

ORDINANCE NO. O-2024-21

**AN ORDINANCE GRANTING AN AMENDMENT TO A SPECIAL USE PERMIT ON PROPERTY COMMONLY
KNOWN AS 1225, 1295, 1303, 1307, 1313, 1325 AND 1351 N. GARY AVENUE –
WHEATON PARK DISTRICT**

WHEREAS, the City of Wheaton, Illinois, ("City") is an Illinois Home Rule Municipality pursuant to the provisions of Article VII, Section 6, of the Illinois Constitution of 1970, and as such, the City may exercise any power and perform any function pertaining to its government and affairs; and

WHEREAS, the Wheaton Park District ("Park District") is a park district organized under the laws of the State of Illinois, and is the owner of property located at 1225, 1295, 1303, 1307, 1313, 1325 and 1351 N. Gary Avenue, Wheaton, Illinois, which is on the east side of Gary Avenue, and legally described on Exhibit "A" attached hereto and incorporated herein ("the Subject Property"); and

WHEREAS, the City and the Park District entered into an annexation agreement dated December 17, 2001 relating to the property at 1351 (formerly ON251 and ON259) Gary Avenue (Ord. No. F-0672), which provided for the annexation (Ord. No. F-0673) and immediate rezoning (Ord. No. F-0674) of the property as R-1, Residential Zoning District with a special use for an employee parking lot and caretaker facility associated with Cosley Farm n/k/a Cosley Zoo; and

WHEREAS, 1325 Gary Avenue (formerly ON239) was annexed to the City on November 6, 2023 via Ordinance No. O-2023-42; and

WHEREAS, the property at 1351 Gary Avenue is zoned R-1 Residential District and the properties at 1225, 1295, 1303, 1307, 1313, and 1325 Gary Avenue are zoned R-3 Residential District; and

WHEREAS, the Park District owns and operates the Cosley Zoo, which is located on the west side of Gary Avenue at 1356 N. Gary Avenue, which is zoned R-1 Residential District; and

WHEREAS, there is currently a parking lot with 30 parking spaces and zoo support buildings, including a storage barn and an animal welcome center, on 1351 Gary Avenue; and

WHEREAS, the Park District submitted a written application requesting an amendment to the existing special use permit for the Cosley Zoo parking lot located at 1351 Gary Avenue in accordance with Section 22.2.5 of the Wheaton Zoning Ordinance ("WZO") to allow the construction and use of a new 93-space parking lot; and

WHEREAS, Section 22.2.5 of the WZO states that, "All off-street parking facilities accessory to non-residential uses in the R-1, R-2, R-3, R-4, R-5, R-6, and R-7 zoning district shall be located on the same lot as the building or use served. Provided, however, that required or other accessory off-street parking may be located on a separate lot within 300 feet of the building or use served, upon the granting of a Special Use Permit as provided in Article V of this ordinance."; and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the WZO, the Wheaton Planning and Zoning Board ("PZB") conducted a public hearing on March 12, 2024, April 9, 2024, April 23, 2024, May 14, 2024, and May 29, 2024 to consider the amendment to a special use permit; and

WHEREAS, the PZB unanimously recommended approval of the amendment to the special use permit; and

WHEREAS, the proposed new 93-space parking lot will replace the current 30-space lot, but will continue to include the zoo support buildings (storage barn and animal welcome center), all of which will be located on the Subject Property; and

WHEREAS, Sections 5.10D.1-7 set forth the standards to determine whether a special use should be granted or denied, which include:

1. The establishment, maintenance, or operation of the special use shall not be detrimental to the public health, safety, morals, comfort, convenience, and general welfare.
2. The special use shall not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, not substantially diminish property values within the neighborhood.
3. The establishment of a special use shall not impede the normal and orderly development and improvement of the surrounding property for uses already permitted.
4. Adequate utilities, access ways, drainage, and other necessary facilities shall be provided.
5. Adequate measures shall be taken to provide ingress and egress designed to minimize traffic congestion in the public streets.
6. The special use shall comply with the objectives of the Wheaton Comprehensive Plan.
7. The special use shall conform to the applicable requirements of the district in which it is located, as well as any other applicable requirements of this ordinance, except as may be varied by the Board or City Council.; and

WHEREAS, the City Council adopts and incorporates the findings and recommendations of the PZB into this Ordinance and specifically makes the following findings of fact and legislative conclusions associated with the application of the standards for granting a special use:

1. A park is a permitted use under both the R-1 and R-3 Residential Districts, and a zoo is considered a park.
2. A parking lot is an accessory use to a park, and the proposed parking lot is accessory to the Cosley Zoo in accordance with the definition of "Accessory Building or Use" in Article 2 of the WZO.
3. The proposed parking lot is for a non-residential use in the R-1 and R-3 Residential Districts and is within 300 feet of its principal use (the Cosley Zoo), which thereby satisfies the requirements of Section 22.2.5 of the WZO. The Council finds and concludes that this distance is measured directly from property line to property line.
4. The Park District responded to residents' concerns and reduced the original plan from 258 spaces to 93 spaces. The proposed parking lot will net 63 new parking spaces.
5. The City is completing improvements to the intersection at Gary and Prairie Avenues, which consist of lane improvements, traffic signals and a signalized pedestrian crosswalk, which significantly improves the safety of pedestrians crossing Gary Avenue.
6. The Park District will install a six-foot fence along the west side of the proposed parking lot (along Gary Avenue) to direct individuals to the signalized crosswalk. The fence will also

prevent individuals from crossing Gary Avenue midblock from the parking lot, which is the current practice for Park District employees, thereby making crossing Gary Avenue safer.

