

ORDINANCE NO. O-2024-31

AN ORDINANCE GRANTING A REZONING AND A SPECIAL USE PERMIT FOR A PLANNED UNIT DEVELOPMENT, WITH EXCEPTIONS, TO ALLOW THE CONVERSION OF THE TWO EXISTING OFFICE BUILDINGS INTO RENTAL APARTMENTS AT 100 W. ROOSEVELT ROAD - ISLANDER LLC

WHEREAS, written application has been made requesting a rezoning and a special use permit for a planned unit development, with exceptions, to allow the conversion of the two existing office buildings into rental apartments with twelve, 1 bed/ 1 bath units and ten, 2 bed/ 2 bath units, totaling 22 units, and 38 surface parking spaces, all on certain property legally described herein and commonly known as 100 W. Roosevelt Road, Wheaton, Illinois 60187; and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on October 22, 2024, to consider the rezoning and special use permit for a planned unit development request; and the Planning and Zoning Board has recommended approval of the request; and

WHEREAS, with respect to rezoning the property from the O-R Office Research District to the R-5 Residential District, the City Council, based on the entire public record, as well as the City Council's knowledge of the history of the City and the Roosevelt Road Corridor, makes the following findings of fact and draws the following legislative conclusions:

1. For the zoning factors commonly known as the "LaSalle Factors," the City Council concludes that:
 - A. The plans illustrate a high value and quality development which is a factor in determining whether the Development will cause a diminution in this property and other property values.
 - B. The council has concluded that adjacent property values will not be diminished based on the rationale set forth in Section 1A above.
 - C. The council finds for all the reasons set forth in the public record and this ordinance that the Subject Property is no longer suitable for the zoned purpose as an office building.
 - D. The majority of the two existing office buildings has been substantially vacant for many years; and

WHEREAS, the Illinois Supreme Court has determined no single factor is controlling in determining rezoning under the LaSalle Factors. *LaSalle National Bank vs. Cook County*, 12 Ill.2d 40, 145 N.E.2d 65 (1957).

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, DuPage County, Illinois, pursuant to its home rule powers, as follows:

Section 1: The foregoing recitals are incorporated herein as if fully set forth as substantive provisions, factual and legislative findings and representing the intent of this ordinance.

Section 2: Pursuant to the findings of fact made and determined by the Wheaton City Council with respect to the LaSalle Factors, the Zoning Map which is attached to and forms a part of the City Zoning Ordinance is amended by removing the subject property described below from the O-R Office Research Zoning classification and rezoning it to R-5 Residential District and adding it to the Zoning Map as part of the R-5 Residential Zoning classification:

UNITS A-1, A-2, A-3, A-4, B-1, B-2, B-3, AND B-4 IN PARK PLACE OFFICE CONDOMINIUM, AS DELINEATED ON A SURVEY OF THE FOLLOWING DESCRIBED REAL ESTATE: CERTAIN LOTS IN MILTON TOWNSHIP SUPERVISOR'S ASSESSMENT PLAT NO. 3 IN SECTIONS 20 AND 21, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 15, 1944 AS DOCUMENT 461083 AND CERTAIN LOTS IN FAIRWAY UNIT NUMBER ONE, BEING SUBDIVISION OF PART OF THE NORTHWEST $\frac{1}{4}$ OF SECTION 21, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 3, 1946 AS DOCUMENT 497155, BOTH IN DUPAGE COUNTY, ILLINOIS, WHICH SURVEY IS ATTACHED AS EXHIBIT "C" TO THE DECLARATION OF CONDOMINIUM AS DOCUMENT R-83-33352, TOGETHER WITH IT UNDIVIDED PERCENTAGE INTEREST IN THE COMMON ELEMENTS. P.I.N. 05-21-117-005

The subject property is commonly known as 100 W. Roosevelt Road, Wheaton, IL 60187.

Section 3: Pursuant to the findings of fact made and determined by the Wheaton City Council, the request meets the Planned Unit Development Public Benefit standards as outlined in 5.11.C of the Wheaton Zoning Ordinance and the Special Use Permit for a Planned Unit Development is hereby approved in full compliance with the following plans: "Site Plan", Weaver Consultants Group, Naperville, IL, dated September 25, 2024, sheet 1 of 1; "Preliminary Engineering and Preliminary Landscape Plan" Weaver Consultants Group, Naperville, IL, dated October 15, 2024, sheets C-1, C-2, C-3, C-4, C-5, C-6, C-7, L-1; and "Floor Plans", Weaver Consultants Group, Naperville, IL, dated September 25, 2024, sheets 1-5; are incorporated herein as fully set forth in Exhibit A.

Section 4: The Special Use Permit shall be subject to the following conditions and requirements:

1. The applicant shall install screening of the HVAC units, subject to the approval of the Director of Planning and Economic Development.
2. The preliminary engineering plan shall be subject to further staff review prior to the issuance of a site development permit.
3. The proposed privacy fence along the west property line adjacent to the existing residence at 119 W. Park Avenue shall be 8 feet tall with the remainder of the privacy fence adjacent to the existing office use at 106 W. Roosevelt Road being 6 feet tall.
4. The proposed dumpster enclosure and patio/ grilling area along the west property line shall be moved further north to create a buffer from the adjacent single-family use at 119 W. Park Avenue.
5. A 20 foot x 10 foot sidewalk easement shall be granted in the northeast corner of the property as shown on Exhibit A.

Section 5: The above conditions are hereby made part of the terms under which the Special Use for a Planned Unit Development is granted. Violation of any or all of such conditions shall be deemed a

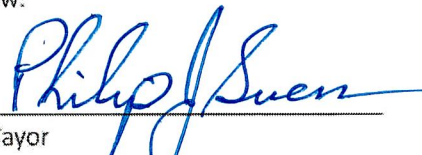
violation of the Wheaton Zoning Ordinance, the penalty for which may include, but is not limited to, a fine and/or revocation of the Special Use granted herein.

