

ORDINANCE NO. O-2024-21

AN ORDINANCE GRANTING AN AMENDMENT TO A SPECIAL USE PERMIT ON PROPERTY COMMONLY KNOWN AS 1225, 1295, 1303, 1307, 1313, 1325 AND 1351 N. GARY AVENUE – WHEATON PARK DISTRICT

WHEREAS, the City of Wheaton, Illinois, (“City”) is an Illinois Home Rule Municipality pursuant to the provisions of Article VII, Section 6, of the Illinois Constitution of 1970, and as such, the City may exercise any power and perform any function pertaining to its government and affairs; and

WHEREAS, the Wheaton Park District (“Park District”) is a park district organized under the laws of the State of Illinois, and is the owner of property located at 1225, 1295, 1303, 1307, 1313, 1325 and 1351 N. Gary Avenue, Wheaton, Illinois, which is on the east side of Gary Avenue, and legally described on Exhibit “A” attached hereto and incorporated herein (“the Subject Property”); and

WHEREAS, the City and the Park District entered into an annexation agreement dated December 17, 2001 relating to the property at 1351 (formerly ON251 and ON259) Gary Avenue (Ord. No. F-0672), which provided for the annexation (Ord. No. F-0673) and immediate rezoning (Ord. No. F-0674) of the property as R-1, Residential Zoning District with a special use for an employee parking lot and caretaker facility associated with Cosley Farm n/k/a Cosley Zoo; and

WHEREAS, 1325 Gary Avenue (formerly ON239) was annexed to the City on November 6, 2023 via Ordinance No. O-2023-42; and

WHEREAS, the property at 1351 Gary Avenue is zoned R-1 Residential District and the properties at 1225, 1295, 1303, 1307, 1313, and 1325 Gary Avenue are zoned R-3 Residential District; and

WHEREAS, the Park District owns and operates the Cosley Zoo, which is located on the west side of Gary Avenue at 1356 N. Gary Avenue, which is zoned R-1 Residential District; and

WHEREAS, there is currently a parking lot with 30 parking spaces and zoo support buildings, including a storage barn and an animal welcome center, on 1351 Gary Avenue; and

WHEREAS, the Park District submitted a written application requesting an amendment to the existing special use permit for the Cosley Zoo parking lot located at 1351 Gary Avenue in accordance with Section 22.2.5 of the Wheaton Zoning Ordinance (“WZO”) to allow the construction and use of a new 93-space parking lot; and

WHEREAS, Section 22.2.5 of the WZO states that, “All off-street parking facilities accessory to non-residential uses in the R-1, R-2, R-3, R-4, R-5, R-6, and R-7 zoning district shall be located on the same lot as the building or use served. Provided, however, that required or other accessory off-street parking may be located on a separate lot within 300 feet of the building or use served, upon the granting of a Special Use Permit as provided in Article V of this ordinance.”; and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the WZO, the Wheaton Planning and Zoning Board (“PZB”) conducted a public hearing on March 12, 2024, April 9, 2024, April 23, 2024, May 14, 2024, and May 29, 2024 to consider the amendment to a special use permit; and

WHEREAS, the PZB unanimously recommended approval of the amendment to the special use permit; and

WHEREAS, the proposed new 93-space parking lot will replace the current 30-space lot, but will continue to include the zoo support buildings (storage barn and animal welcome center), all of which will be located on the Subject Property; and

WHEREAS, Sections 5.10D.1-7 set forth the standards to determine whether a special use should be granted or denied, which include:

1. The establishment, maintenance, or operation of the special use shall not be detrimental to the public health, safety, morals, comfort, convenience, and general welfare.
2. The special use shall not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, not substantially diminish property values within the neighborhood.
3. The establishment of a special use shall not impede the normal and orderly development and improvement of the surrounding property for uses already permitted.
4. Adequate utilities, access ways, drainage, and other necessary facilities shall be provided.
5. Adequate measures shall be taken to provide ingress and egress designed to minimize traffic congestion in the public streets.
6. The special use shall comply with the objectives of the Wheaton Comprehensive Plan.
7. The special use shall conform to the applicable requirements of the district in which it is located, as well as any other applicable requirements of this ordinance, except as may be varied by the Board or City Council; and

WHEREAS, the City Council adopts and incorporates the findings and recommendations of the PZB into this Ordinance and specifically makes the following findings of fact and legislative conclusions associated with the application of the standards for granting a special use:

1. A park is a permitted use under both the R-1 and R-3 Residential Districts, and a zoo is considered a park.
2. A parking lot is an accessory use to a park, and the proposed parking lot is accessory to the Cosley Zoo in accordance with the definition of "Accessory Building or Use" in Article 2 of the WZO.
3. The proposed parking lot is for a non-residential use in the R-1 and R-3 Residential Districts and is within 300 feet of its principal use (the Cosley Zoo), which thereby satisfies the requirements of Section 22.2.5 of the WZO. The Council finds and concludes that this distance is measured directly from property line to property line.
4. The Park District responded to residents' concerns and reduced the original plan from 258 spaces to 93 spaces. The proposed parking lot will net 63 new parking spaces.
5. The City is completing improvements to the intersection at Gary and Prairie Avenues, which consist of lane improvements, traffic signals and a signalized pedestrian crosswalk, which significantly improves the safety of pedestrians crossing Gary Avenue.
6. The Park District will install a six-foot fence along the west side of the proposed parking lot (along Gary Avenue) to direct individuals to the signalized crosswalk. The fence will also

prevent individuals from crossing Gary Avenue midblock from the parking lot, which is the current practice for Park District employees, thereby making crossing Gary Avenue safer.

7. The Park District presented evidence from a professional traffic engineering firm that the proposed parking lot will have minimal effect on the surrounding traffic which projects to increase zoo traffic on Gary by 0.6%, and that the design of the proposed access drive is sufficient to accommodate any such additional zoo traffic. The objectors to the Park District's request did not present any evidence from a professional traffic engineer about any potential increase in traffic or safety issues. The City Council finds the traffic study prepared by KLOA, Inc. dated 2-20-24 to be credible and any additional traffic generated by the proposed parking lot is acceptable from a public health, safety and general welfare standpoint.
8. The Park District's real estate appraiser (MaRous & Company) was more credible than the objectors' appraiser (Engel Appraisals). The Park District's appraiser used more comparable properties than did the objectors. The Park District's appraiser testified that the proposed parking lot will not diminish the property values within the neighborhood.
9. Approximately three acres of green space will remain on the Subject Property after the proposed parking lot is constructed.
10. The following aspects of the proposed parking lot are more restrictive than what the WZO requires and will further promote the public health, safety and general welfare:
 - a. The WZO requires a 15-foot buffer between the parking lot and adjacent residential properties, and the Park District is providing a 30'-230' buffer.
 - b. The WZO requires that the footcandle illumination of lighting shall not exceed 0.5 footcandles at the property line, and the proposed parking lot's illumination levels will be 0.0 at the property line and the fixtures will be Dark Skies compliant.
 - c. No fence is required around the proposed parking lot, and the Park District is installing a 6' fence along the west side of the lot and an 8' fence on the east side of the parking lot.
 - d. The WZO requires 63 trees, and the Park District is planting 85 new trees.
 - e. No stormwater BMP (best management practices) is required, but the Park District will use permeable pavers to construct the proposed parking lot.
11. The Park District had a professional civil engineer (Wight and Company) testify regarding the design of the proposed parking lot. The permeable pavers that will be used to construct the parking lot and the underground vault will assist in alleviating the flooding in the area. There will be less stormwater runoff after the parking lot is constructed than there is now with the vacant property. The objectors did not present evidence from a professional civil engineer regarding the design of the proposed parking lot.
12. The comprehensive plan relies on the importance of the role of the Wheaton Park District in providing public uses serving the residents of Wheaton and the surrounding areas, including the role of Cosley Zoo (Comp. Plan, p. 20). Further, one of the goals of the comprehensive plan is to ensure sufficient existing and future recreational facilities. (Comp. Plan, p. 31).

WHEREAS, based on the above findings of fact and legislative conclusions and the record from the PZB public hearing, the City Council finds and concludes that the proposed parking lot:

1. is not detrimental to the public health, safety, morals, comfort, convenience, and general welfare;
2. is not injurious to the public health, safety, morals, comfort, convenience, and general welfare, and if it is in any way, such detriment is outweighed by the benefits;
3. is not injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, and it does not substantially diminish property values within the neighborhood;

4. will not impede the normal and orderly development and improvement of the surrounding property for uses already permitted;
5. will have adequate utilities, access ways, and drainage, which are compliant with applicable Wheaton and County ordinances and regulations;
6. has adequate ingress and egress designed to minimize traffic congestion in the public streets;
7. complies with the objectives of the Wheaton Comprehensive Plan;
8. complies with or exceeds the applicable requirements of the WZO; and

WHEREAS, the City Council determines, based on the above findings of fact and legislative conclusions and the record from the PZB, that the Park District's request for an amendment to the existing special use permit complies with the standards set forth in Sections 5.10D.1-7 of the WZO.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, DuPage County, Illinois, pursuant to its home rule powers, as follows:

Section 1: The foregoing recitals are incorporated herein as substantive provisions, factual and legislative findings and represent the intent of this Ordinance as if fully set forth herein.

