

ORDINANCE NO. O-2024-20

**AN ORDINANCE GRANTING A REAR YARD SETBACK VARIATION ON A CERTAIN PIECE OF PROPERTY
COMMONLY KNOWN AS 1501 WALDORTH COURT - VAN PROOYEN**

WHEREAS, written application has been made requesting a variation to Article 3.4A.6 of the Wheaton Zoning Ordinance to allow a 10-foot deep by 12-foot wide as-built deck to remain with a rear (west) yard setback of 15.0 feet in lieu of the required 25.0 feet, all on property commonly known as 1501 Waldorth Court, Wheaton, IL 60189; and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on June 11, 2024 to consider the rear yard setback variation request; and the Planning and Zoning Board has recommended approval of the variation.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: The following described property has been and continues to be zoned and classified in the R-3 Residential District zoning classification:

LOT 1 IN WALDORTH COURT RESUBDIVISION, BEING A SUBDIVISION OF LOT 6 IN WALTER D. SANDER'S SECOND SUBDIVISION IN THE SOUTHWEST QUARTER OF SECTION 20, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 9, 2017 AS DOCUMENT NUMBER 2017-014504, IN DUPAGE COUNTY, ILLINOIS.

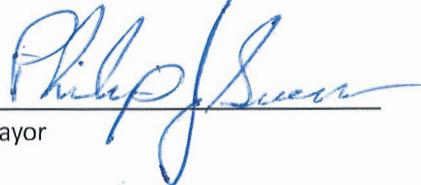
P.I.N. 05-20-309-010

The subject property is commonly known as 1501 Waldorth Court, Wheaton, IL 60189.

Section 2: Pursuant to the Findings of Fact made and determined by the Wheaton Planning and Zoning Board a variation to Article 3.4A.6 of the Wheaton Zoning Ordinance to allow a 10-foot deep by 12-foot wide as-built deck to remain with a rear (west) yard setback of 15.0 feet in lieu of the required 25.0 feet; in full compliance with the following plans: "Final Grading Survey - 1501 Waldorth Court, Wheaton, Illinois", prepared by Webster, McGrath & Ahlberg, Wheaton, IL, sheet 1-1, dated March 26, 2024; and "The Van Prooyen Residence, 1501 Waldorth Court, Wheaton, IL 60189" prepared by the Studio 21 Architects, Downers Grove, IL, sheets A0.0, A2.0, and A4.1, dated April 5, 2023; is hereby approved, subject to the condition that a solid deck skirt is not added to the deck.

Section 3: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 4: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.


Philip J. Sauer
Mayor

ATTEST:


Andrea Rosedale

City Clerk

Roll Call Vote:

Ayes: Councilman Weller
Councilwoman Bray-Parker
Mayor Pro Tem Barbier
Councilwoman Robbins

Nays: None

Absent: Councilman Brown
Mayor Suess
Councilman Clousing

Motion Carried Unanimously

Passed: June 17, 2024

Published: June 18, 2024

The Van Prooyen Residence

1501 Waldorth Court, Wheaton, IL



2018 INTERNATIONAL ENERGY CONSERVATION CODE REQUIREMENTS

A HOMERUN CERTIFICATE SHALL BE POSTED ON THE ELECTRICAL DISTRIBUTION PANEL DOCUMENTING COMPLIANCE WITH THE 2018 INTERNATIONAL ENERGY CODE. CONTRACTOR SHALL LIST THE R-VALUES OF THE INSULATION INSTALLED IN ALL COMPONENTS OF THE BUILDING. THERMAL ENVELOPE, RADIATORS OUTSIDE THE PRIMARY ENVELOPE, AND U-FACTORS FOR ALL FENSTERS, ALONG WITH RESULTS OF AIR LEAKAGE TESTING PERFORMED ON THE HOME. THE CONTRACTOR SHALL ALSO LIST THE R-VALUES OF ALL INSULATION AND COOLING EQUIPMENT HOLDING WATER HEATER.

WATER HEATER THERMOSYSTEN SHALL BE TESTED AND LISTED.

ATTIC ACCESS PANEL SHALL BE INSULATED AND ISOLATED TO THE ATTIC. PROVIDE A CONTINUOUS WOOD FRAMED IN FARMER AT ACCESS PANEL TO PREVENT LOOSE FILL INSULATION FROM SPILLING INTO LIVING SPACES. PROVIDE A WOOD PLATE ABOVE INSULATION DEPTO SUPPORT ACCESS PANEL. WHEN OPEN AND THIS FILL CAVITY ABOVE INSULATION TO PROMOTE ACCESS TO ALL MAJOR AREAS OF THE ATTIC.

