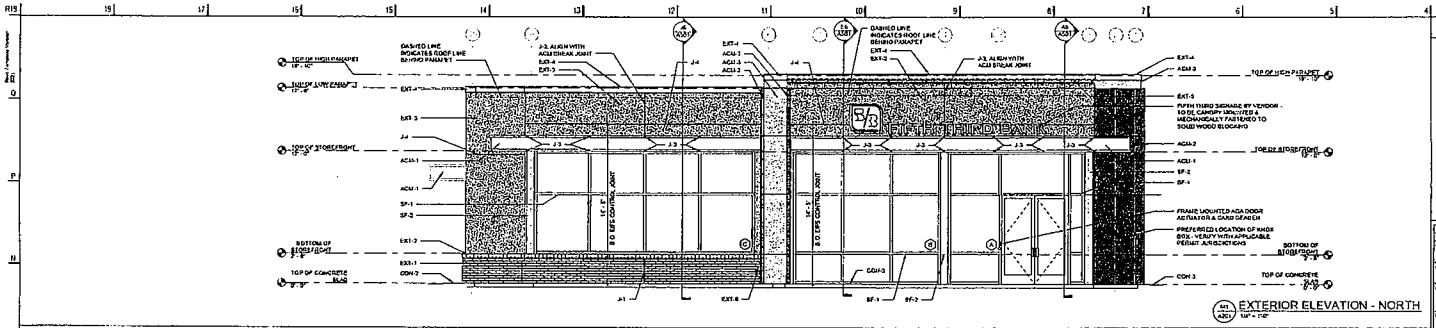
FIFTH THIRD BANK - WHEATON BRANCH
204 EAST GENEVA ROAD,
WHEATON, IL 60618
LANDSCAPE PLANTING PLAN

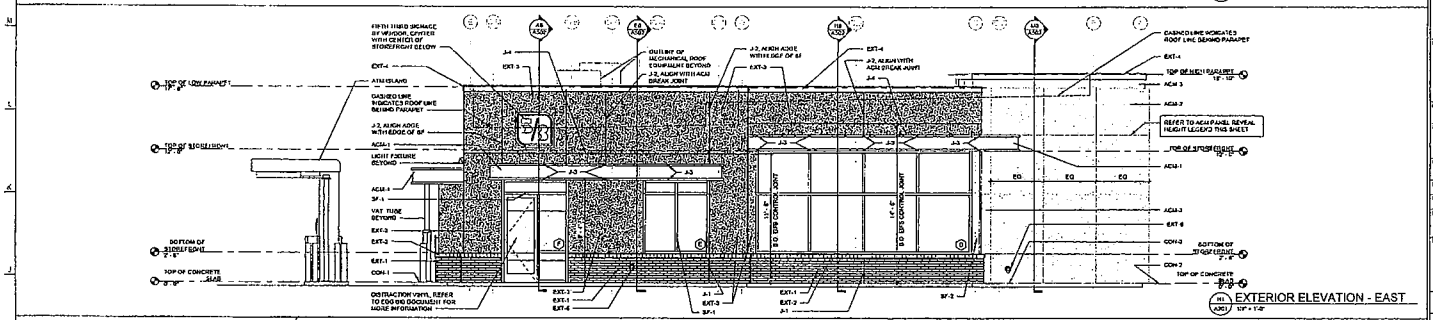
STATE OF OHIO
DEVON R. DALLINGER
NO. 10130190
LANDSCAPE ARCHITECT

Project Manager	AB
Drawn	DKD
Checked	AB
Drawing Date	11/22/2024
Project Number	240017.003