7. The Park District presented evidence from a professional traffic engineering firm that the proposed parking lot will have minimal effect on the surrounding traffic which projects to increase zoo traffic on Gary by 0.6%, and that the design of the proposed access drive is sufficient to accommodate any such additional zoo traffic. The objectors to the Park District's request did not present any evidence from a professional traffic engineer about any potential increase in traffic or safety issues. The City Council finds the traffic study prepared by KLOA, Inc. dated 2-20-24 to be credible and any additional traffic generated by the proposed parking lot is acceptable from a public health, safety and general welfare standpoint.
8. The Park District's real estate appraiser (MaRous & Company) was more credible than the objectors' appraiser (Engel Appraisals). The Park District's appraiser used more comparable properties than did the objectors. The Park District's appraiser testified that the proposed parking lot will not diminish the property values within the neighborhood.
9. Approximately three acres of green space will remain on the Subject Property after the proposed parking lot is constructed.
10. The following aspects of the proposed parking lot are more restrictive than what the WZO requires and will further promote the public health, safety and general welfare:
 - a. The WZO requires a 15-foot buffer between the parking lot and adjacent residential properties, and the Park District is providing a 30'-230' buffer.
 - b. The WZO requires that the footcandle illumination of lighting shall not exceed 0.5 footcandles at the property line, and the proposed parking lot's illumination levels will be 0.0 at the property line and the fixtures will be Dark Skies compliant.
 - c. No fence is required around the proposed parking lot, and the Park District is installing a 6' fence along the west side of the lot and an 8' fence on the east side of the parking lot.
 - d. The WZO requires 63 trees, and the Park District is planting 85 new trees.
 - e. No stormwater BMP (best management practices) is required, but the Park District will use permeable pavers to construct the proposed parking lot.
11. The Park District had a professional civil engineer (Wight and Company) testify regarding the design of the proposed parking lot. The permeable pavers that will be used to construct the parking lot and the underground vault will assist in alleviating the flooding in the area. There will be less stormwater runoff after the parking lot is constructed than there is now with the vacant property. The objectors did not present evidence from a professional civil engineer regarding the design of the proposed parking lot.
12. The comprehensive plan relies on the importance of the role of the Wheaton Park District in providing public uses serving the residents of Wheaton and the surrounding areas, including the role of Cosley Zoo (Comp. Plan, p. 20). Further, one of the goals of the comprehensive plan is to ensure sufficient existing and future recreational facilities. (Comp. Plan, p. 31).

WHEREAS, based on the above findings of fact and legislative conclusions and the record from the PZB public hearing, the City Council finds and concludes that the proposed parking lot:

1. is not detrimental to the public health, safety, morals, comfort, convenience, and general welfare;
2. is not injurious to the public health, safety, morals, comfort, convenience, and general welfare, and if it is in any way, such detriment is outweighed by the benefits;
3. is not injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, and it does not substantially diminish property values within the neighborhood;

4. will not impede the normal and orderly development and improvement of the surrounding property for uses already permitted;
5. will have adequate utilities, access ways, and drainage, which are compliant with applicable Wheaton and County ordinances and regulations;
6. has adequate ingress and egress designed to minimize traffic congestion in the public streets;
7. complies with the objectives of the Wheaton Comprehensive Plan;
8. complies with or exceeds the applicable requirements of the WZO; and

WHEREAS, the City Council determines, based on the above findings of fact and legislative conclusions and the record from the PZB, that the Park District's request for an amendment to the existing special use permit complies with the standards set forth in Sections 5.10D.1-7 of the WZO.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, DuPage County, Illinois, pursuant to its home rule powers, as follows:

Section 1: The foregoing recitals are incorporated herein as substantive provisions, factual and legislative findings and represent the intent of this Ordinance as if fully set forth herein.

Section 2: Pursuant to the findings of fact made and determined by the Wheaton PZB, and the findings of fact and legislative determinations by the City Council, an amendment to the special use permit for 1351 Gary Avenue is granted to allow the construction and use of a new 93-space parking lot with zoo support buildings, including a storage barn and animal welcome center, on the east side of Gary Avenue, specifically on properties located at 1225, 1295, 1303, 1307, 1313, 1325 and 1351 N. Gary Avenue, Wheaton, Illinois (legally described in Exhibit A) in full compliance with the following plans: "Cosley Zoo Parking Lot Expansion", prepared by Wight and Company, Darien, IL, sheet 1-1, dated April 16, 2024; "Wheaton Park District Cosley Zoo Parking Lot" prepared by Wight and Company, Darien, IL, sheets C1.01, C2.00, C3.00, C3.01, C3.02, C4.00, L1.00, L1.01, L1.02, L1.03, and L2.00, dated May 31, 2024; "Cosley Zoo", prepared by KSA Lighting and Controls, Itasca, IL, sheet 1-1, dated October 22, 2023; and "Topographic Survey for Cosley Zoo, Wheaton, IL", prepared by Civil & Environmental Consultants, Inc., Naperville, IL, sheets 1-2, dated 12/21/2020, all attached hereto and incorporated herein as Group Exhibit "B", subject to the following conditions:

1. The new parking area shall not be used until the City completes the improvement project along Gary Avenue which includes a stoplight and crosswalk at Prairie and Gary Avenues.
2. A fence shall be installed around the new parking lot that will funnel pedestrian traffic from the parking lot to the signalized crosswalk.
3. The access drive to the new parking lot shall be gated to eliminate unintended off-hour access.
4. The new parking lot shall not be used for outdoor material or equipment storage.
5. The new parking lot lighting shall comply with Dark Skies Initiative standards.
6. Sidewalks shall be extended through the west zoo parking area to facilitate pedestrian access from the east parking area to the entrance of the zoo.
7. The existing zoo support buildings on the east side of Gary Avenue, which include an animal quarantine center and a storage barn, shall not be used to engage the general public.
8. The engineering plans shall be subject to further staff review and approval prior to the issuance of a site permit.

Section 3: The Plat of Consolidation, entitled Final Plat of Consolidation of Cosley Zoo Wheaton,

Illinois 60187, prepared by Terry D. Wright, an Illinois Professional Land Surveyor, dated July 12, 2024 is hereby approved, and the Mayor is hereby authorized to sign, and the City Clerk is directed to attest, to the plat attached hereto and incorporated herein as Exhibit "C".

Section 4: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 5: This Ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.