Section 2: Pursuant to the findings of fact made and determined by the Wheaton PZB, and the findings of fact and legislative determinations by the City Council, an amendment to the special use permit for 1351 Gary Avenue is granted to allow the construction and use of a new 93-space parking lot with zoo support buildings, including a storage barn and animal welcome center, on the east side of Gary Avenue, specifically on properties located at 1225, 1295, 1303, 1307, 1313, 1325 and 1351 N. Gary Avenue, Wheaton, Illinois (legally described in Exhibit A) in full compliance with the following plans: "Cosley Zoo Parking Lot Expansion", prepared by Wight and Company, Darien, IL, sheet 1-1, dated April 16, 2024; "Wheaton Park District Cosley Zoo Parking Lot" prepared by Wight and Company, Darien, IL, sheets C1.01, C2.00, C3.00, C3.01, C3.02, C4.00, L1.00, L1.01, L1.02, L1.03, and L2.00, dated May 31, 2024; "Cosley Zoo", prepared by KSA Lighting and Controls, Itasca, IL, sheet 1-1, dated October 22, 2023; and "Topographic Survey for Cosley Zoo, Wheaton, IL", prepared by Civil & Environmental Consultants, Inc., Naperville, IL, sheets 1-2, dated 12/21/2020, all attached hereto and incorporated herein as Group Exhibit "B", subject to the following conditions:

1. The new parking area shall not be used until the City completes the improvement project along Gary Avenue which includes a stoplight and crosswalk at Prairie and Gary Avenues.
2. A fence shall be installed around the new parking lot that will funnel pedestrian traffic from the parking lot to the signalized crosswalk.
3. The access drive to the new parking lot shall be gated to eliminate unintended off-hour access.
4. The new parking lot shall not be used for outdoor material or equipment storage.
5. The new parking lot lighting shall comply with Dark Skies Initiative standards.
6. Sidewalks shall be extended through the west zoo parking area to facilitate pedestrian access from the east parking area to the entrance of the zoo.
7. The existing zoo support buildings on the east side of Gary Avenue, which include an animal quarantine center and a storage barn, shall not be used to engage the general public.
8. The engineering plans shall be subject to further staff review and approval prior to the issuance of a site permit.

Section 3: The Plat of Consolidation, entitled Final Plat of Consolidation of Cosley Zoo Wheaton,

Illinois 60187, prepared by Terry D. Wright, an Illinois Professional Land Surveyor, dated July 12, 2024 is hereby approved, and the Mayor is hereby authorized to sign, and the City Clerk is directed to attest, to the plat attached hereto and incorporated herein as Exhibit "C".

Section 4: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 5: This Ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.



Mayor

ATTEST:



City Clerk

Ayes:

Roll Call Vote

Councilman Barbier
Councilwoman Bray-Parker
Mayor Suess
Councilman Clousing
Councilwoman Robbins

Nays:

Absent:

Councilman Brown
Councilman Weller
Motion Carried

Passed: July 15, 2024
Published: July 16, 2024

Exhibit A

The Subject Property is legally described as:

PARCEL 1: PART OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 8 AND RUNNING THENCE NORTH 0 DEGREES 52 MINUTES EAST ON THE EAST LINE OF SAID NORTHWEST QUARTER OF THE SOUTHEAST QUARTER 507 FEET; THENCE NORTH 89 DEGREES 44 MINUTES WEST, 388.5 FEET TO THE SOUTHEAST CORNER OF LAND DEEDED TO GEORGE VOELZ AND RECORDED AS DOCUMENT NUMBER 162259 IN BOOK 143 OF DEEDS, PAGE 230; THENCE NORTH 0 DEGREES 18 MINUTES EAST ALONG VOELZ EAST LINE 229.17 FEET FOR A PLACE OF BEGINNING; THENCE SOUTH 55 DEGREES 58 MINUTES WEST, 569.01 FEET TO THE CENTER OF GARY AVENUE; THENCE NORTH 35 DEGREES 11 MINUTES WEST ON THE CENTER LINE OF GARY AVENUE, 72.92 FEET; THENCE NORTH 55 DEGREES 58 MINUTES EAST, 622.83 FEET; THENCE SOUTH 0 DEGREES 18 MINUTES WEST, 85.6 FEET TO THE PLACE OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS. (EXCEPT THAT PART LYING IN GARY AVENUE.)

AND ALSO,

PARCEL 2: THAT PART OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 8, THENCE NORTH 0 DEGREES 52 MINUTES EAST ON THE EAST LINE OF SAID NORTHWEST QUARTER OF THE SOUTHEAST QUARTER 507 FEET; THENCE NORTH 89 DEGREES 44 MINUTES WEST, 388.5 FEET TO THE SOUTHEAST CORNER OF LAND DEEDED TO GEORGE VOELZ AND RECORDED AS DOCUMENT 162259; THENCE NORTH 0 DEGREES 18 MINUTES EAST ON VOELZ EAST LINE, 135 FEET TO VOELZ NORTHEAST CORNER FOR A PLACE OF BEGINNING; THENCE SOUTH 55 DEGREES 58 MINUTES WEST ON VOELZ NORTHERLY LINE 515.2 FEET TO THE CENTER LINE OF GARY AVENUE; THENCE NORTH 35 DEGREES 11 MINUTES WEST ON CENTER LINE OF GARY AVENUE 80.21 FEET; THENCE NORTH 55 DEGREES 58 MINUTES EAST, 569.01 FEET; THENCE SOUTH 0 DEGREES 18 MINUTES WEST, 94.17 FEET TO THE PLACE OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS. (EXCEPT THAT PART LYING IN GARY AVENUE.)

1351 N. Gary Avenue
P.I.N. 05-08-408-039

AND ALSO,

PARCEL 3: THAT PART OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS, DESCRIBED BY COMMENCING AT THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER IF SAID SECTION 8 AND RUNNING THENCE NORTH 0 DEGREES 52 MINUTES EAST ON THE EAST LINE OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION, 507.0 FEET; THENCE NORTH 89 DEGREES 44 MINUTES WEST, 388.5 FEET TO THE NORTHWEST CORNER OF A TEN ACRE TRACT OF LAND OWNED BY JOHN H. POOLE FOR A PLACE OF BEGINNING; THENCE CONTINUING NORTH 89 DEGREES 44 MINUTES WEST, 40.0 FEET; THENCE SOUTH 56 DEGREES 18 MINUTES WEST, 404.1 FEET TO THE CENTER LINE OF SAID GARY AVENUE, 89.0 FEET; THENCE NORTH 56 DEGREES 18 MINUTES EAST 515.2 FEET TO AN IRON PIPE; THENCE SOUTH 0 DEGREES 52 MINUTES WEST

135.0 FEET TO THE PLACE OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

1325 N. Gary Avenue
P.I.N. 05-08-408-014

AND ALSO,

LOT 1 IN WILLIAMS RESUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, RECORDED SEPTEMBER 29, 1989, AS DOCUMENT R89-120886 IN DUPAGE COUNTY, ILLINOIS.

1313 N. Gary Avenue
P.I.N. 05-08-408-032

AND ALSO,

LOTS 2, 3 AND 4 OF WILLIAMS RE-SUBDIVISION OF THOMPSON'S SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 19, 1978 AS DOCUMENT R78-89345 IN DUPAGE COUNTY, ILLINOIS.