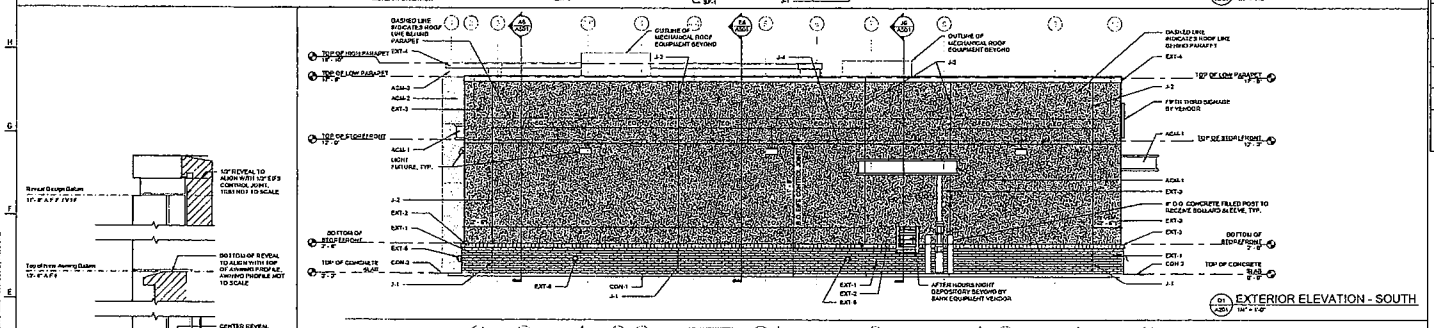
L101



EXTERIOR ELEVATION - NORTH



EXTERIOR ELEVATION - EAST



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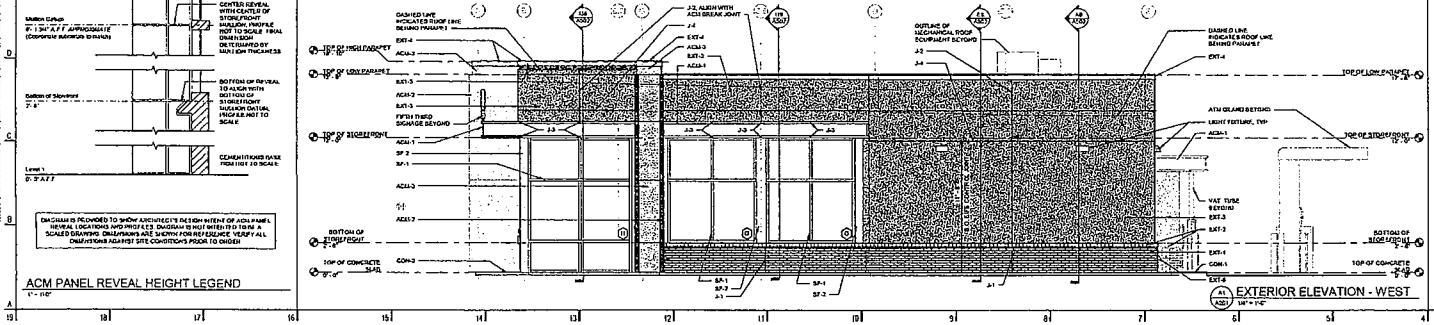

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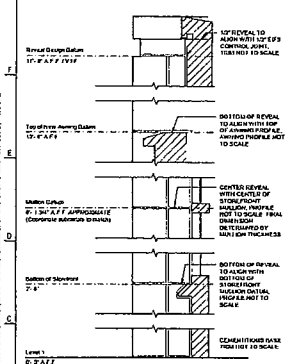


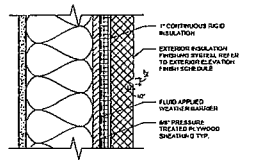
DIAGRAM IS PROVIDED TO SHOW ARCHITECT'S DESIGN INTENT OF ACM PANEL REVEAL LOCATIONS AND PROFILES. DIAGRAM IS NOT INTENDED TO BE A SCALED DRAWING. DIMENSIONS ARE SHOWN FOR REFERENCE. VERIFY ALL DIMENSIONS AGAINST SITE CONDITIONS PRIOR TO ORDER