Philip J. Suess

Mayor

ATTEST:


Andrea Rasedale

City Clerk

Roll Call Vote

Ayes: Councilman Barbier
Councilwoman Bray-Parker
Mayor Suess
Councilman Clousing
Councilwoman Robbins

Nays: Councilman Brown
Absent: Councilman Weller
Motion Carried

Passed: July 15, 2024
Published: July 16, 2024

Exhibit A

The Subject Property is legally described as:

PARCEL 1: PART OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 8 AND RUNNING THENCE NORTH 0 DEGREES 52 MINUTES EAST ON THE EAST LINE OF SAID NORTHWEST QUARTER OF THE SOUTHEAST QUARTER 507 FEET; THENCE NORTH 89 DEGREES 44 MINUTES WEST, 388.5 FEET TO THE SOUTHEAST CORNER OF LAND DEEDED TO GEORGE VOELZ AND RECORDED AS DOCUMENT NUMBER 162259 IN BOOK 143 OF DEEDS, PAGE 230; THENCE NORTH 0 DEGREES 18 MINUTES EAST ALONG VOELZ EAST LINE 229.17 FEET FOR A PLACE OF BEGINNING; THENCE SOUTH 55 DEGREES 58 MINUTES WEST, 569.01 FEET TO THE CENTER OF GARY AVENUE; THENCE NORTH 35 DEGREES 11 MINUTES WEST ON THE CENTER LINE OF GARY AVENUE, 72.92 FEET; THENCE NORTH 55 DEGREES 58 MINUTES EAST, 622.83 FEET; THENCE SOUTH 0 DEGREES 18 MINUTES WEST, 85.6 FEET TO THE PLACE OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS. (EXCEPT THAT PART LYING IN GARY AVENUE.)

AND ALSO,

PARCEL 2: THAT PART OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 8, THENCE NORTH 0 DEGREES 52 MINUTES EAST ON THE EAST LINE OF SAID NORTHWEST QUARTER OF THE SOUTHEAST QUARTER 507 FEET; THENCE NORTH 89 DEGREES 44 MINUTES WEST, 388.5 FEET TO THE SOUTHEAST CORNER OF LAND DEEDED TO GEORGE VOELZ AND RECORDED AS DOCUMENT 162259; THENCE NORTH 0 DEGREES 18 MINUTES EAST ON VOELZ EAST LINE, 135 FEET TO VOELZ NORTHEAST CORNER FOR A PLACE OF BEGINNING; THENCE SOUTH 55 DEGREES 58 MINUTES WEST ON VOELZ NORTHERLY LINE 515.2 FEET TO THE CENTER LINE OF GARY AVENUE; THENCE NORTH 35 DEGREES 11 MINUTES WEST ON CENTER LINE OF GARY AVENUE 80.21 FEET; THENCE NORTH 55 DEGREES 58 MINUTES EAST, 569.01 FEET; THENCE SOUTH 0 DEGREES 18 MINUTES WEST, 94.17 FEET TO THE PLACE OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS. (EXCEPT THAT PART LYING IN GARY AVENUE.)

1351 N. Gary Avenue
P.I.N. 05-08-408-039

AND ALSO,

PARCEL 3: THAT PART OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS, DESCRIBED BY COMMENCING AT THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 8 AND RUNNING THENCE NORTH 0 DEGREES 52 MINUTES EAST ON THE EAST LINE OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION, 507.0 FEET; THENCE NORTH 89 DEGREES 44 MINUTES WEST, 388.5 FEET TO THE NORTHWEST CORNER OF A TEN ACRE TRACT OF LAND OWNED BY JOHN H. POOLE FOR A PLACE OF BEGINNING; THENCE CONTINUING NORTH 89 DEGREES 44 MINUTES WEST, 40.0 FEET; THENCE SOUTH 56 DEGREES 18 MINUTES WEST, 404.1 FEET TO THE CENTER LINE OF SAID GARY AVENUE, 89.0 FEET; THENCE NORTH 56 DEGREES 18 MINUTES EAST 515.2 FEET TO AN IRON PIPE; THENCE SOUTH 0 DEGREES 52 MINUTES WEST

135.0 FEET TO THE PLACE OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

1325 N. Gary Avenue
P.I.N. 05-08-408-014

AND ALSO,

LOT 1 IN WILLIAMS RESUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, RECORDED SEPTEMBER 29, 1989, AS DOCUMENT R89-120886 IN DUPAGE COUNTY, ILLINOIS.

1313 N. Gary Avenue
P.I.N. 05-08-408-032

Exhib

AND ALSO,

LOTS 2, 3 AND 4 OF WILLIAMS RE-SUBDIVISION OF THOMPSON'S SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 19, 1978 AS DOCUMENT R78-89345 IN DUPAGE COUNTY, ILLINOIS.

1307, 1303 and 1295 N. Gary Avenue
P.I.N. 05-08-408-033, 05-08-408-034 and 05-08-408-035