1307, 1303 and 1295 N. Gary Avenue
P.I.N. 05-08-408-033, 05-08-408-034 and 05-08-408-035

AND ALSO,

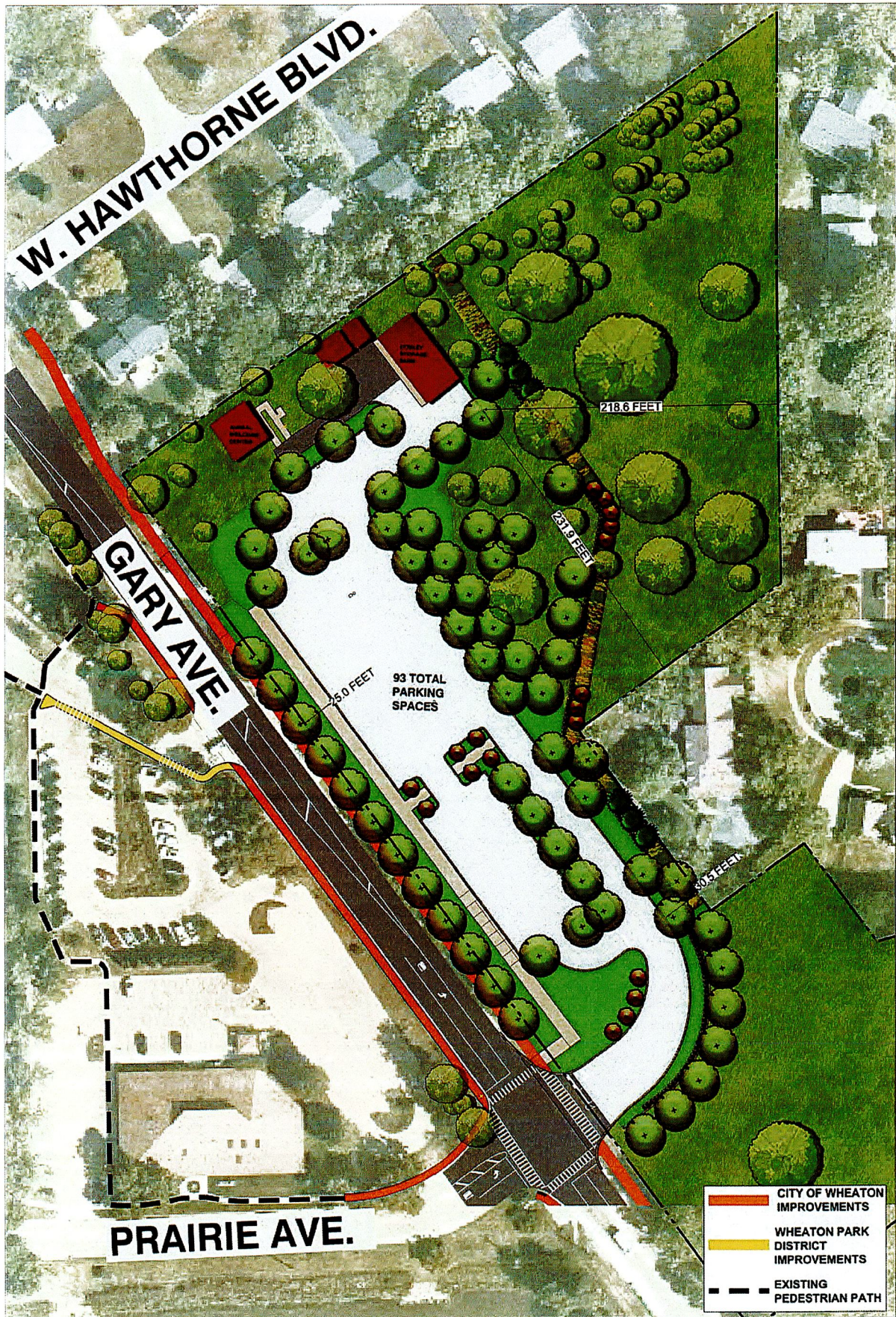
LOT 1 IN WHEATON PARK ASSESSMENT PLAT, BEING PART OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 27, 1990 AS DOCUMENT NUMBER R90-160205 IN DUPAGE COUNTY, ILLINOIS.

1225 N. Gary Avenue
P.I.N. 05-08-409-022

Exhib

Group Exhibit B

"Cosley Zoo Parking Lot Expansion", prepared by Wight and Company, Darien, IL, sheet 1-1, dated April 16, 2024; "Wheaton Park District Cosley Zoo Parking Lot" prepared by Wight and Company, Darien, IL, sheets C1.01, C2.00, C3.00, C3.01, C3.02, C4.00, L1.00, L1.01, L1.02, L1.03, and L2.00, dated May 31, 2024; "Cosley Zoo", prepared by KSA Lighting and Controls, Itasca, IL, sheet 1-1, dated October 22, 2023; and "Topographic Survey for Cosley Zoo, Wheaton, IL", prepared by Civil & Environmental Consultants, Inc., Naperville, IL, sheets 1-2, dated 12/21/2020