ACM PANEL REVEAL HEIGHT LEGEND

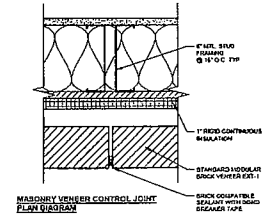
GENERAL ARCHITECTURAL EXTERIOR

A. ALL ACM PANELS MUST BE FLASHED BY 10 MINIMUM 18 GA METAL STUD FRAMING. REFER TO STRUCTURAL METAL STUDS FRAMING NOT BY CA SYSTEMS.
B. METAL STUDS MUST ALIGN WITH PANEL JOINTS AS REQUIRED FOR METAL COMPOSITE PANEL ATTACHMENT.
C. STUDS MUST ALIGN WITH ALL TO SUPPORT METAL COMPOSITE PANELS WHERE COMPOSITE SHEETS OR BUILDING WRAP GLASS MAT SHEATHING WILL NOT SUPPORT METAL COMPOSITE PANEL ATTACHMENT (SHEATHING NOT BY CA SYSTEMS).
E. ALL FLASTOICA FABRICATED FLASHING REQUIRED FOR METAL COMPOSITE PANEL DETAILS TO BE PRE-PRICED & ALWAYS ON DD TO MATCH EXTERIOR.
F. ALL DIMENSIONS AND QUANTITIES ARE TO BE FIELD VERIFIED PRIOR TO THE FABRICATION (RELEASE) OF ANY & ALL METAL COMPOSITE PANEL AND ASSOCIATED FLASHING.
G. ALL SHIPYARD ACM PANEL JOINTS TO HAVE BACKER ROD AND CAULK, APPLY DOWN PAST WOOD BLOCKING, TYP.
H. USE BACKER ROD AND CAULK AT ALL VERTICAL PANEL EXP. (MALE) CONDITIONS AT DISSIMILAR MATERIALS (E.G. STUCCO, WINDOW MULLIONS).
I. ALL SHIPYARD ACM PANEL JOINTS TO HAVE BACKER ROD AND CAULK, APPLY DOWN PAST WOOD BLOCKING, TYP. USE BACKER ROD AND CAULK AT ALL VERTICAL PANEL EXP. (MALE) JOINT CONDITIONS AT DISSIMILAR MATERIALS (E.G. STUCCO, WINDOW MULLIONS).
J. REQUIRED ARCHITECTURAL SPECIAL INSPECTIONS
a. ACM
b. MEM
c. EIFS

ITEM	EXTERIOR FINISH	MANUFACTURER	COLOR	COMMENTS
ACM-1	OUTSIDE RIB PANEL	ARCONIC ARCHITECTURE PRODUCTS, LLC	CLEAR ANODIZED ALUMINUM PANEL	COLOR MATCH SW 7047 / 234-C3
ACM-2	ALUMINUM COMPOSITE METAL PANEL	ARCONIC ARCHITECTURE PRODUCTS, LLC	REVYNOCHRO DURACLAD 3000 CUSTOM DARK BLUE	-
ACM-3	ALUMINUM COMPOSITE METAL PANEL	ARCONIC ARCHITECTURE PRODUCTS, LLC	REVYNOCHRO DURACLAD 3000 CUSTOM BARK STEAK	-
CON-1	6" CONCRETE CURB - HOLD	-	-	AS REQUIRED BY BANKING TRANSACTION EQUIPMENT CUT SHEETS - COORDINATE WITH CIVIL DRAWINGS
CON-2	POSITIVE SLOPE CONCRETE, SIDEWALK	-	-	ENSURE CONCRETE SLOPES AWAY FROM BUILDING AND COMPLIES TO CIVIL REQUIREMENTS FOR ADA ACCESSIBILITY AS INDICATED ON CIVIL DRAWINGS
CON-3	GROUND LIGHTS	-	-	REFER TO CIVIL AND ELECTRICAL DRAWINGS
EXT-1	STANDARD MODULAR BRICK WITH ROLLOCK COURSE	ACME BRICK	SLATE GRAY	VERIFY BY NATIONAL CEMENT OF ALABAMA USE COOSE "SOLID LINE PUTTY" DOS 0M
EXT-2	CUT MODULAR BRICK OR WATERTABLE	ACME BRICK	SLATE GRAY	MATCH EXT-1 MORTAR
EXT-3	EIFS BARRIER SYSTEM	DRYVIT (FINE FINISH)	ARTHOUSE WHITE	2" EIFS SYSTEM - TYPICAL WALL
EXT-4	PRE-FINISHED METAL COPING	PAC-CLAD PETERSON	CLEAR ANODIZED ALUMINUM COPING	-
EXT-5	ALUMINATED LED STRIP	-	GREEN LIGHT	LED STRIP PLACED UNDER/BEHIND METAL COPING PER SECTION DETAIL
EXT-6	LANDS TONGUE DOWNSPOUT	-	GEZINCO IN PLUMBING DRAWINGS	REFER TO SP. AWNING SECONDARY OVERFLOW (SEAMLESS, HO GEO GAUGE AS CLEAR FACING SPACES
J-1	3/8" MASONRY EXPANSION JOINT	-	MATCH MORTAR COLOR	NO SPAN OF MASONRY GREATER THAN 18'0"
J-2	10" EIFS CONTROL JOINT	-	MATCH EIFS COLOR	CENTER EIFS JOINT PROFILE WITH CAULKING, NO SPAN GREATER THAN 15'0"
J-3	ALUMINUM COMPOSITE METAL PANEL BREAK JOINT	ARCONIC ARCHITECTURE PRODUCTS, LLC	-	COORDINATE WITH SOFFIT CONTROL JOINTS AS SHOWN ON PDP
J-4	1/2" EIFS CONTROL JOINT WITH "V" REVEAL	CLASSIC DETRACK OR APPROVED EQUAL	-	COORDINATE WITH STRUCTURAL DRAWINGS
SF-1	ALUMINUM STOREFRONT SYSTEM	KAWNEER	CLEAR ANODIZED ALUMINUM	-
SF-2	ALUMINUM SHAKE METAL FLASHING FOR ALUMINUM STOREFRONT SYSTEM	-	CLEAR ANODIZED ALUMINUM	MATCH FINISH WITH ALUMINUM STOREFRONT SYSTEM