Section 6: As part of the Special Use Permit for a Planned Unit Development, the following exceptions to the Wheaton Zoning Ordinance are granted:

1. Per Article 11.2.2c - A lot size of 2,915 square feet per unit in lieu of the permitted 3,000 square feet per unit (i.e. 22 units in lieu of the permitted 21 units).
2. Per Article 2, Usable Open Space Definition - Open space (contiguous to and provided for private usage of the individual dwelling units) of 0.0 square feet in lieu of the required 70.0 square feet.
3. Per Article 6.6.2b.1a - A western parking lot perimeter landscape setback of 10.0 feet in lieu of the required 15.0 feet.
4. Per Article 22.5.13 - Parking of 38 spaces in lieu of the required 50 spaces.

Section 7: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 8: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.



Mayor

ATTEST: 

City Clerk

Roll Call Vote:

Ayes:	Councilman Brown
	Mayor Suess
	Councilman Clousing
	Councilwoman Robbins
	Councilman Weller
	Councilman Barbier
	Councilwoman Bray-Parker

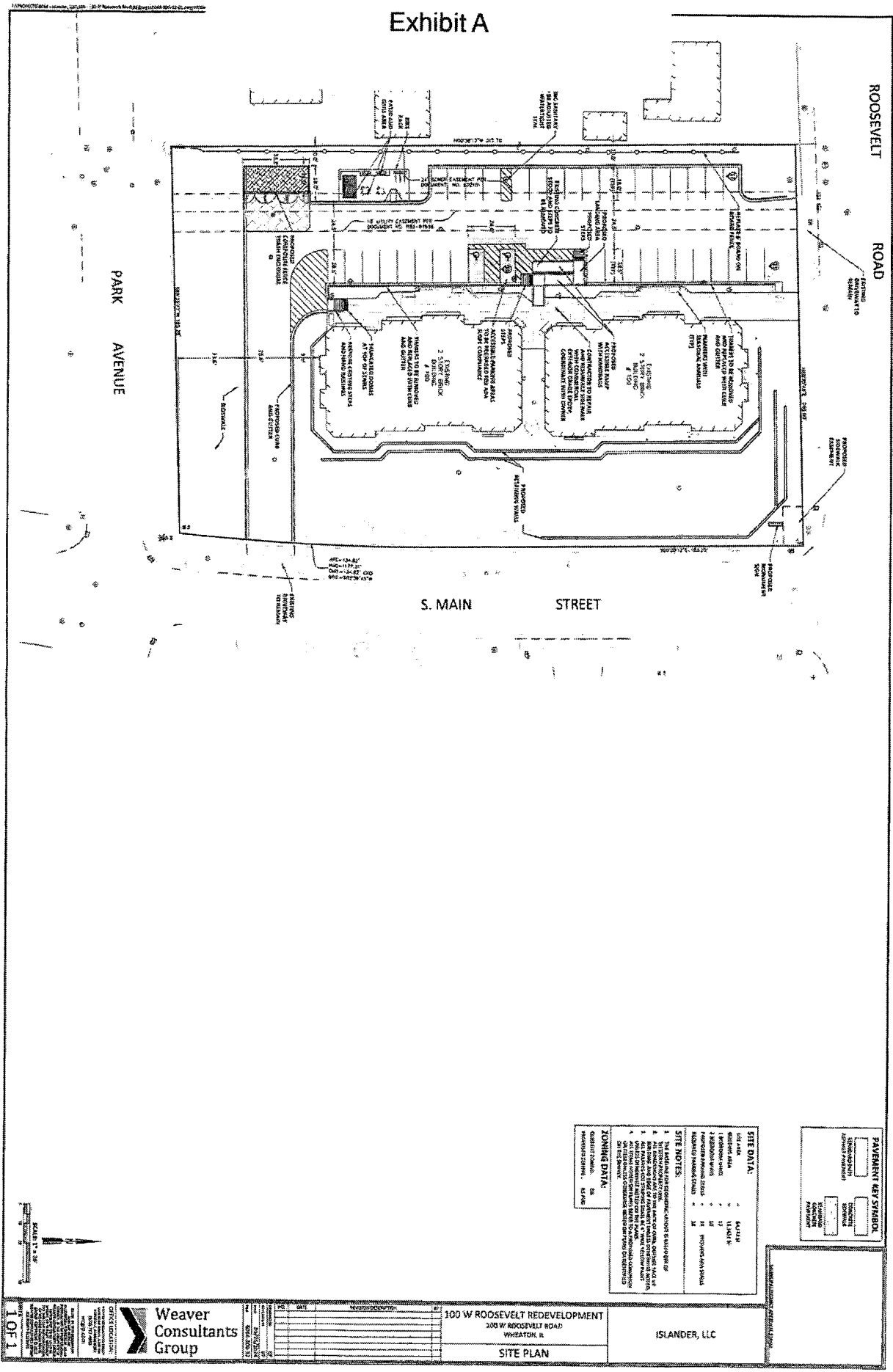
Nays:	None
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Absent:	None
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Motion Carried Unanimously