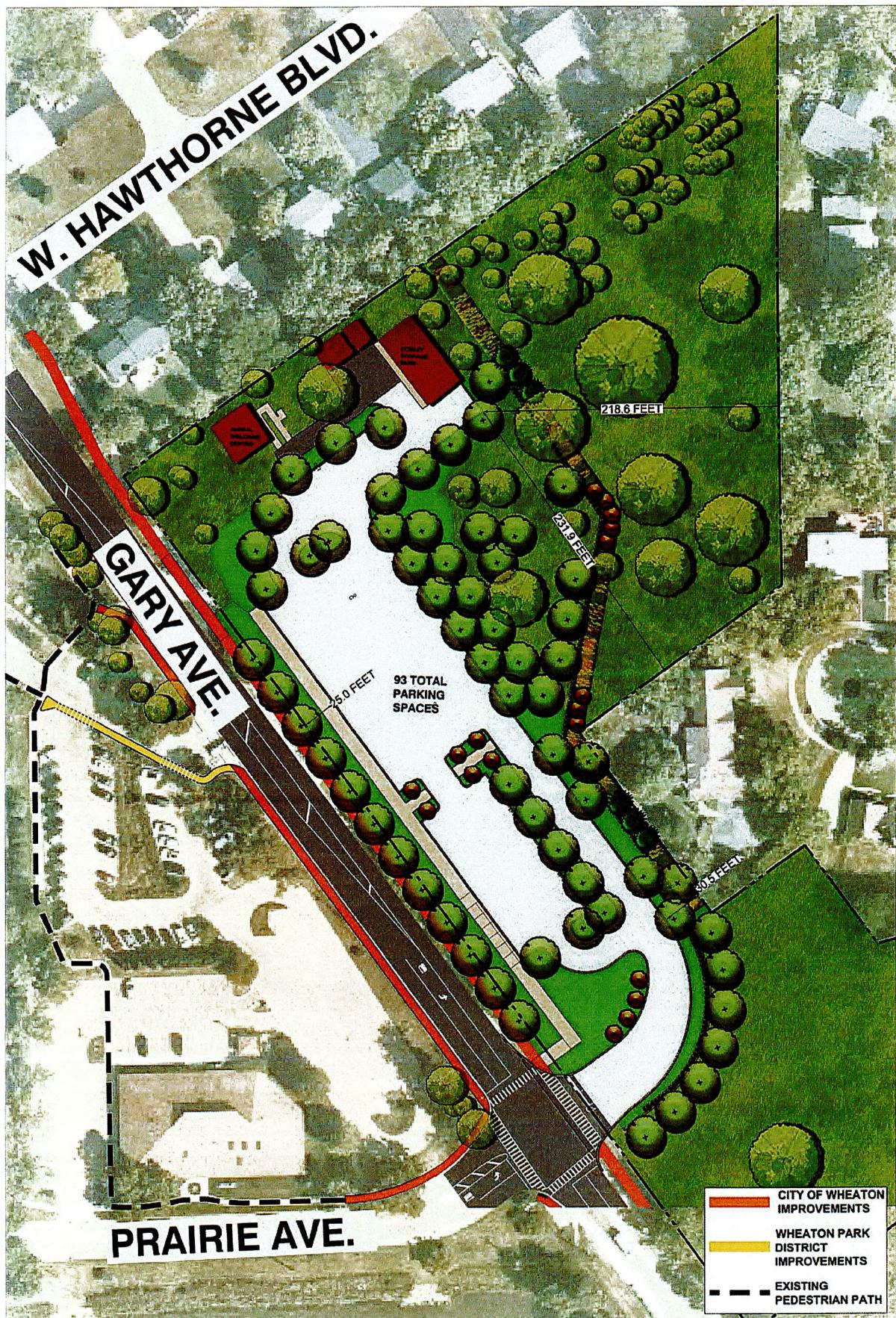
AND ALSO,

LOT 1 IN WHEATON PARK ASSESSMENT PLAT, BEING PART OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 27, 1990 AS DOCUMENT NUMBER R90-160205 IN DUPAGE COUNTY, ILLINOIS.

1225 N. Gary Avenue
P.I.N. 05-08-409-022

Group Exhibit B

"Cosley Zoo Parking Lot Expansion", prepared by Wight and Company, Darien, IL, sheet 1-1, dated April 16, 2024; "Wheaton Park District Cosley Zoo Parking Lot" prepared by Wight and Company, Darien, IL, sheets C1.01, C2.00, C3.00, C3.01, C3.02, C4.00, L1.00, L1.01, L1.02, L1.03, and L2.00, dated May 31, 2024; "Cosley Zoo", prepared by KSA Lighting and Controls, Itasca, IL, sheet 1-1, dated October 22, 2023; and "Topographic Survey for Cosley Zoo, Wheaton, IL", prepared by Civil & Environmental Consultants, Inc., Naperville, IL, sheets 1-2, dated 12/21/2020



Wight

COSLEY ZOO PARKING LOT EXPANSION
Wheaton Park District

10 15 20 30
1 INCH = 30 FEET

DATE: 4/18/2024



wight

Wright & Company
wrightco.com
2500 North Frontage
Danvers, IL 60561
P 630.969.7000
F 630.969.7979

LEGEND

1. INDIVIDUAL,
 LINEAR & IRREGULAR,
 FULL DEPTH/IMPA. AND STONE BASE
 CONCRETE & STONE BASE FOUNDATION,
 PAVING AND STONE BASE CONCRETE
 ENTHALD PAVING COLOR,
 PROPS/STL LINE

DEMO KEY NOTES

1. REMOVE GUMBOIL GUTTER

2. REMOVE COUCHES & BLACK RE ARTHING WALL

3. REMOVE ALL EXISTING CONCRETE

4. REMOVE ALL EXISTING STONE

5. REMOVE ALL EXISTING STONE

6. REMOVE ALL EXISTING STONE

7. REMOVE ALL EXISTING STONE

8. REMOVE ALL EXISTING STONE

9. REMOVE ALL EXISTING STONE

10. REMOVE ALL EXISTING STONE

11. REMOVE ALL EXISTING STONE

12. REMOVE ALL EXISTING STONE

13. REMOVE ALL EXISTING STONE

14. REMOVE FENCE - RE STANCH FOUNDATIONS

15. REMOVE GATE - RE STANCH FOUNDATIONS

16. REMOVE GATE - RE STANCH FOUNDATIONS

17. REMOVE GATE - RE STANCH FOUNDATIONS

18. REMOVE GATE - RE STANCH FOUNDATIONS

19. REMOVE GATE - RE STANCH FOUNDATIONS

20. REMOVE GATE - RE STANCH FOUNDATIONS

21. LOCATE AND PROTECT ELECTRICAL LINE PIPES TO CONCRETE CHIM

22. LOCATE AND PROTECT ELECTRICAL LINE PIPES TO CONCRETE CHIM

DEMOLITION NOTES

CITY COUNCIL 05-317204
REV DESCRIPTION DATE

WHEATON PARK
DISTRICT

**COSLEY ZOO
PARKING LOT**
1356 N GARY AVENUE
WHEATON, IL 60187

DEMOLITION PLAN

הנתקן נרנתקן

01

Exhibit C

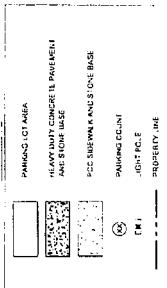




Wight

Wright & Company
wrightco.com
2300 North Frontage Road
Darien, IL 60561
P 630.969.7000
F 630.969.7979