EXTERIOR INSULATION FINISHING SYSTEM CONTROL JOINT PLAN & SECTION DIAGRAM



MASONRY VENEER CONTROL JOINT PLAN DIAGRAM

EXTERIOR CONTROL JOINT DIAGRAMS

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FIFTH THIRD BANK - WHEATON - 2800 PROTOTYPE
NEW CONSTRUCTION
204 E. GENEVA ROAD
WHEATON, IL 60187
EXTERIOR ELEVATIONS

REGISTERED ARCHITECT
MARCUS M. SCHUTZER
021-019278
STATE OF ILLINOIS

M. ASCHENBACHER-SMITH
E. MAYER
J. VARLIS
11.19.2024

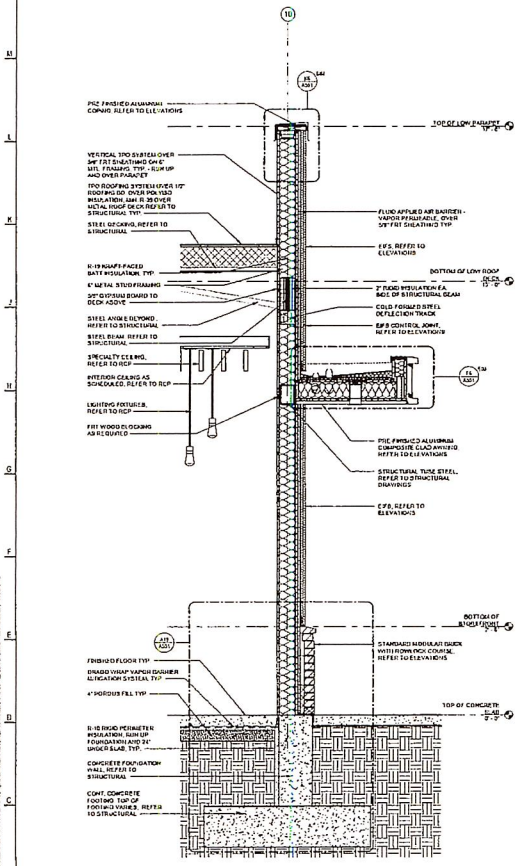
FIF21 93

A201

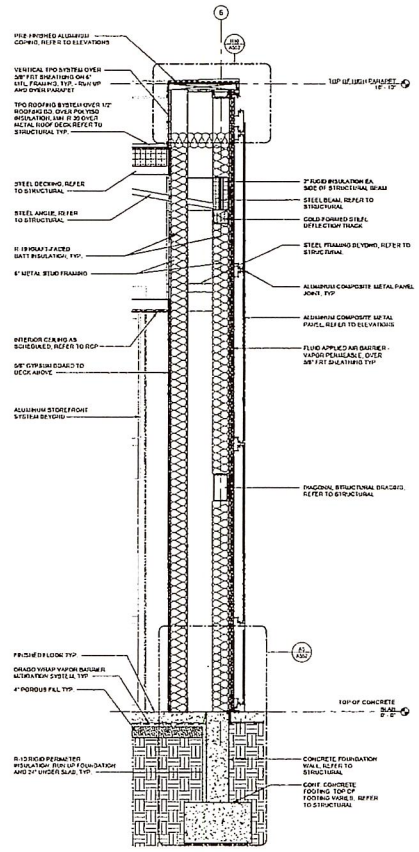
1 11.19.2024 EDG PERMIT SET
2 12.20.2024 EDG PERMIT RESUBMIT

11.19.2024 10:29:28 AM

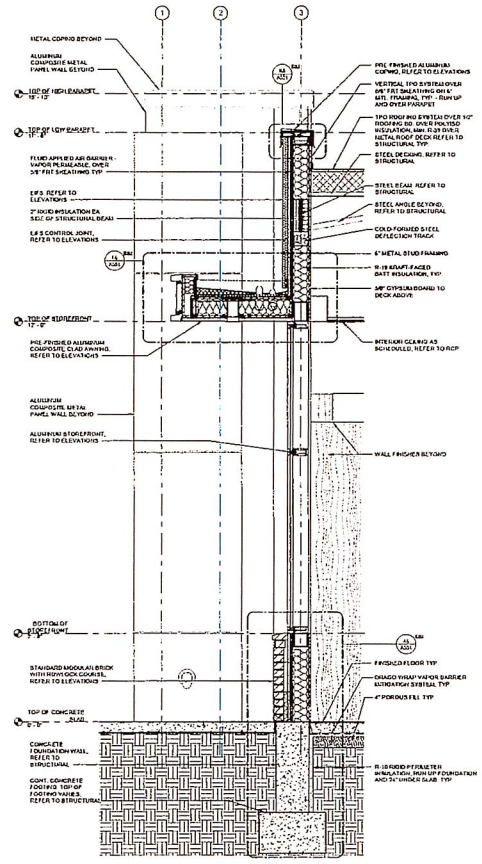