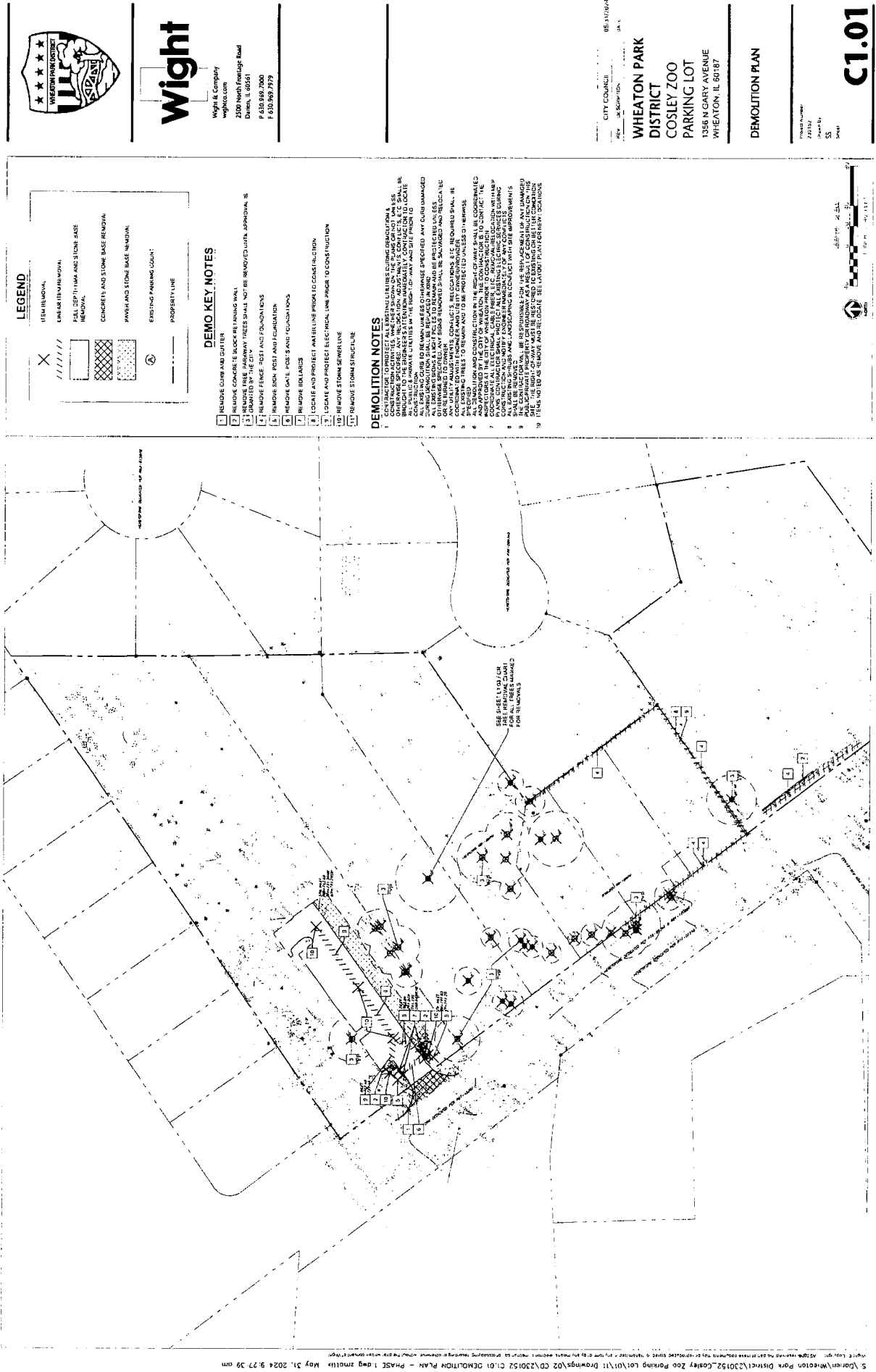


Wight

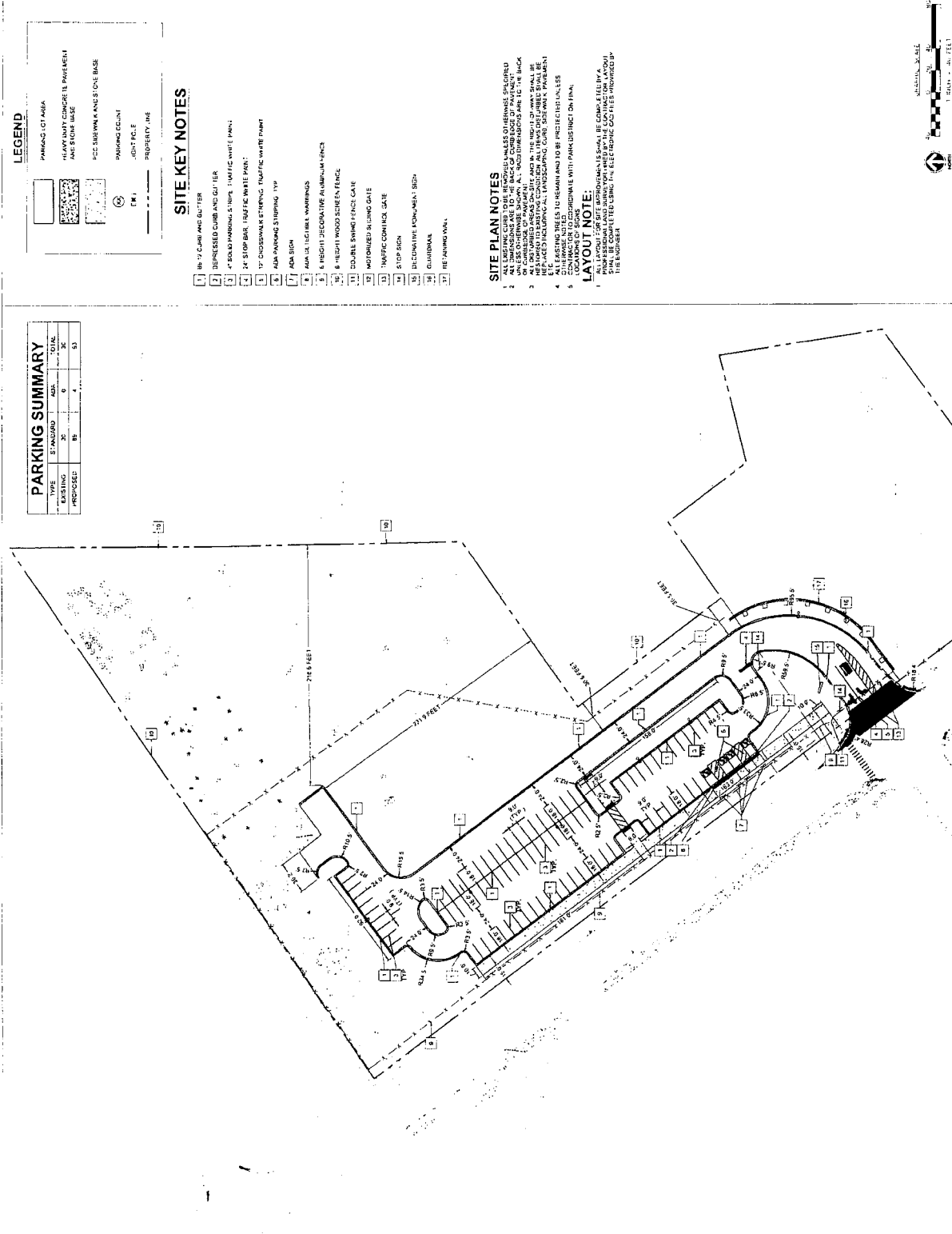
COSLEY ZOO PARKING LOT EXPANSION
Wheaton Park District

DATE: 4/18/2024

Exhibit C



PARKING SUMMARY			
TYPE	STANDARD	ADA	TOTAL
EXISTING	20	0	20
PROPOSED	88	1	89



LEGEND

PARKING LOT AREA

HEAVY DUTY CONCRETE PAVEMENT AND 8" REIN. BASE

8" CONC. SIDEWALK AND 8" CONC. BASE

PARKING CURB

JOINT FILL

PROPERTY LINE

SITE KEY NOTES

1. 18" x 12" CURB AND GUTTER
2. DEEPENED CURB AND GUTTER
3. 4" SOLID PARKING STRIPS, 1" WHITE PAINT
4. 24" STOP BAR, 1" WHITE PAINT
5. 12" CROSSWALK STRIPING, 1" WHITE PAINT
6. ADA PARKING STOPPING ZONE
7. ADA SIGN
8. ADA 18" x 12" REIN. WALKWAYS
9. 6' HEIGHT DECORATIVE ALUMINUM FENCE
10. 6' HEIGHT WOOD SCREEN FENCE
11. DOUBLE SLIDING GATE
12. MOTORIZED SLIDING GATE
13. TRAFFIC CONTROL GATE
14. STOP SIGN
15. DECORATIVE MONUMENT SIGN
16. CLAMBER
17. 12" FENCING

SITE PLAN NOTES

1. ALL EXISTING CURB TO REMAIN UNLESS OTHERWISE SPECIFIED
2. ALL EXISTING PAVEMENT TO REMAIN UNLESS OTHERWISE SPECIFIED
3. ALL EXISTING SIDEWALKS TO REMAIN UNLESS OTHERWISE SPECIFIED
4. ALL EXISTING DRIVEWAYS TO REMAIN UNLESS OTHERWISE SPECIFIED
5. ALL EXISTING UTILITIES TO REMAIN UNLESS OTHERWISE SPECIFIED
6. ALL EXISTING TREES TO REMAIN AND TO BE PROTECTED UNLESS OTHERWISE SPECIFIED
7. ALL EXISTING LIGHTS TO REMAIN UNLESS OTHERWISE SPECIFIED
8. ALL EXISTING SIGNAGE TO REMAIN UNLESS OTHERWISE SPECIFIED
9. ALL EXISTING FENCES TO REMAIN UNLESS OTHERWISE SPECIFIED
10. ALL EXISTING GATES TO REMAIN UNLESS OTHERWISE SPECIFIED
11. ALL EXISTING MONUMENTS TO REMAIN UNLESS OTHERWISE SPECIFIED
12. ALL EXISTING CLAMBERS TO REMAIN UNLESS OTHERWISE SPECIFIED
13. ALL EXISTING FENCING TO REMAIN UNLESS OTHERWISE SPECIFIED
14. ALL EXISTING 12" FENCING TO REMAIN UNLESS OTHERWISE SPECIFIED
15. ALL EXISTING 18" x 12" CURB AND GUTTER TO REMAIN UNLESS OTHERWISE SPECIFIED
16. ALL EXISTING 4" SOLID PARKING STRIPS TO REMAIN UNLESS OTHERWISE SPECIFIED
17. ALL EXISTING 24" STOP BARS TO REMAIN UNLESS OTHERWISE SPECIFIED
18. ALL EXISTING 12" CROSSWALK STRIPING TO REMAIN UNLESS OTHERWISE SPECIFIED
19. ALL EXISTING ADA PARKING STOPPING ZONES TO REMAIN UNLESS OTHERWISE SPECIFIED
20. ALL EXISTING ADA SIGNS TO REMAIN UNLESS OTHERWISE SPECIFIED

LAYOUT NOTE:

1. PROPOSED CURB AND GUTTER TO BE CONFORMED TO THE LAYOUT LAYOUT
2. PROPOSED PAVEMENT TO BE CONFORMED TO THE LAYOUT LAYOUT
3. PROPOSED SIDEWALKS TO BE CONFORMED TO THE LAYOUT LAYOUT
4. PROPOSED DRIVEWAYS TO BE CONFORMED TO THE LAYOUT LAYOUT
5. PROPOSED UTILITIES TO BE CONFORMED TO THE LAYOUT LAYOUT
6. PROPOSED TREES TO BE CONFORMED TO THE LAYOUT LAYOUT
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12. PROPOSED CLAMBERS TO BE CONFORMED TO THE LAYOUT LAYOUT
13. PROPOSED FENCING TO BE CONFORMED TO THE LAYOUT LAYOUT
14. PROPOSED 12" FENCING TO BE CONFORMED TO THE LAYOUT LAYOUT
15. PROPOSED 18" x 12" CURB AND GUTTER TO BE CONFORMED TO THE LAYOUT LAYOUT
16. PROPOSED 4" SOLID PARKING STRIPS TO BE CONFORMED TO THE LAYOUT LAYOUT
17. PROPOSED 24" STOP BARS TO BE CONFORMED TO THE LAYOUT LAYOUT
18. PROPOSED 12" CROSSWALK STRIPING TO BE CONFORMED TO THE LAYOUT LAYOUT
19. PROPOSED ADA PARKING STOPPING ZONES TO BE CONFORMED TO THE LAYOUT LAYOUT
20. PROPOSED ADA SIGNS TO BE CONFORMED TO THE LAYOUT LAYOUT



Wight

Wight & Company
wightco.com
2500 North Truette Road
Darien, IL 60541
P 630.989.7000
F 630.989.7979