LEGEND



SITE KEY NOTES

PARKING SUMMARY

SIE KEY NOTES

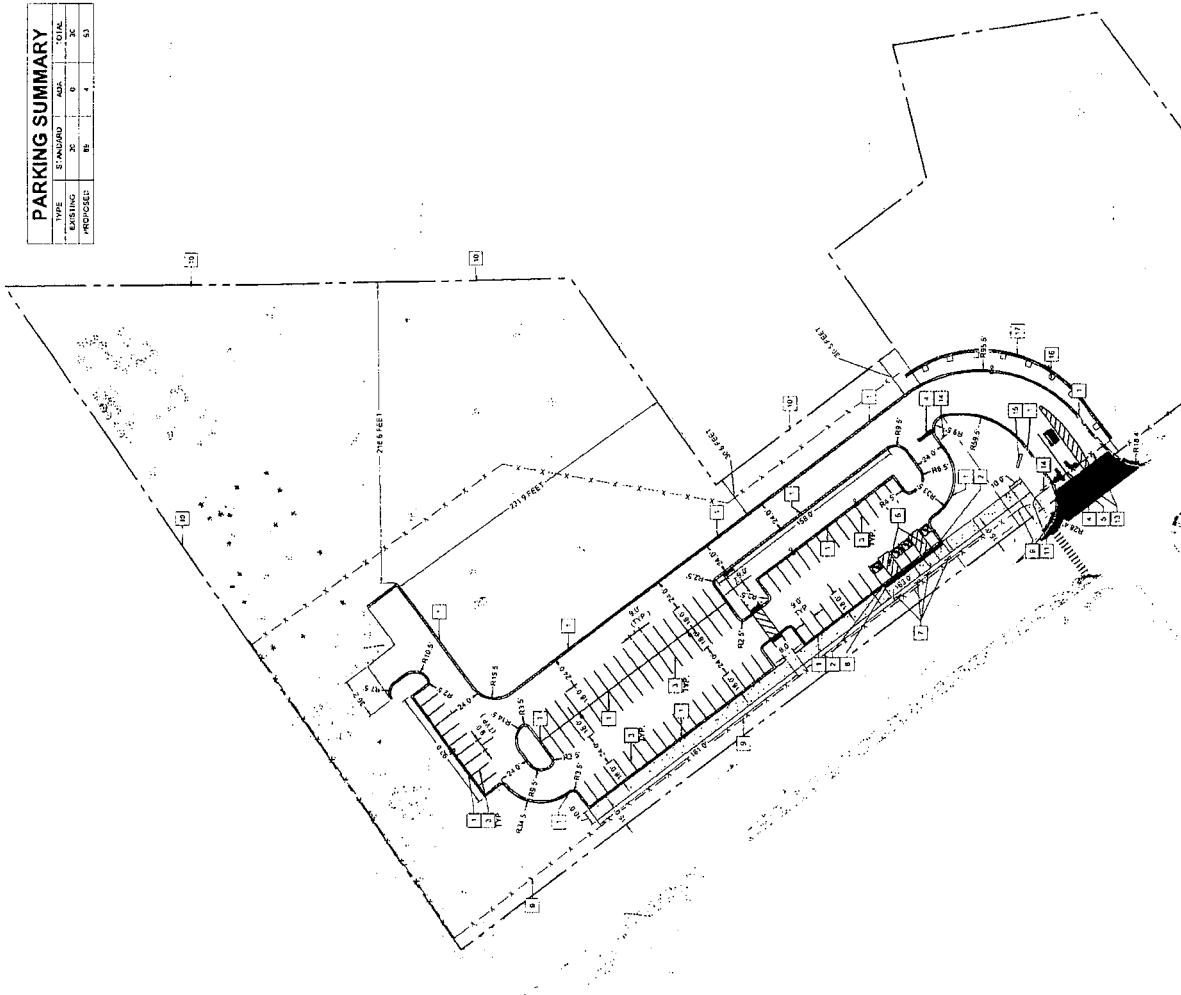
SITE PI ANNOTES

**WHEATON PARK
DISTRICT**
COSLEY ZOO
PARKING LOT
1356 N GARY AVENUE
WHEATON, IL 60187

SITE PLAN



2.00





Wight

LEGEND

NOTES:

GEOTECH NOTE:

FOR ALL RECOMMENDATIONS, REMARKS, AND DISCUSSIONS, THE AUTHOR IS RESPONSIBLE. THE SUBSIDARIES, EXPLANATIONS, AND GEOGRAPHICAL, ECONOMIC, AND POLITICAL COMMENTS, WHICH ARE INCORPORATED IN THIS REPORT, ARE THE WORK OF THE AUTHOR. THE AUTHOR IS ALSO RESPONSIBLE FOR ANY DISCREPANCIES BETWEEN THE REPORT'S NOTICES AND SPECIFICATIONS. THE AUTHOR STRIKES A SPECIAL APPRECIATION FOR THE WORK OF THE COMMITTEE.

COFFEE HOUSE, 612, 10 BURG STREET,
OF THE SITE DEMOLITION CERTIFICATE: ENIA.

MEATTON PARK

STRICT
OSLEY ZOO
RKING LOT
N GARY AVENUE
EATON, IL 60187

GRADING PLAN - NORTH

५३

卷之三

MATCHLINE

גנ"ג י'כט'ג
ג'תב'ג

5\Documents\Working\lot\10\11\Drawings\02\CD\30152\30152.GER\2024\05\23\00 GRADING PLAN - PHASE 1.dwg smg\m31 May 31, 2024 9:28:02 AM



wight

Wright & Company
wrightco.com
22400 North Frontage Road
Darien, IL 60561
830.969.7000
830.969.7979