Autodesk Docs://FIF21 93 R Wheaton IL/FIF21 93 - 2800 Wheaton IL - CFM - ARCH - R24.rvt — 11/22/2024 1:14:45 PM



A12 / A512 WALL SECTION - EAST CANOPY
3/4" = 1'-0"



A12 / A512 WALL SECTION - WING WALL
3/4" = 1'-0"



A1 / A512 WALL SECTION - WEST CANOPY
3/4" = 1'-0"

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No.	Date	Description
1	11.14.2024	RFI & INTENT SET
A	11.19.2024	NON COMMENT REVIEW SET

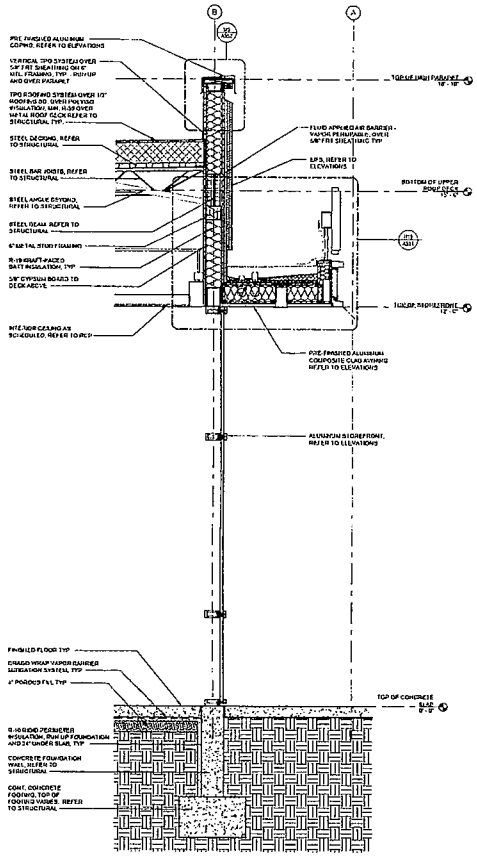
BHDP ARCHITECTURE
CINCINNATI
DALLAS
DAYTON
NASHVILLE
PITTSBURGH
PORTLAND
PORTSMOUTH
BHDP
THE BLENKINSOPP GROUP
SCHAESTER
HEADY ENGINEERING
6219 CENTRE PARK DRIVE, WEST CHESTER TOWNSHIP, OH 45069
537 EAST PETE ROSE WAY, SUITE 400, CINCINNATI, OH 45202
1425 WEST DORSHIMER LANE, DAYTON, OHIO 45409