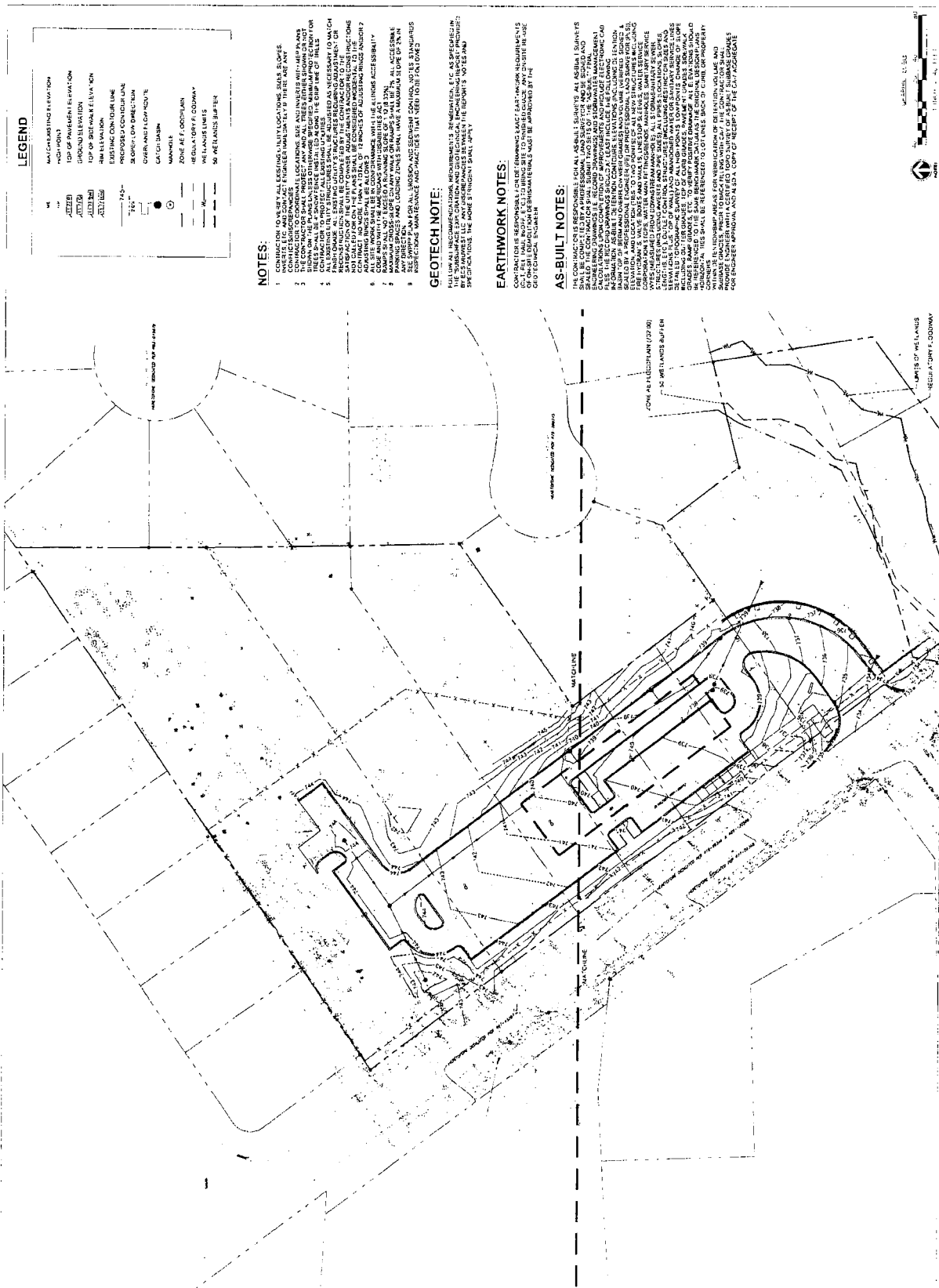
CDT, COUNCIL
DESIGNED
JAN 11

WHEATON PARK DISTRICT
COSLEY ZOO
PARKING LOT
1356 N GARY AVENUE
WHEATON, IL 60187

SITE PLAN

Project No. 22122
Sheet No. 20
Scale

C2.00





US 50100000
CITY COUNCIL
US 50100000

**WHEATON PARK
DISTRICT
COSLEY ZOO
PARKING LOT**
1356 N GARY AVENUE
WHEATON, IL 60187

GRADING PLAN - NORTH

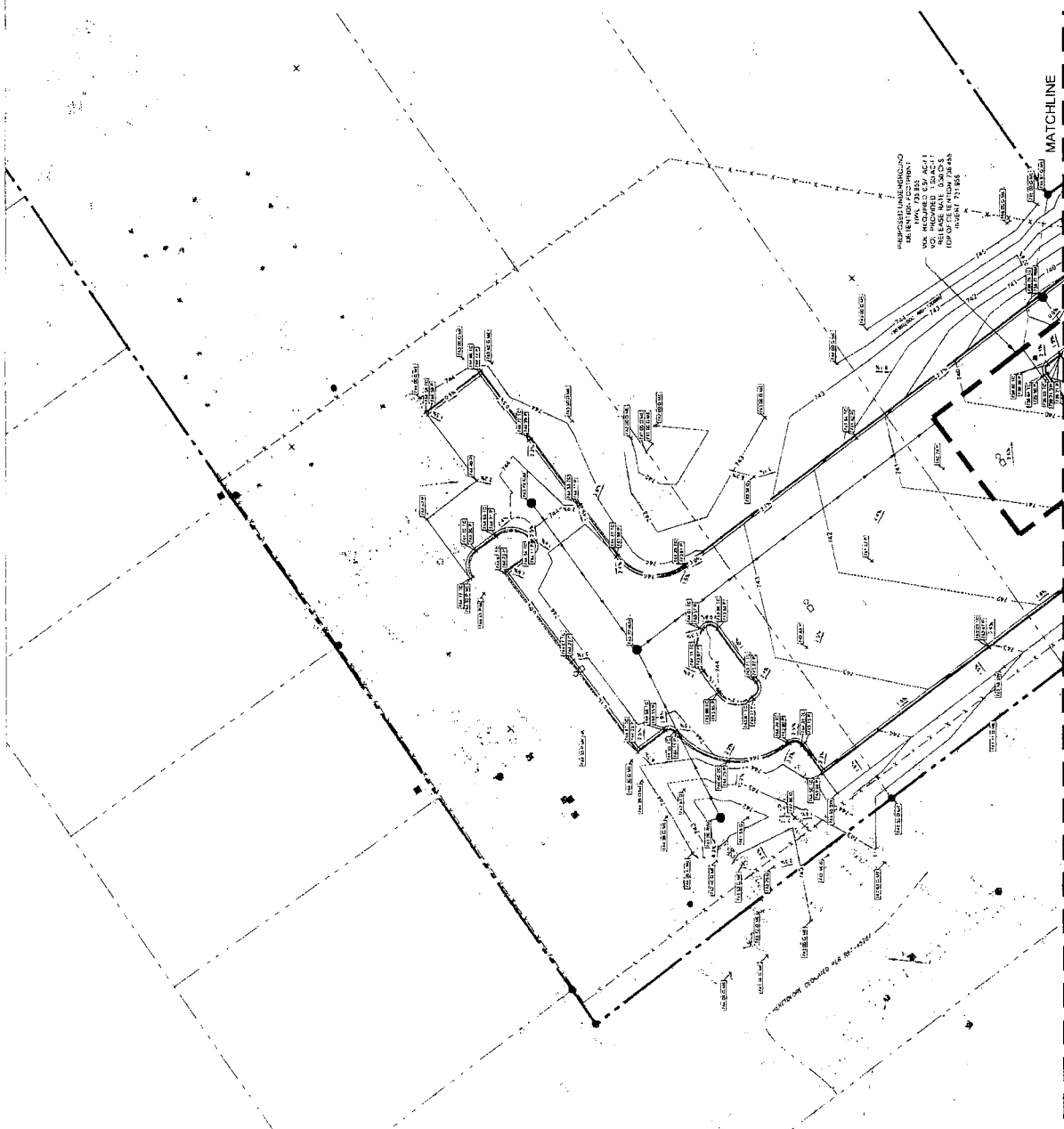
C3.01

MAT. EXISTING ELEVATION
 HIGH POINT
 TOP OF PAVEMENT ELEVATION
 GRADE ELEVATION
 TOP OF SIDEWALK ELEVATION
 HWM ELEVATION
 EXISTING CONTOUR LINE
 PROPOSED CONTOUR LINE
 SIDEWALK DIRECTION
 OVERLAND FLOW ROUTE
 CATCH BASIN