FLOOR INSULATION SHALL MAINTAIN PONTOON CONTACT WITH UNDERLAY OF SUBFLOOR DECKING.

INSULATION IN CLOSETS, BATHS, AND OTHER CLOTHED SPACES SHALL BE AIR SEALED WITH ONE OF THE FOLLOWING METHODS: - CARDED, GASKETED.

INSULATION IN CLOSETS, BATHS, AND OTHER CLOTHED SPACES SHALL BE AIR SEALED WITH ONE OF THE FOLLOWING METHODS: - CARDED, GASKETED.

ALL JOINTS, SEAMS AND POSITIONINGS

- SITE-BUILT INSULATIONS, DOINGS AND DRYWALLS

- DRYWALL SEAMS BETWEEN WINDOW AND DOOR FRAMES AND THEIR RESPECTIVE FRAMES

- UTILITY PENETRATIONS

- DROPPED CEILINGS OR CHASIS ADJACENT TO THE THERMAL ENVELOPE

- KNEE WALLS

- WALLS AND CEILINGS SEPARATING A GARAGE FROM CONDITIONED SPACES

- BEYOND TURF AND SASHERS ON EXTERIOR WALLS

- CEILINGS WALLS IN BETWEEN SLEEPING SHEDS

- ATTIC ACCESS OPENINGS

- ROOF JOIST JUNCTION

- OTHER SOURCES OF INFILTRATION

HEATING AND COOLING EQUIPMENT SHALL BE LISTED IN ACCORDANCE WITH NFPA 54A, NFPA 54B, AND NFPA 54C. NFPA 54A, 54B, AND 54C ARE BASED ON ROUNDED LOADS CALCULATED IN ACCORDANCE WITH NFPA 54A, 54B, AND 54C, AND THE COOLING LOADS ARE BASED ON COOLING CALCULATIONS BY NFPA 54C.

PROVIDE BUILT-IN FILTERS AND CLEANERS AND CONDUCTOR AIR FOR ALL NEW WOOD BURNING FIREPLACES.

ALL RELEASABLE LIGHT TIGHT, E.G., THERMAL BARRIER SHALL BE INSULATED AS AIR LEAKAGE RADS. NOT MORE THAN 20 CFM WHEN TESTED IN ACCORDANCE WITH ASTM C352 WHEN TESTED AT A 1.07 PFT (25%) PRESSURE DIFFERENTIAL AND SEAL'D IF FROM THE HOUSING AND EXTERIOR SURFACE WITH GASKET OR CAULK.

PROVIDE A SEPARATE THERMOSTAT FOR ALL FORCED AIR FURNACE SYSTEMS, WITH INITIAL SET POINTS OF NO GREATER THAN 70 DEGREES FOR HEATING AND NOT LESS THAN 78 DEGREES FOR COOLING.

SEAL ALL DUCTS, AIR HANDLING FILTER BOXES TO COMPLY WITH NFPA 41 OF AIR LEAKAGE AND INSULATED TO R-6

ALL DUCTWORK IN UNCONDITIONED SPACES MUST BE INSULATED TO R-6

ALL DUCTWORK IN CLOSETS, BATHS, AND OTHER CLOTHED SPACES MUST BE INSULATED TO R-4 AND INCLUDE AN AUTOMATIC OR MANUALLY ACTIVATED MANUAL SWITCH TO TURN OFF RECAPILATION PUMP WHEN NOT IN USE.

A MINIMUM OF 80% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS, COMPACT FLUORESCENT LAMPS, T-8

UNIVERSAL FLUORESCENT OR LAMPS WITH KARNIN EFFICIENCY AS FOLLOWS:

- 50 LUMENS PER WATT FOR LAMPS OVER 40 WATTS
- 50 LUMENS PER WATT FOR LAMPS OVER 15 WATTS AND LESS THAN 40 WATTS
- 40 LUMENS PER WATT FOR LAMPS 15 WATTS OR LESS

THE COMPONENTS OF THE BUILDING THERMAL ENVELOPE AS LISTED IN TABLE PAGE 4.1.1. SHALL BE INSULATED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE 402.1.1, AS APPROPRIATE TO THE METHOD OF CONSTRUCTION.

THE BUILDING DE-CHILLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 1.00 CUBIC FEET PER HOUR. TESTING SHALL BE CONDUCTED WITH A BLOWER DOOR AT A PRESSURE OF 0.2 INCHES W.C. (0.5 PASCALS) WHERE REQUIRED BY CODE. OFFICIAL TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE PROVIDED TO THE OWNER FOR RECORDS AND APPROVAL. UNOFFICIAL TESTING SHALL BE PERFORMED AT ANY TIME AFTER THE CREATION OF ALL PRACTICABLE TESTS OF THE BUILDING THERMAL ENVELOPE.