FIFTH THIRD BANK - WHEATON - 2830 PROTOTYPE
NEW CONSTRUCTION
2830 E. ROOSEVELT ROAD
WHEATON, IL 60187
EXTERIOR WALL SECTIONS

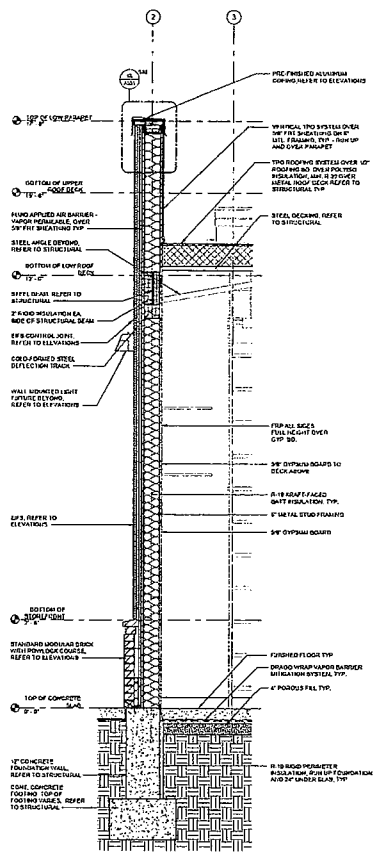
REGISTERED ARCHITECT
MELISSA M. ASCHBACHER-SMITH
IL 001-016774
STATE OF ILLINOIS
11/19/2024

M ASCHBACHER-SMITH
E MEIER
J WELLIS
11.19.2024
F6221.93

A512



A18/A513 WALL SECTION - STOREFRONT @ CANOPY MOUNTED SIGNAGE
3/4" = 1'-0"



A13/A513 WALL SECTION - TYPICAL FINISHES
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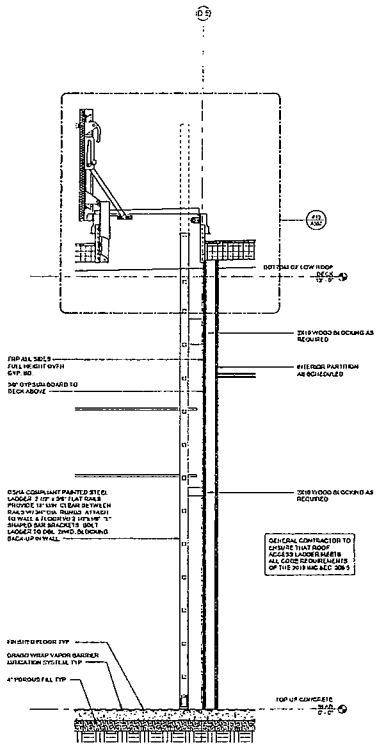

A7/A513 WALL SECTION - ROOF ACCESS
3/4" = 1'-0"

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CO-DEVELOPER
HEAPY ENGINEERING

CITI CENTRE PARK DRIVE, WEST DIRECTOR TOWNSHIP, OH 43063
CITI CENTRE PARK DRIVE, WEST CARROLLTON, OH 45449
1400 WEST DORSEY LANE, DAYTON, OHIO 45449

1. BID & PERMIT SET
2. 90% CONSTRUCTION DOCUMENTS
No. Issue/Revision Date
11.15.2024
11.19.2024

RIFTH THIRD BANK - WHEATON - 2800 PROTOTYPE
NEW CONSTRUCTION
264 E GENEVA ROAD
WHEATON, IL 60187

EXTERIOR WALL SECTIONS

REGISTERED ARCHITECT
CHARLES E. SCHUTZER
001-013718
STATE OF ILLINOIS

M. ASCHBACHER-SMITH
E. MILLER
J. WILLIS
11.19.2024

FB 21.93

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