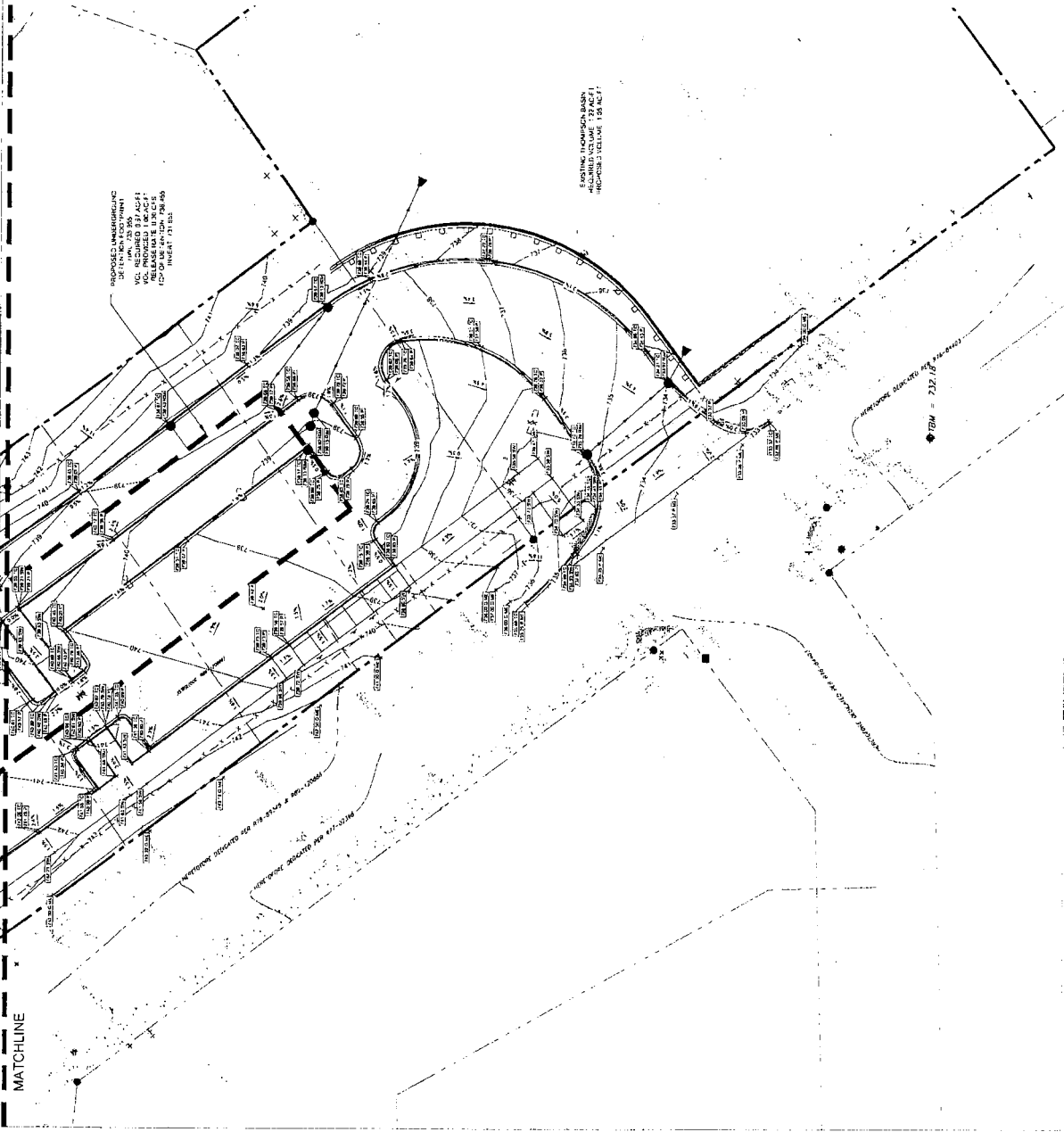
[illegible]

FOR ALL INFORMATION, REQUIREMENTS, RECOMMENDATIONS, ETC. AS SPECIFIED IN THE "SURFACE EXPLORATION AND GEOTECHNICAL ENGINEERING REPORT" PROVIDED BY GEOTECHNICAL SERVICES, LLC. ANY DISCREPANCIES BETWEEN THE REPORT'S NOTES AND SPECIFICATIONS, THE MORE STRINGENT SHALL APPLY.

CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXACT EARTHWORK REQUIREMENTS. CANNOT FILL HOLE BACK ETC. TO BRING SITE TO FINISHED GRADE. ANY ON-SITE REUSE OF ON-SITE DEMOLITION DEBRIS MATERIALS MUST BE APPROVED BY THE GEOTECHNICAL ENGINEER.

[illegible]

S:\Darien\Wheaton Park District\230152...Cosley Zoo Parking Lot\01\11 Drawings\02 CD\230152 CD\00 GRADING PLAN - PHASE 1.dwg zmdltx May 31, 2024 9:28:02 AM



MATCHLINE

LEGEND	
44	MATCH EXISTING ELEVATION
45	PROPOSED ELEVATION
46	TOP OF ROAD ELEVATION
47	TOP OF SIDEWALK ELEVATION
48	FINISH ELEVATION
49	EXISTING CONTOUR LINE
50	PROPOSED CONTOUR LINE
51	SLOPE/GRADIENT
52	OVERLAP/STITCH LINE
53	CATCH BASIN
54	MANHOLE

- NOTES:**
1. CONTRACTOR TO VERIFY ALL EXISTING UTILITY LOCATIONS, DEPT. RECORDS, SURVEY DATA, AND FIELD SURVEY DATA. IF ANY DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING THEM.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
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 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

GEOTECH NOTE:

FOR ALL RECOMMENDATIONS, REQUIREMENTS, ETC. AS SPECIFIED IN THE GEOTECH REPORT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

EARTHWORK NOTES:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

AS-BUILT NOTES:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



Wight

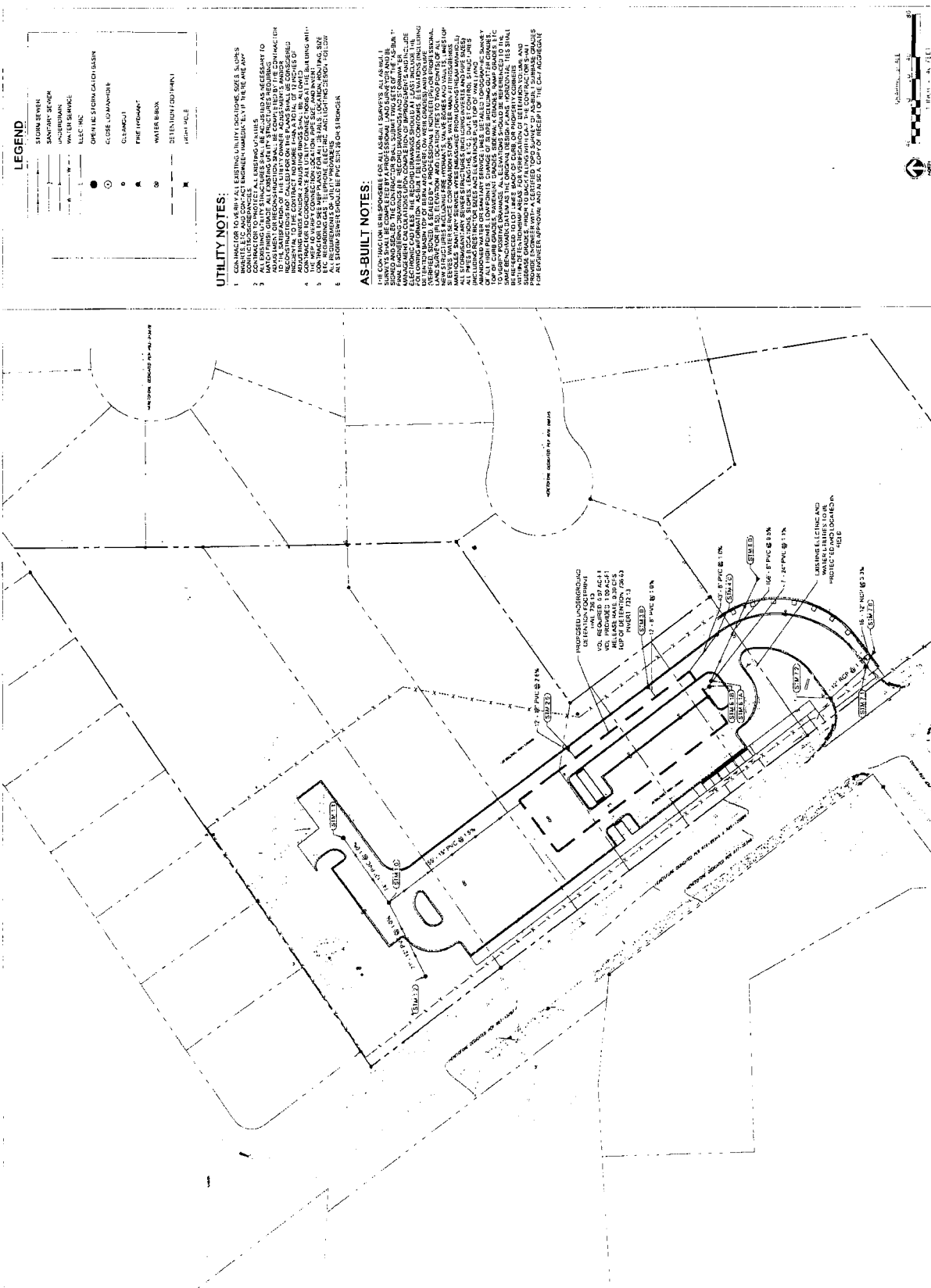
Wight & Company
2500 North Franklin Road
Downers Grove, IL 60515
630.569.3700
630.569.3779