Passed: November 18, 2024
Published: November 19, 2024

Exhibit A



PAVEMENT KEY SYMBOL

[Symbol]	CONCRETE
[Symbol]	ASPHALT
[Symbol]	GRAVEL
[Symbol]	STONE

SITE DATA

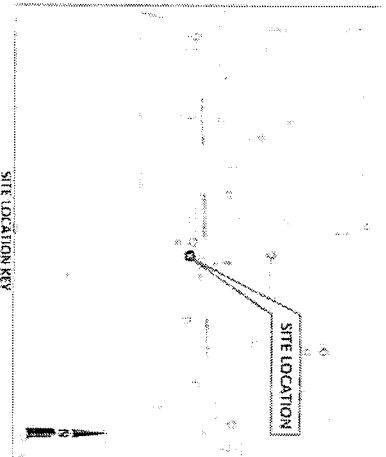
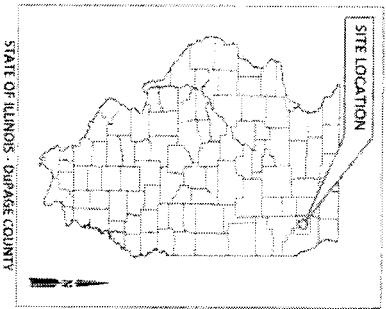
EXISTING AREA	64,141.0
1. PROPOSED AREA	11,141.0
2. EXISTING AREA	53,000.0
3. EXISTING AREA	53,000.0
4. EXISTING AREA	53,000.0
5. EXISTING AREA	53,000.0

SITE NOTES

1. THE SITE IS A REDEVELOPMENT OF AN EXISTING INDUSTRIAL SITE.
2. THE PROPOSED DEVELOPMENT IS A MIXED-USE DEVELOPMENT.
3. THE PROPOSED DEVELOPMENT IS A MIXED-USE DEVELOPMENT.
4. THE PROPOSED DEVELOPMENT IS A MIXED-USE DEVELOPMENT.
5. THE PROPOSED DEVELOPMENT IS A MIXED-USE DEVELOPMENT.

100 W ROOSEVELT REDEVELOPMENT

PRELIMINARY CIVIL ENGINEERING PLANS 100 W ROOSEVELT ROAD WHEATON, ILLINOIS 60187



STATE OF ILLINOIS - DUPAGE COUNTY

WHEATON, IL

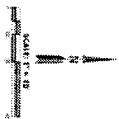
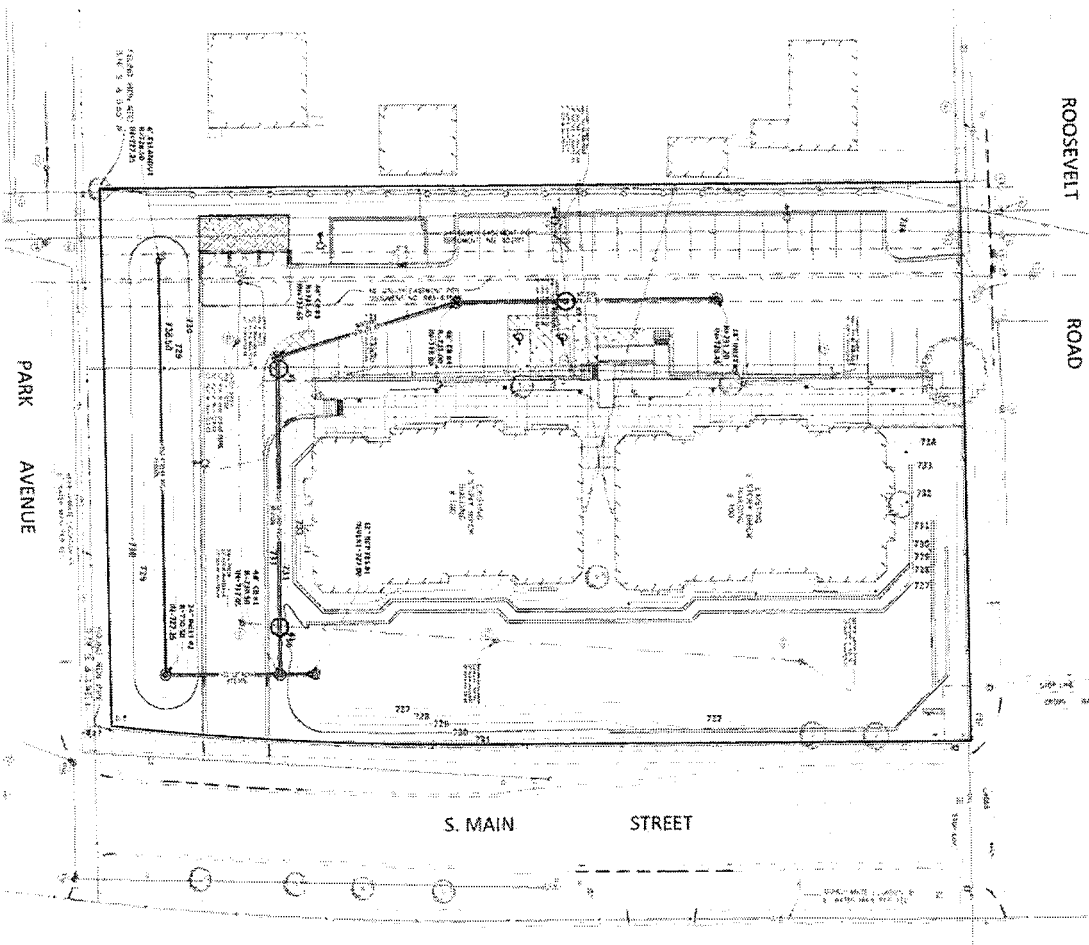
DESIGN TEAM