LEGEND

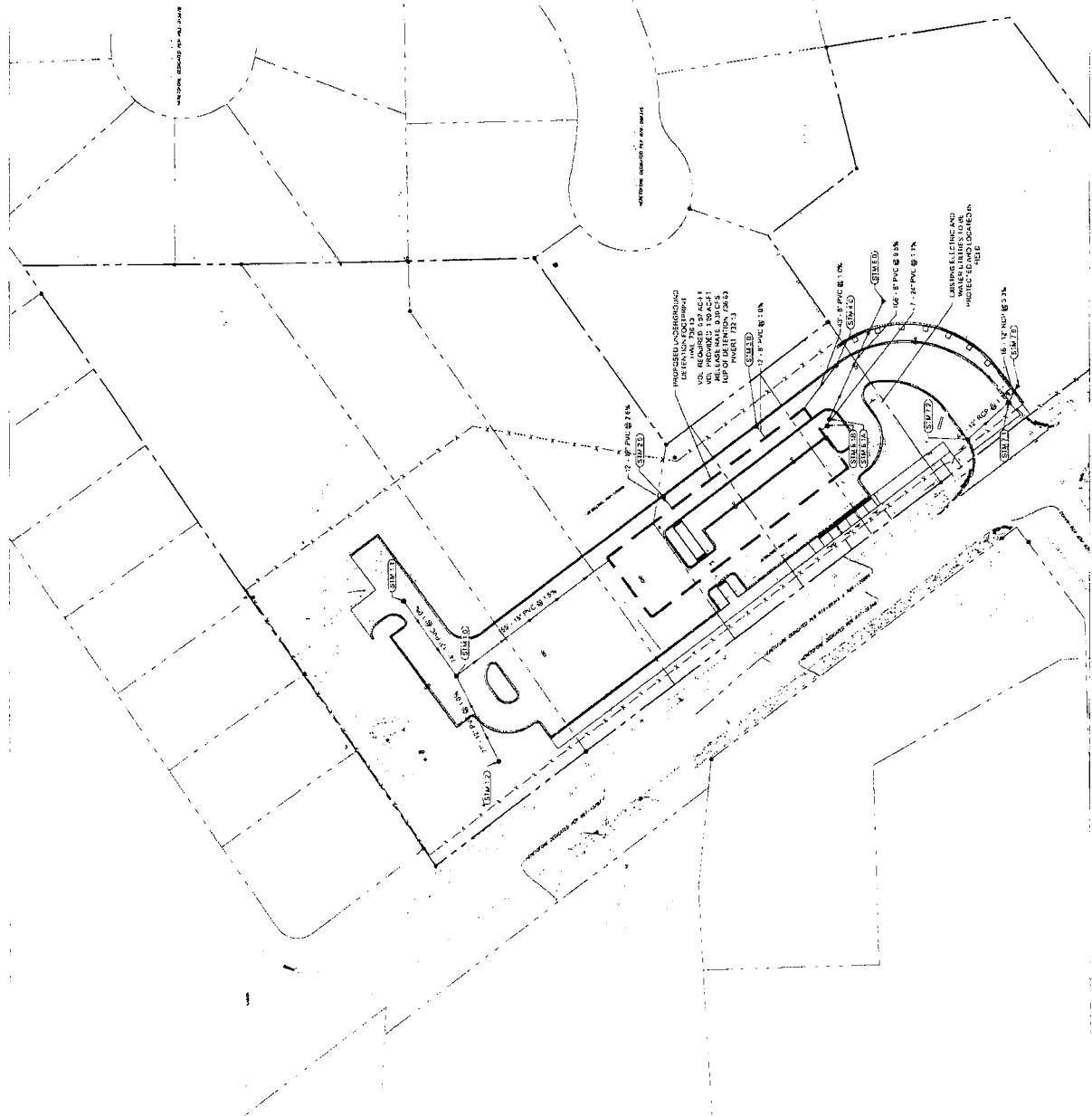
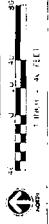
UTILITY NOTES:

ASSESSMENT NOTES

A rectangular sign with a black border. The text is arranged in four lines: "WHEATON PARK" in large, bold, black capital letters at the top; "DISTRICT" in smaller black capital letters below it; "COSLEY ZOO" in large, bold, black capital letters; and "PARKING LOT" in smaller black capital letters at the bottom right. The sign is mounted on a metal post.

UTILITY PLAN

C4.00



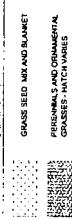


Wight

Wight & Company
wightco.com

2305 North Freight Road
(Dales, IL 60561)
P 630.597.7000
F 630.597.7979

LEGEND



LANDSCAPE NOTES:

1. SECOND LAYER OF LAWNS IS APPROXIMATE, RESTING ON COATING OF DIRT. SMALL SEEDS PLANTED WITH TOPSOIL, DIRT, AND CONTRACTOR'S RESPONSIBILITY TO ESTABLISH AND MAINTAIN. CONTRACTOR TO REINFORCE WITH TOPSOIL AND DIRT.
2. CONTRACTOR TO PLANTING GROWTH SCAPE LAWN, TO ENSURE PLANTING GROWTH IS NOT DISTURBED BY CONSTRUCTION ACTIVITIES.
3. ALL PLANTED PLANTING IS TO BE DISTURBED BY CONSTRUCTION ACTIVITIES.
4. THE CONTRACTOR SHALL PROTECT ANY AND ALL TREES AND SHRUBS FROM CONSTRUCTION ACTIVITIES. CONSTRUCTION ACTIVITIES SHALL NOT DAMAGE PLANTING, FENCING, AND GROWTH PLANS AND PLANTING.
5. THE CONTRACTOR SHALL HAVE NO SUBSTITUTIONS. ARCHITECTURE, THE CONTRACTOR WILL SELL ANY AND ALL PLANTING TECHNIQUES AND METHODS SHALL BE STAGED AND FOR IN-SEED STOCK AND STATED ON HANDBOOK. CONTRACTOR TO USE THE LANDSCAPE ARCHITECTURE'S PLANTING METHODS.
6. CONTRACTOR TO USE THE LANDSCAPE ARCHITECTURE'S PLANTING METHODS.
7. CONTRACTOR TO USE THE LANDSCAPE ARCHITECTURE'S PLANTING METHODS.
8. RECEIVED 1-CUT CAYERALLY PLACED AROUND BASE OF TREES PLANTED IN THIS AREA. WELL LIVED & DRA. MUCH IN THIS AREA.
9. ALL PLANTING SHALL BE PLANTED IN A LINEAR FASHION. TO BE PLANTED IN A LINEAR FASHION.
10. CONTRACTOR TO USE THE LANDSCAPE ARCHITECTURE'S PLANTING METHODS.
11. CONTRACTOR TO USE THE LANDSCAPE ARCHITECTURE'S PLANTING METHODS.
12. CONTRACTOR TO USE THE LANDSCAPE ARCHITECTURE'S PLANTING METHODS.
13. TREES SHALL BE PLANTED IN A LINEAR FASHION. FEEDER, SANITARY, SANITARY SERVICES, WATER.
14. TREES SHALL BE PLANTED IN A LINEAR FASHION. MANHOLE, VALVE, VALVE, VALVE, VALVE, VALVE, AND FIRE.
15. ANY AREA COMPACTED BY CONSTRUCTION TRAFFIC SHALL PLANTING METHODS.
16. THE CONTRACTOR SHALL PLANTING METHODS.