CITY COUNCIL
JAN 15, 2024
WHEATON PARK DISTRICT
COSLEY ZOO
PARKING LOT
135E N GARY AVENUE
WHEATON, IL 60187

GRADING PLAN - SOUTH

Project No. 220307
Sheet No. 24
Scale

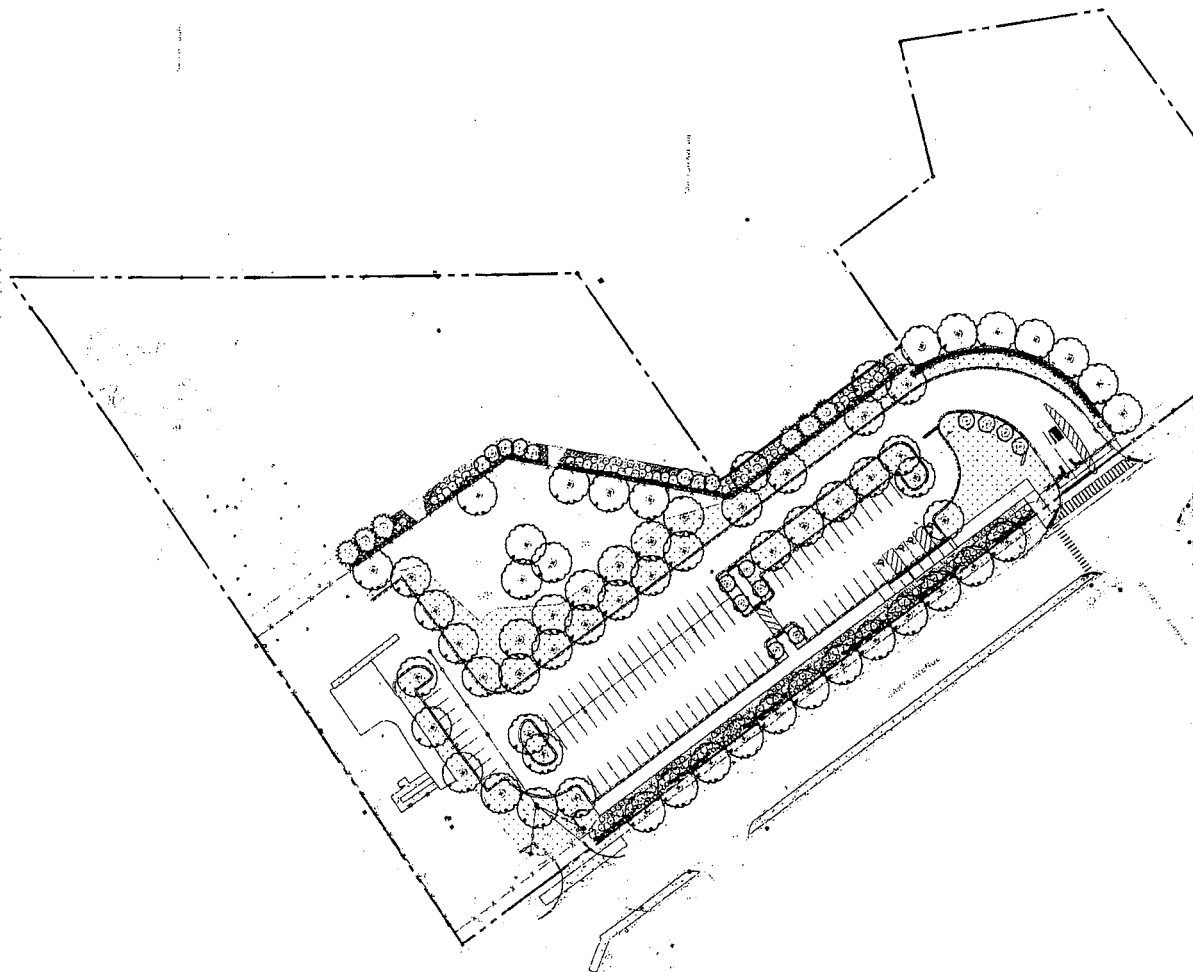
C3.02

**UTILITY NOTES:**

- [illegible]

AS-BUILT NOTES:

[illegible]



LEGEND

GRASS SEED MIX AND BLANKET
PERENNIALS AND ORNAMENTAL
GRASSES - HATCH MARKS
SHADE TREE
EMERGENT TREE
ORNAMENTAL TREE
SHRUBS - SYMBOLS VARY
PROPERTY LINE

LANDSCAPE NOTES:

1. SEED AND BLANKET LIMIT LINE IS APPROPRIATE. REVISIONS TO LANDSCAPE PLAN SHALL BE SUBMITTED TO THE DISTRICT ENGINEER FOR REVIEW AND APPROVAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
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Wight

Wight & Company
wight@wight.com
2500 North Frontage Road
Darien, IL 60551
P 630.969.7000
F 630.969.7979

ZONING MEETING 05/11/2024
REV DESCRIPTION DATE
WHEATON PARK DISTRICT
COSLEY ZOO
PARKING LOT
1350 N GARY AVENUE
WHEATON, IL 60187

OVERALL LANDSCAPE PLAN

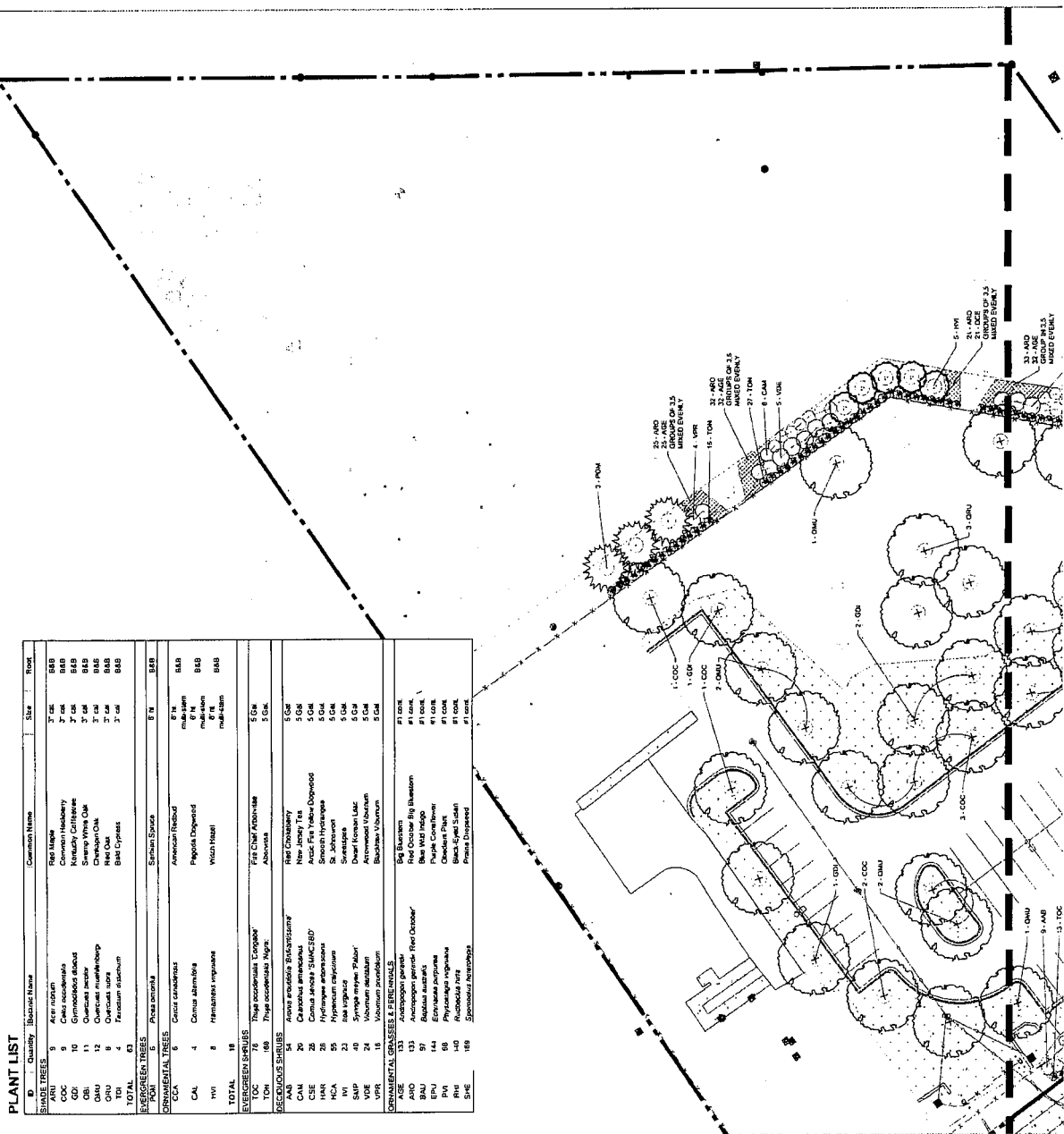
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Drawn By: DW
Scale: L1.00