CITY & UTILITY

CONTACT INFORMATION PROJECT MANAGER THE PROJECT MANAGER 1116 WILSON STREET, SUITE 200 CHICAGO, IL 60604 (312) 224-1000	OWNER WHEATON COMMUNITAS GROUP 1116 WILSON STREET, SUITE 200 CHICAGO, IL 60604 (312) 224-1000	CITY OF WHEATON 1116 WILSON STREET, SUITE 200 CHICAGO, IL 60604 (312) 224-1000
DESIGNER WEAVER CONSULTANTS GROUP 1116 WILSON STREET, SUITE 200 CHICAGO, IL 60604 (312) 224-1000	ENGINEER WHEATON COMMUNITAS GROUP 1116 WILSON STREET, SUITE 200 CHICAGO, IL 60604 (312) 224-1000	UTILITY WHEATON COMMUNITAS GROUP 1116 WILSON STREET, SUITE 200 CHICAGO, IL 60604 (312) 224-1000

SHEET NO.	SHEET NAME
C-1	GENERAL NOTES
C-2	EXISTING UTILITIES & EGRESS
C-3	PROPOSED UTILITIES & EGRESS
C-4	GEOMETRIC PLAN
C-5	SEWERING & STORM WATER MAIN
C-6	WATER MAIN
C-7	WATER MAIN
C-8	WATER MAIN
C-9	WATER MAIN
C-10	WATER MAIN

SURVEY INFORMATION: SURVEYED BY: [Name] DATE: [Date] METHOD: [Method]	REFERENCE INFORMATION: [Reference text]
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UTILITY NOTES:

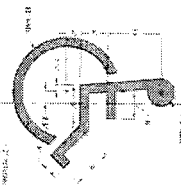
1. EXISTING UTILITIES SHOWN FOR REFERENCE ONLY. NEW UTILITIES SHOWN IN THIS PLAN.
2. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
3. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
4. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
5. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
6. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
7. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
8. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
9. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
10. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.

UTILITY LEGEND:

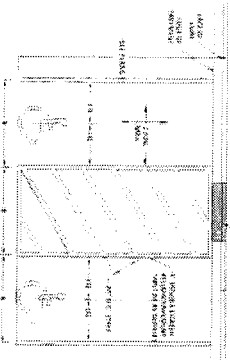
- 1. WATER
- 2. SEWER
- 3. GAS
- 4. STORMWATER
- 5. ELECTRICITY
- 6. TELEPHONE
- 7. CABLE
- 8. FIBER OPTIC
- 9. RAILROAD
- 10. AIRCRAFT

UTILITY CROSSING TABLE

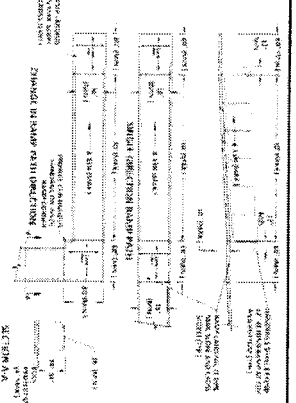
UTILITY CROSSING	CROSSING TYPE	CROSSING ELEVATION	CROSSING WIDTH
1. WATER	UNDERPASS	72.0	10.0
2. SEWER	UNDERPASS	71.5	10.0
3. GAS	UNDERPASS	71.0	10.0
4. STORMWATER	UNDERPASS	70.5	10.0
5. ELECTRICITY	UNDERPASS	70.0	10.0
6. TELEPHONE	UNDERPASS	69.5	10.0
7. CABLE	UNDERPASS	69.0	10.0
8. FIBER OPTIC	UNDERPASS	68.5	10.0
9. RAILROAD	UNDERPASS	68.0	10.0
10. AIRCRAFT	UNDERPASS	67.5	10.0



ACCESSIBLE PARKING STALL - MINIMUM CLEARANCE



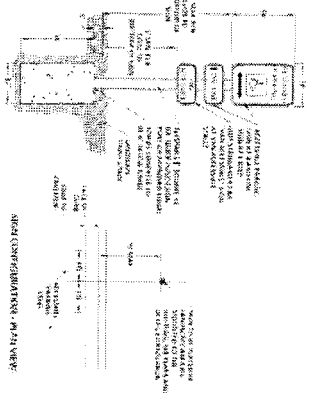
ACCESSIBLE PARKING STALL - 30' X 6' & 2'



ACCESSIBLE PARKING STALL - 30' X 6' & 2'

ITEM	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	30' X 6' ACCESSIBLE PARKING STALL	1	SQ. FT.	10.00	10.00
2	5' X 8' VAN SPACE	1	SQ. FT.	5.00	5.00
3	5' X 5' WHEELCHAIR SPACE	1	SQ. FT.	5.00	5.00
4	1' X 6' SIDEWALK	1	SQ. FT.	1.00	1.00
5	1' X 6' SIDEWALK	1	SQ. FT.	1.00	1.00
6	1' X 6' SIDEWALK	1	SQ. FT.	1.00	1.00
7	1' X 6' SIDEWALK	1	SQ. FT.	1.00	1.00
8	1' X 6' SIDEWALK	1	SQ. FT.	1.00	1.00
9	1' X 6' SIDEWALK	1	SQ. FT.	1.00	1.00
10	1' X 6' SIDEWALK	1	SQ. FT.	1.00	1.00

PARKING STALL - 30' X 6' & 2'



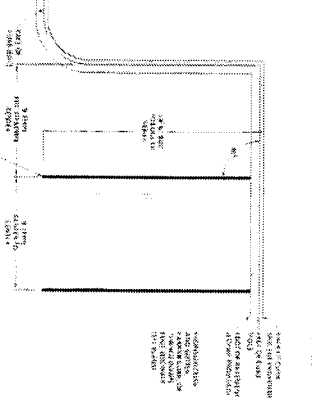
ACCESSIBLE PARKING STALL - 30' X 6' & 2'