COMPLIANCE WITH THE 2018 IECC WILL BE BASED ON THE PRESCRIPTIVE REQUIREMENTS OF THE CODES.

TABLE 402.1 (2018 EEC)	FIRESTOPPING	SIGHT	SOUND	WATER	WATER	FLOOR	FIRESTOPPING	WATER	WATER
WALL	WALL	WALL	WALL	WALL	WALL	WALL	WALL	WALL	WALL
W	S-20	S-30	S-10	30-00	30-00	30-00	S-100	30-00	30-00

1.00 = 0.0001, 0.5 = 0.0002, 0.2 = 0.0003

GENERAL NOTES

REPRODUCTION OF THESE PLANS IN WHOLE OR IN PART IS PROHIBITED WITHOUT THE WRITTEN PERMISSION FROM STUDIO21 ARCHITECTS.

THE ARCHITECT IS NOT RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO FOLLOW THE REQUIREMENTS OF THE CODES. THE ARCHITECT IS NOT RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO FOLLOW THE REQUIREMENTS OF THE CODES. THE ARCHITECT IS NOT RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO FOLLOW THE REQUIREMENTS OF THE CODES.

THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

DIMENSIONS NOTED ARE TO THE FACE OF THE FINISH WALL SURFACES.

DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS. DRAWINGS DRAINED TO DETERMINE ANY DISTANCES.

ALL CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE BUILDING CODES AND RESTRICTIONS.

CONTRACTOR SHALL ENSURE THE SAFETY OF THE OCCUPANTS OR WORKERS AT ALL TIMES.

THE CONTRACTOR SHALL FILL HEAVY HOLE AND CRACKS IN THE EXTERIOR WALLS AND FLOOR JOISTS WITH ANY WORK. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES BEFORE COMMENCING WORK.

SHEET INDEX

A0.0 COVER SHEET

A0.1 CONSTRUCTION STANDARDS

A1.0 FOUNDATION PLAN

A2.0 FIRST FLOOR PLAN

A2.1 SECOND FLOOR PLAN

A3.0 ROOF PLAN

A4.0 FRONT ELEVATION

A4.1 REAR, RIGHT & LEFT ELEVATIONS

A5.0 WALL SECTIONS

A5.1 WALL SECTIONS

A6.0 INTERIOR ELEVATIONS

A6.1 INTERIOR ELEVATIONS

E1.0 BASEMENT ELECTRICAL PLAN

E2.0 FIRST FLOOR ELECTRICAL

ZONING ANALYSIS

DISTRICT: R-3
WALL: 10'-0" x 30'-0"

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REAR ELEVATION

A4.1

2023/05/23 04:05:23

5012 Fairview Ave.
Downers Grove, IL 60515
630.789.2513
studio21architects.com

The Van Prooyen Residence

GENERAL NOTES

1. *W. C. Gandy, Jr.* (1966) *Journal of the American Statistical Association* 61, 1000-1003.

This figure contains two parts: an architectural elevation drawing of a house and a table of general notes.

Left Elevation: A detailed line drawing of a two-story house. The front facade features a central entrance with a double door and a transom window above. Flanking the entrance are two sets of four windows each, arranged in a 2x2 grid. The roof is a gabled design with a central chimney. The exterior is depicted with vertical hatching, suggesting a wood-plank or shingle finish. The drawing includes a north arrow and a scale bar indicating 1/2" = 1'-0".

General Notes:

Item	Description	Notes
1	Front door	10'0" wide, 7'0" high, with sidelights
2	Side door	3'0" wide, 7'0" high
3	Windows	Double-hung windows, 2'0" wide by 4'0" high
4	Roof	Gabled roof with a 12/12 pitch
5	Exterior	Vertical hatching for wood-plank or shingle finish
6	Chimney	Central chimney, 4'0" wide by 8'0" high
7	Foundation	Concrete foundation, 8'0" wide by 10'0" deep
8	Stairs	Wooden stairs leading to the front door
9	Roofline	Decorative roofline with decorative brackets
10	Exterior trim	Wooden trim around windows and doors
11	Front entrance	Large entrance with a transom window
12	Side entrance	Smaller entrance on the side of the house
13	Windows on the side	Four windows on the side of the house
14	Windows on the front	Four windows on the front of the house
15	Front door	Large front door with sidelights
16	Side door	Small side door
17	Windows	Double-hung windows
18	Roof	Gabled roof
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