PLANT LIST

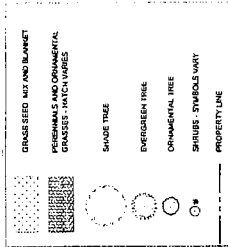
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LANDSCAPE NOTES:

- [illegible]



LEGEND



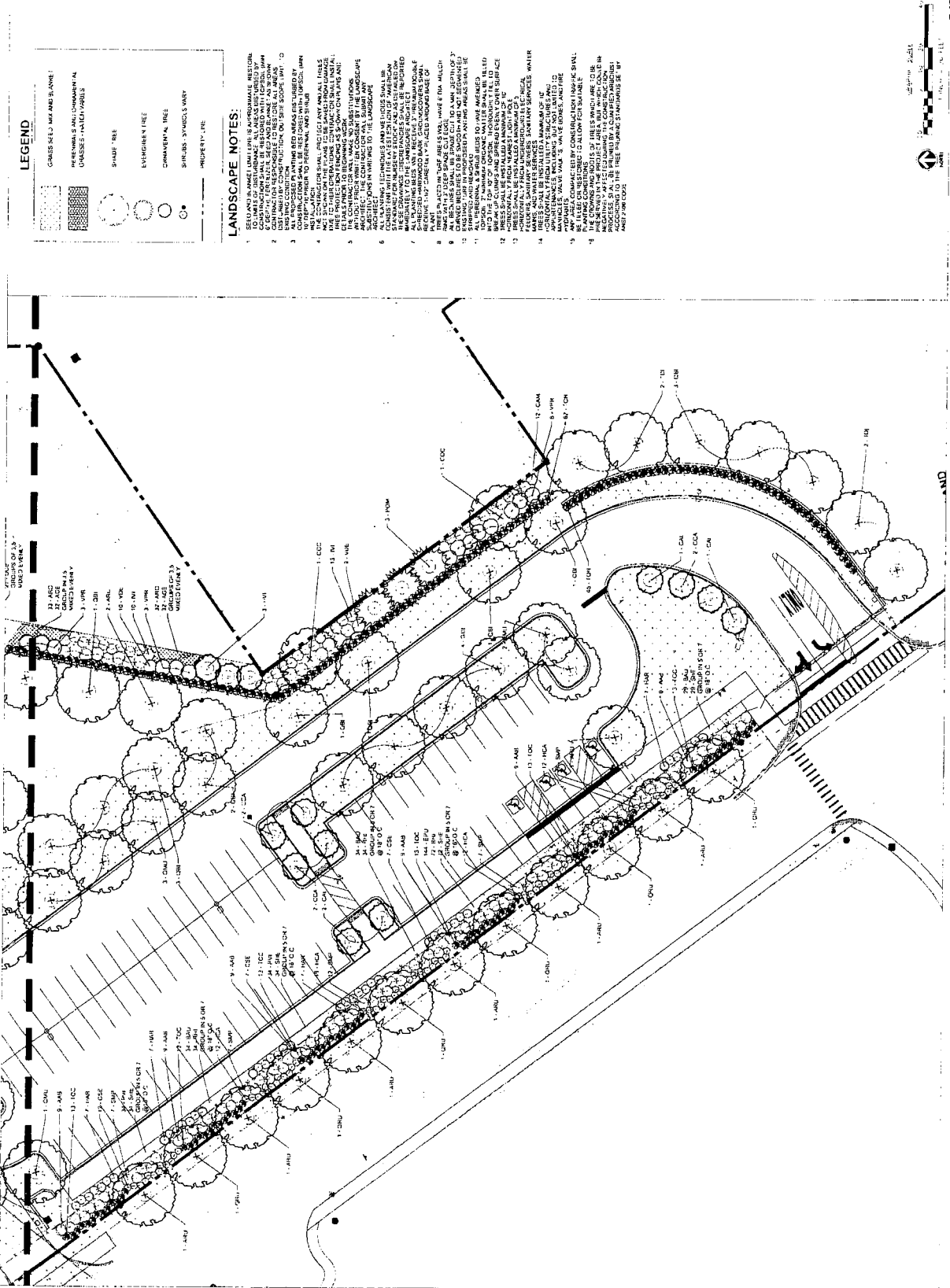
ZONING MEETING 05/14/2024

**WHEATON PARK
DISTRICT
COSLEY ZOO
PARKING LOT**
1356 N GARY AVENUE
WHEATON, IL 60187

**NORTH LANDSCAPE
PLAN**

Project Number:
230152
Drawn By:
DW
Sheet:

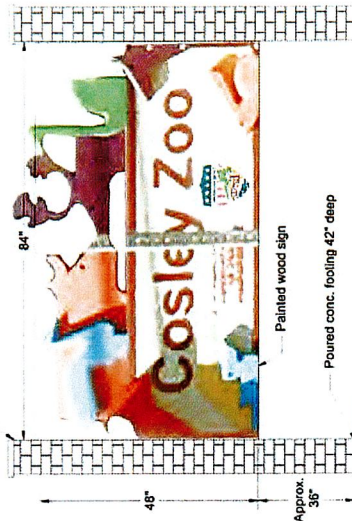
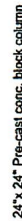
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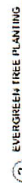
LANDSCAPE
DETAILS

Project Manager
200150
Contract No.
Date
Sheet

L1.03






5 MONUMENT SIGN



LANDSCAPE REQUIREMENT CHART					
LOCATION CODE	REQUIREMENT	MEASUREMENT	CALCULATION	LANDSCAPING REQUIRED	LANDSCAPING PROVIDED
6.5 Bay Area Landscaping	6.5.1 Bay Area Landscaping to be in accordance with the City of Visalia Engineering Department Planting Standards	483'		12 Shade Trees	12 Shade Trees
6.6 Parking Lot Landscaping	6.6.1 Parking Lot Landscaping shall be 162 square feet to area and shall have trees, trees or ground covering and have 1 minimum 20' spacing	140 Private Spaces	1500sq +/- 5	8 Shade Trees	8 Shade Trees
6.6 Private Lot Landscaping 2.0 x 1.0	6.6.1 Private Lot Landscaping shall consist of 25% evergreen trees, 25% shade and ornamental trees, 50% evergreen and ornamental trees	412'	N/A	N/A	204 deciduous shrubs 79 evergreen shrubs
6.6 Private Lot Landscaping 2.0 x 1.0	6.6.1 Private Lot Landscaping shall consist of 25% evergreen trees, 25% shade and ornamental trees, 50% evergreen and ornamental trees	407'	N/A	N/A	9 evergreen trees 94 deciduous shrubs 129 evergreen shrubs
6.6 Private Lot Landscaping 2.0 x 1.0	6.6.1 Private Lot Landscaping shall consist of 25% evergreen trees, 25% shade and ornamental trees, 50% evergreen and ornamental trees	184'	N/A	N/A	5 ornamental trees 36 deciduous shrubs 54 evergreen shrubs
6.6 Private Lot Landscaping 2.0 x 1.0	6.6.1 Private Lot Landscaping shall consist of 25% evergreen trees, 25% shade and ornamental trees, 50% evergreen and ornamental trees	NA	N/A	N/A	NA



Light Loss Factor								
Symbol	Label	Quantity	Manufacturer	Catalog Number	Number Lamps	Description	Lumens Per Lamp	Wattage
	P-F	2	Lithonia Lighting	DSX0 LED P2 30K 70CRI TFTM	1	D-Series Size 0 Area Luminaire P2 Performance Package 3000K CCT 70 CRI Forward Throw	6060	45.14
	P-4	2	Lithonia Lighting	DSX0 LED P2 30K 70CRI BLC4	1	D-Series Size 0 Area Luminaire P2 Performance Package 3000K CCT 70 CRI Type 4 Extreme Backlight Control	4455	45.14
	P-5W-2	2	Lithonia Lighting	DSX0 LED P2 30K 70CRI TSW	1	D-Series Size 0 Area Luminaire P2 Performance Package 3000K CCT 70 CRI Type 5 Wide	6293	90.28

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Lot	+	0.7 fc	2.9 fc	0.0 fc	N/A	N/A
Property Line	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A

NOTES:

1. CALCULATION POINT WORK PLANE: Ground Level
2. FIXTURE MOUNTING HEIGHT: A - 14FT AFF
3. SURFACE REFLECTANCES: 80/50/20
4. FURNITURE, EQUIPMENT, RACKING OR MILLWORK COULD CAUSE REDUCED LIGHT LEVELS FROM WHAT IS EXPECTED.
5. CALCULATIONS PROVIDED BY KSA ARE NOT A GUARANTEE OF PERFORMANCE. ACTUAL LIGHT LEVELS MAY VARY.**