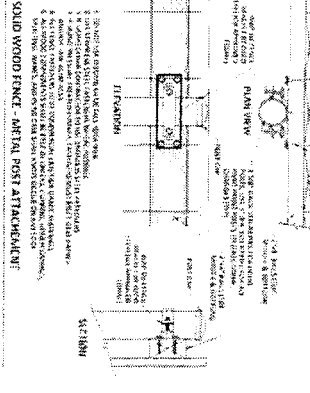
ACCESSIBLE PARKING STALL - 30' X 6' & 2'



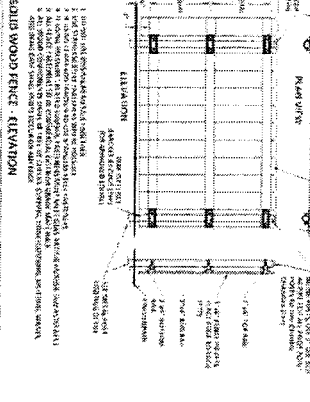
ACCESSIBLE PARKING STALL - 30' X 6' & 2'



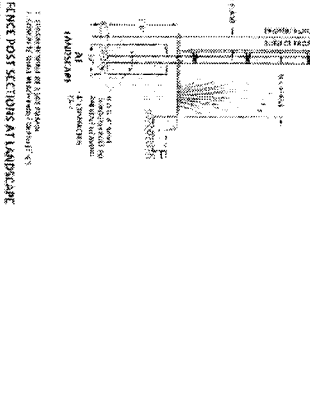
ACCESSIBLE PARKING STALL - 30' X 6' & 2'



ACCESSIBLE PARKING STALL - 30' X 6' & 2'



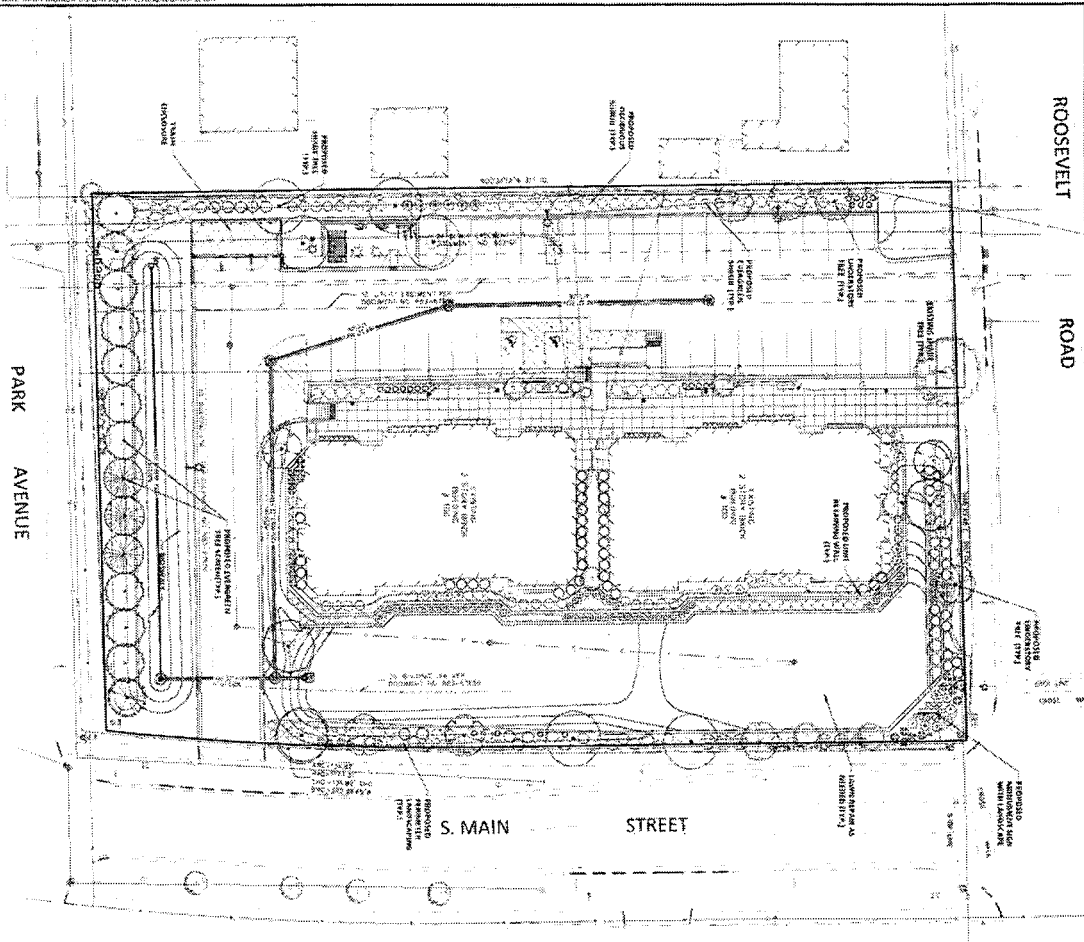
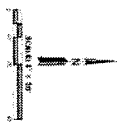
ACCESSIBLE PARKING STALL - 30' X 6' & 2'