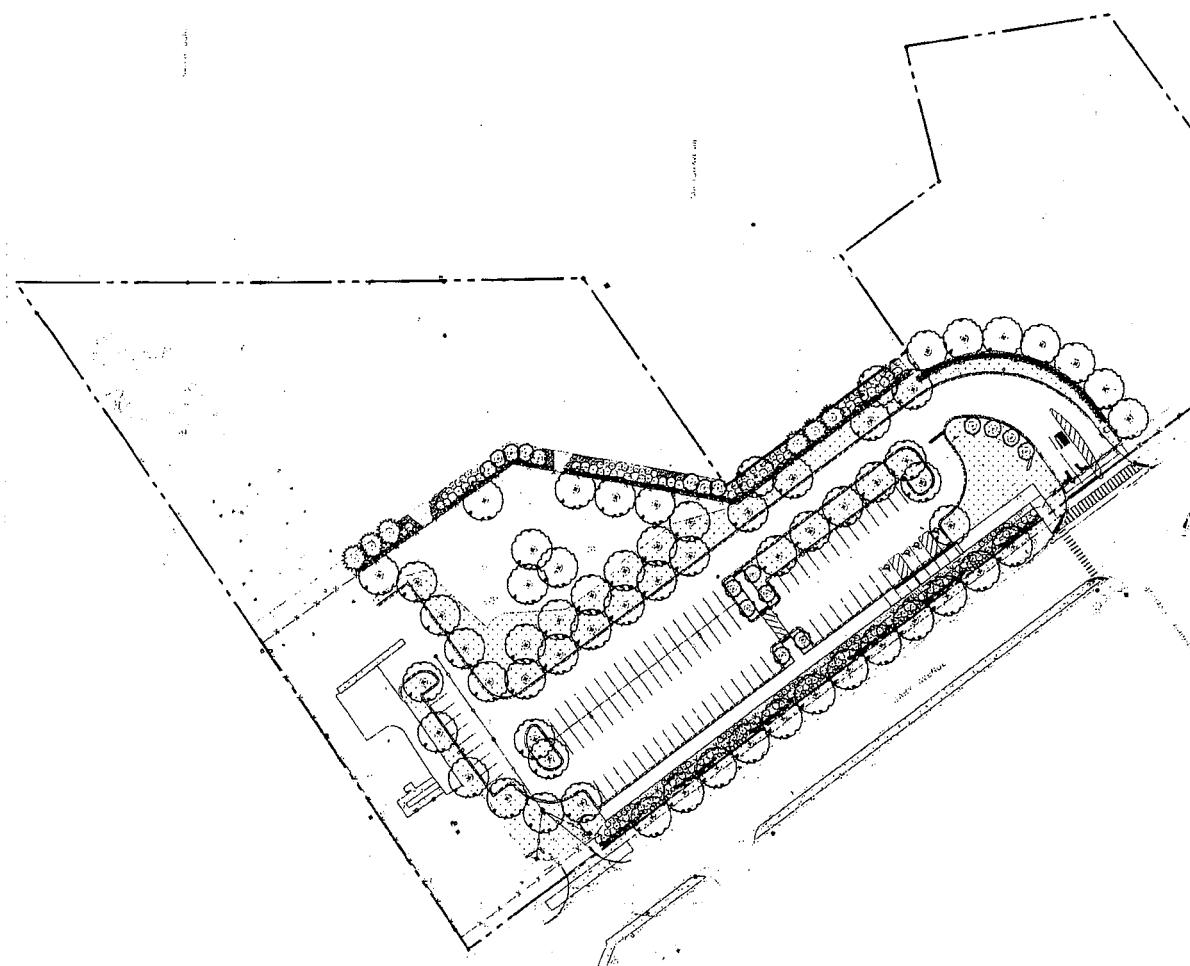
ZONING MEETING
REV 05/14/2024
DESCRIPTION
WHEATON PARK

DISTRICT
COSLEY ZOO
PARKING LOT
1338 N GARY AVENUE
WHEATON, IL 60187

OVERALL LANDSCAPE
PLAN

Project Number: 200142
Date: 05/14/2024
Comments: 00
Sheet: 00

L1.00





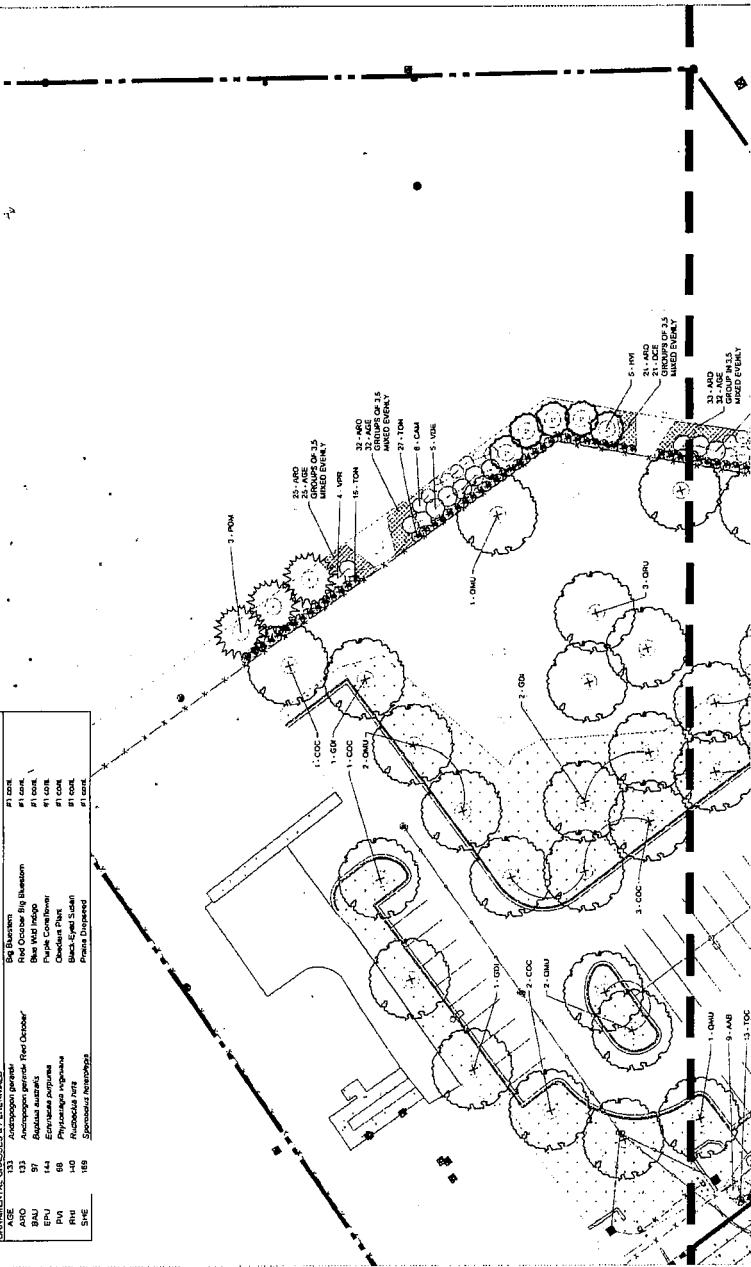
Wight

Wright & Company

LEGEND

LANDSCAPE NOTES:

PLANT LIST



REV	DESCRIPTION	DRAWING ALL. FIG	W.H. NIZZUO
			DATE

WHEATON PARK
DISTRICT

NORTH LANDSCAPE
PLAN

101



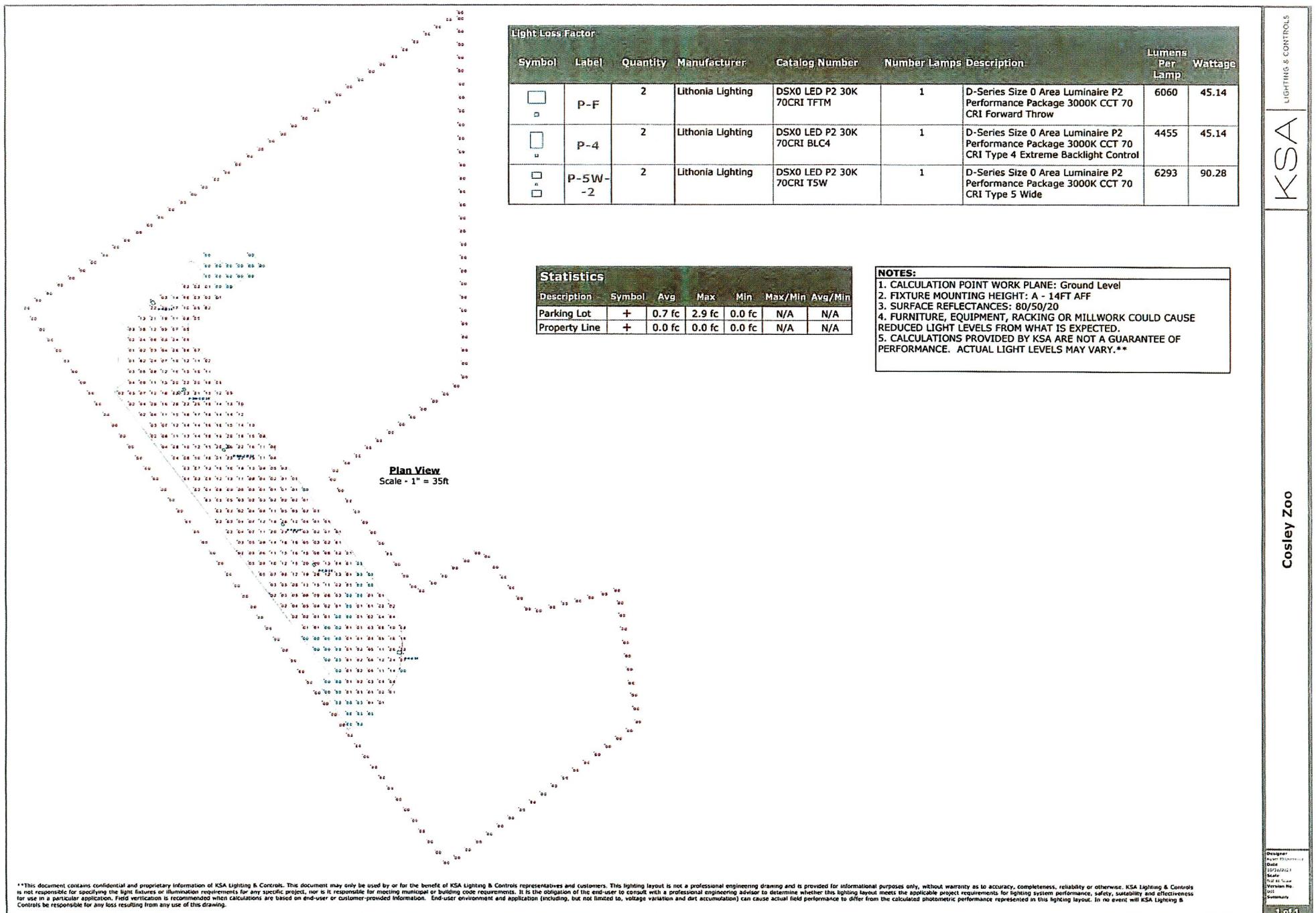
wight

Wright & Company
wrightco.com
2500 North Frontage Road
Darien, IL 60561
P 630.969.7000
F 630.969.7979

**WHEATON PARK
DISTRICT**
COSLEY ZOO
PARKING LOT
1366 N GARY AVENUE
WHEATON, IL 60187

FREE SURVEY
PLAN

L2.00





A circular north arrow icon with a white 'N' inside. To its right, the word 'NORTH' is printed in a bold, sans-serif font. Below 'NORTH', there is a vertical column of text: 'BACK TO MAPS', 'TURNS', 'HALF MILE', 'AV', and 'CITY'.

TOPOGRAPHIC SURVEY
FOR
COSLEY ZOO
WHEATON, ILLINOIS

WHEATON, ILLINOIS

REFERENCES

Exhibit C

FINAL PLAT OF CONSOLIDATION OF

COSLEY ZOO

WHEATON, ILLINOIS 60187
PART OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 39 NORTH.

RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, DUPAGE COUNTY, ILLINOIS

Exhibit C