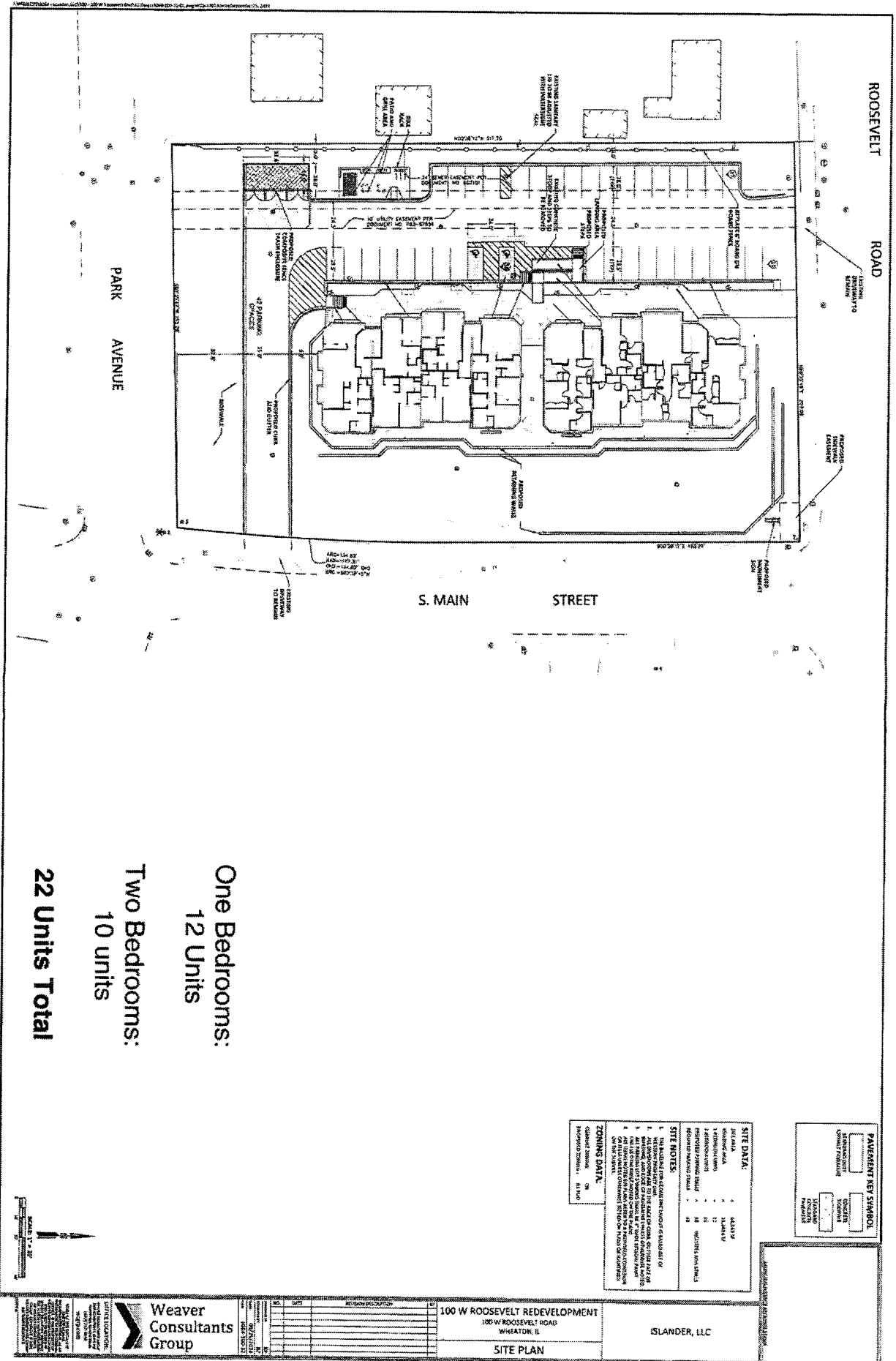


ACCESSIBLE PARKING STALL - 30' X 6' & 2'



ACCESSIBLE PARKING STALL - 30' X 6' & 2'

[illegible]



One Bedrooms:
 12 Units
 Two Bedrooms:
 10 units
 22 Units Total

PAVEMENT KEY SYMBOL

STANDARD	CONCRETE
GRAVEL	ASPHALT
GRAVEL	GRAVEL
GRAVEL	GRAVEL

SITE DATA:

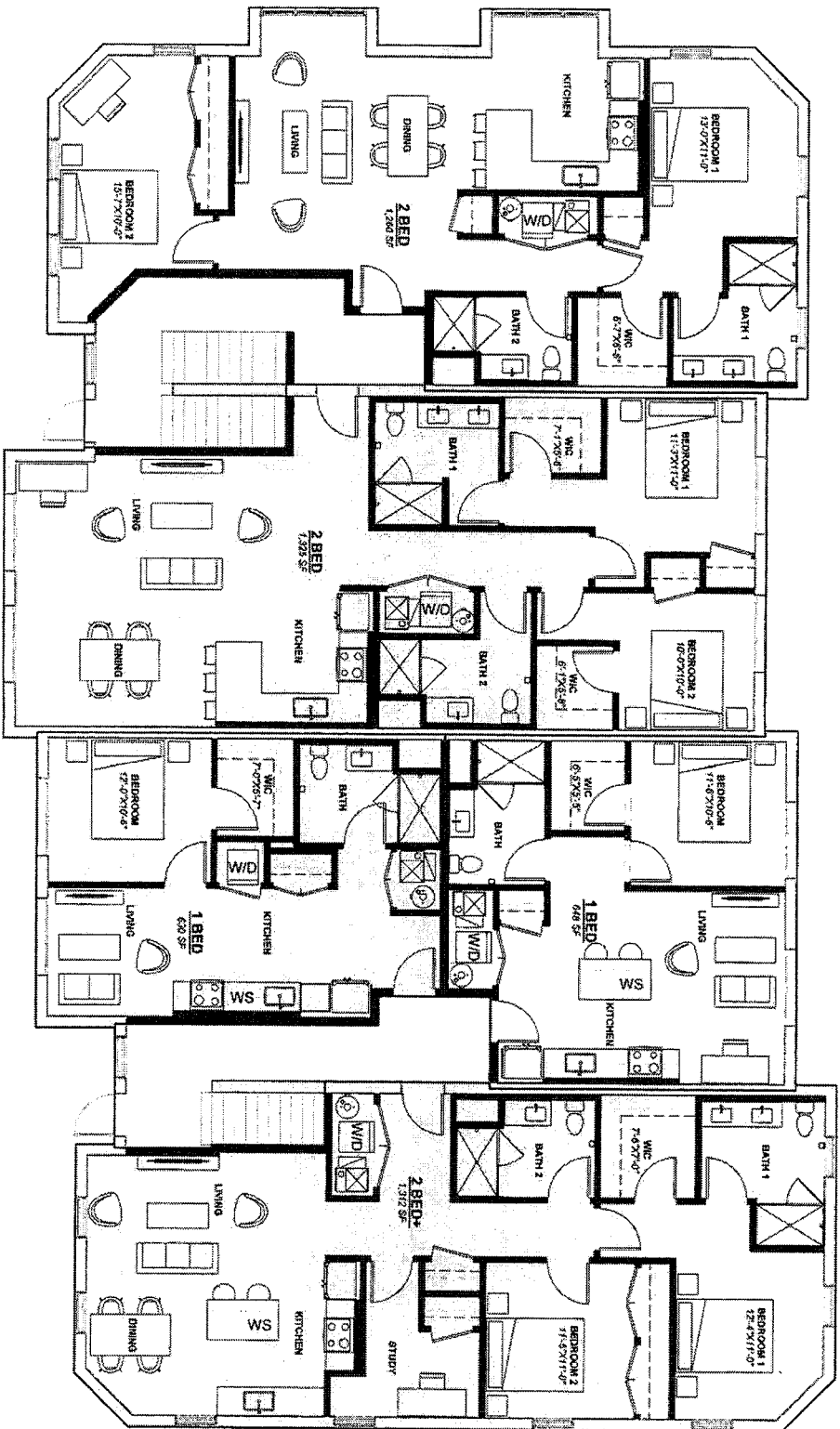
1. TOTAL AREA	5.00 AC.
2. BUILDING AREA	12,000 SQ. FT.
3. PARKING AREAS	12,000 SQ. FT.
4. TOTAL PARKING AREAS	12,000 SQ. FT.
5. TOTAL PARKING AREAS	12,000 SQ. FT.

NOTES:

1. THIS SITE PLAN IS A PRELIMINARY DESIGN AND IS SUBJECT TO APPROVAL BY THE CITY OF CHICAGO.
2. THE BUILDING AREA IS BASED ON THE ASSUMPTION THAT THE BUILDING WILL BE A SINGLE STORY BUILDING.
3. THE PARKING AREAS ARE BASED ON THE ASSUMPTION THAT THE PARKING WILL BE A SINGLE STORY PARKING LOT.
4. THE TOTAL PARKING AREAS ARE BASED ON THE ASSUMPTION THAT THE PARKING WILL BE A SINGLE STORY PARKING LOT.
5. THE TOTAL PARKING AREAS ARE BASED ON THE ASSUMPTION THAT THE PARKING WILL BE A SINGLE STORY PARKING LOT.

ZONING DATA:

1. ZONING DISTRICT	RM-100
2. ZONING DISTRICT	RM-100

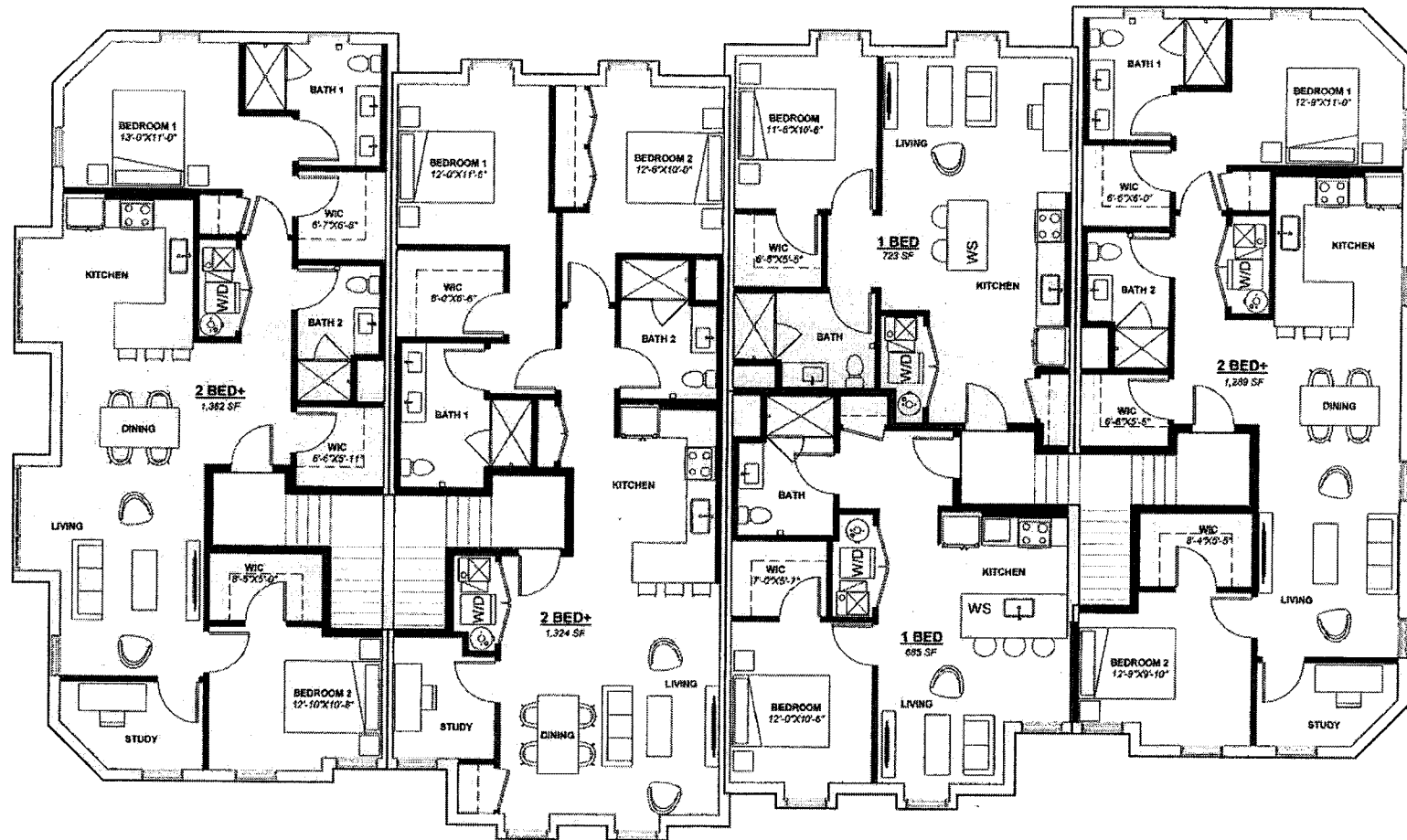


LEVEL 01

100 W Roosevelt Road 24043 PR-01

Architect: Bruce J. August 23, 2024

3

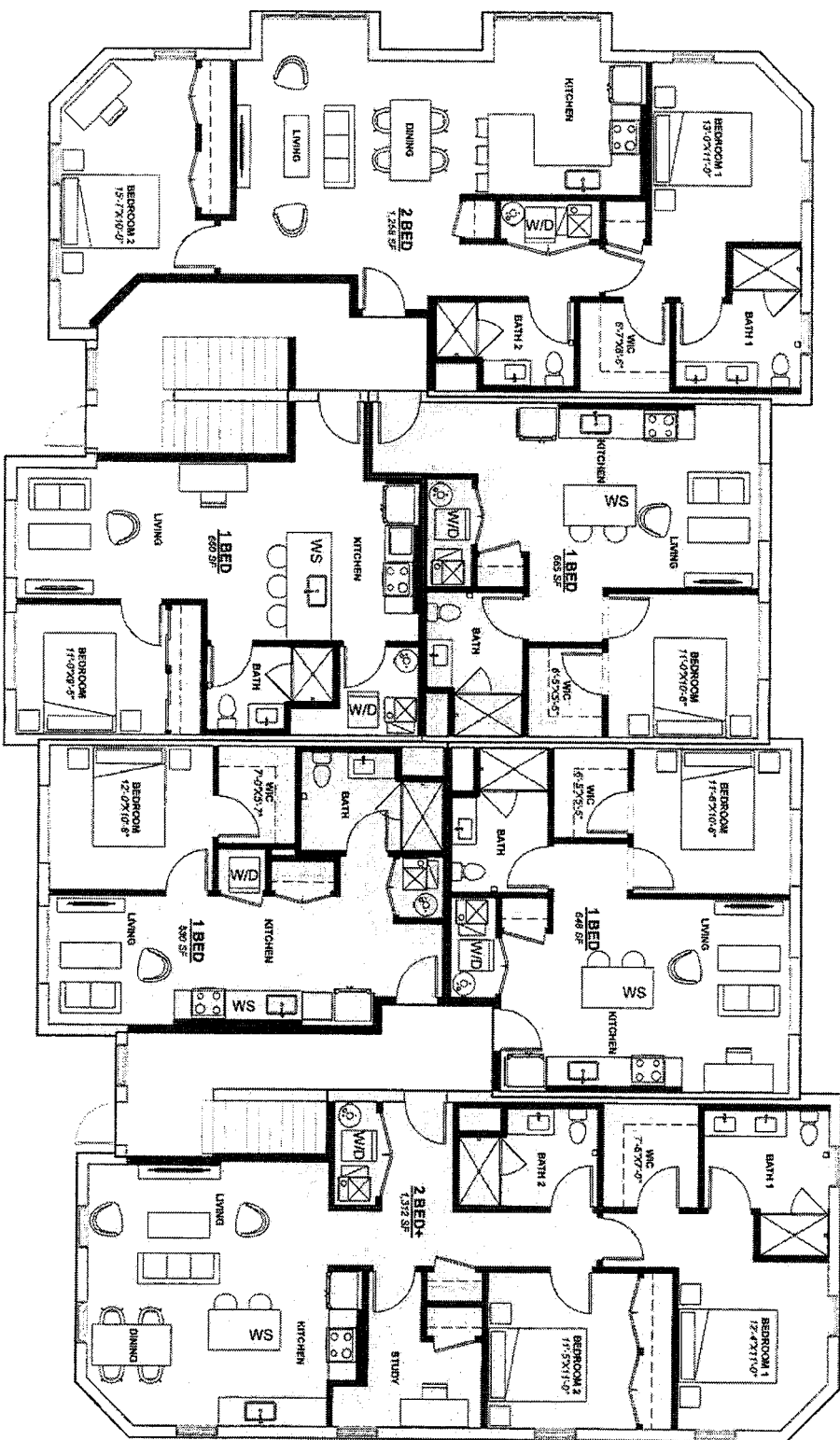


LEVEL 02

FitzGerald

100 W Roosevelt Road 24043 PR-02

Wheaton, Illinois | August 23, 2024



(IMPROVED) LEVEL 01

FitzGerald

100 W Roosevelt Road 24043 PR-01
Wilmette, Illinois 1 August 21, 2026



(MIRRORED) LEVEL 02

