

ORDINANCE NO. O-2024-20

**AN ORDINANCE GRANTING A REAR YARD SETBACK VARIATION ON A CERTAIN PIECE OF PROPERTY
COMMONLY KNOWN AS 1501 WALDORTH COURT - VAN PROOYEN**

WHEREAS, written application has been made requesting a variation to Article 3.4A.6 of the Wheaton Zoning Ordinance to allow a 10-foot deep by 12-foot wide as-built deck to remain with a rear (west) yard setback of 15.0 feet in lieu of the required 25.0 feet, all on property commonly known as 1501 Waldorth Court, Wheaton, IL 60189; and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on June 11, 2024 to consider the rear yard setback variation request; and the Planning and Zoning Board has recommended approval of the variation.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: The following described property has been and continues to be zoned and classified in the R-3 Residential District zoning classification:

LOT 1 IN WALDORTH COURT RESUBDIVISION, BEING A SUBDIVISION OF LOT 6 IN WALTER D. SANDER'S SECOND SUBDIVISION IN THE SOUTHWEST QUARTER OF SECTION 20, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 9, 2017 AS DOCUMENT NUMBER 2017-014504, IN DUPAGE COUNTY, ILLINOIS.

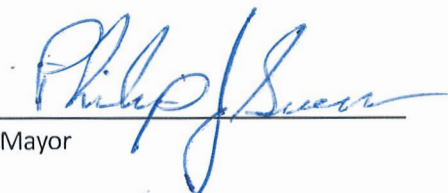
P.I.N. 05-20-309-010

The subject property is commonly known as 1501 Waldorth Court, Wheaton, IL 60189.

Section 2: Pursuant to the Findings of Fact made and determined by the Wheaton Planning and Zoning Board a variation to Article 3.4A.6 of the Wheaton Zoning Ordinance to allow a 10-foot deep by 12-foot wide as-built deck to remain with a rear (west) yard setback of 15.0 feet in lieu of the required 25.0 feet; in full compliance with the following plans: "Final Grading Survey - 1501 Waldorth Court, Wheaton, Illinois", prepared by Webster, McGrath & Ahlberg, Wheaton, IL, sheet 1-1, dated March 26, 2024; and "The Van Prooyen Residence, 1501 Waldorth Court, Wheaton, IL 60189" prepared by the Studio 21 Architects, Downers Grove, IL, sheets A0.0, A2.0, and A4.1, dated April 5, 2023; is hereby approved, subject to the condition that a solid deck skirt is not added to the deck.

Section 3: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 4: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.



Mayor

ATTEST:



City Clerk

Ayes:

Roll Call Vote:

Councilman Weller
Councilwoman Bray-Parker
Mayor Pro Tem Barbier
Councilwoman Robbins

Nays:

None

Absent:

Councilman Brown
Mayor Suess
Councilman Clousing

Motion Carried Unanimously

Passed: June 17, 2024

Published: June 18, 2024

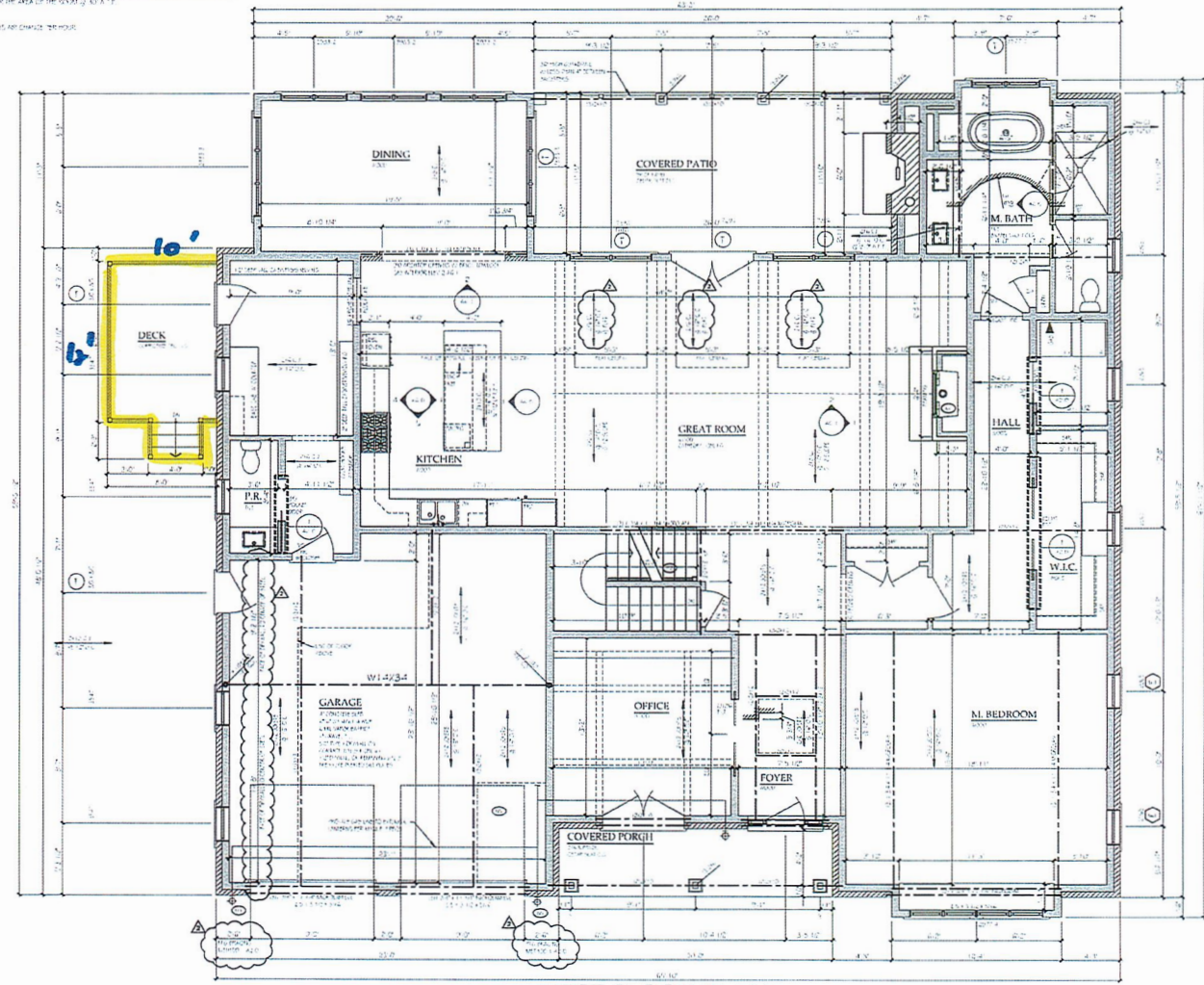
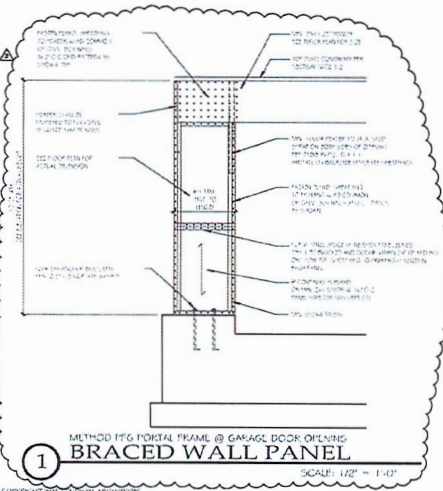
		CODE REQUIREMENTS				ACTUAL PROVIDED			
		NATURAL LIGHT & VENTILATION		MECH VENT		NATURAL LIGHT & VENTILATION		MECH VENT	
ROOM	USE	FOLLOW PERM	ORALS	PERM	ORALS	FOLLOW PERM	ORALS	PERM	ORALS
MARKING	DESCRIPTION	1/2 FT	1/2 FT	1/2 FT	1/2 FT	1/2 FT	1/2 FT	1/2 FT	1/2 FT
	MAINT. BLDG	206	224	17.1		21.00	49.00		
	SPRINT ROOM	190	184	23.8		22.80	74.00		
	DRUGS	202	214	25.1		31.50	25.10		
	LABORATORY	191	181	117.2		8.30	8.30		
	LABORATORY	167	161	3.2		16.30	17.00		
	MAINT. BLDG *	22			22.40			70.00	

²² In 2004, when natural vegetation is not provided, an approved biological vegetation system must be provided capable of producing at least 100 kg of biomass per hectare.

MS-DOOS DOES NOT AFFORD LIABILITY FOR DESIGN DEFECTS AND PRODUCT LIABILITY
NOTICE COMPLAINT



1. **Identify the problem.** The problem is that the company is not meeting its production goals. The problem is that the company is not meeting its production goals. The problem is that the company is not meeting its production goals.
 2. **Identify the causes of the problem.** The causes of the problem are that the company is not meeting its production goals. The causes of the problem are that the company is not meeting its production goals. The causes of the problem are that the company is not meeting its production goals.
 3. **Identify the effects of the problem.** The effects of the problem are that the company is not meeting its production goals. The effects of the problem are that the company is not meeting its production goals. The effects of the problem are that the company is not meeting its production goals.
 4. **Identify the solutions to the problem.** The solutions to the problem are that the company is not meeting its production goals. The solutions to the problem are that the company is not meeting its production goals. The solutions to the problem are that the company is not meeting its production goals.

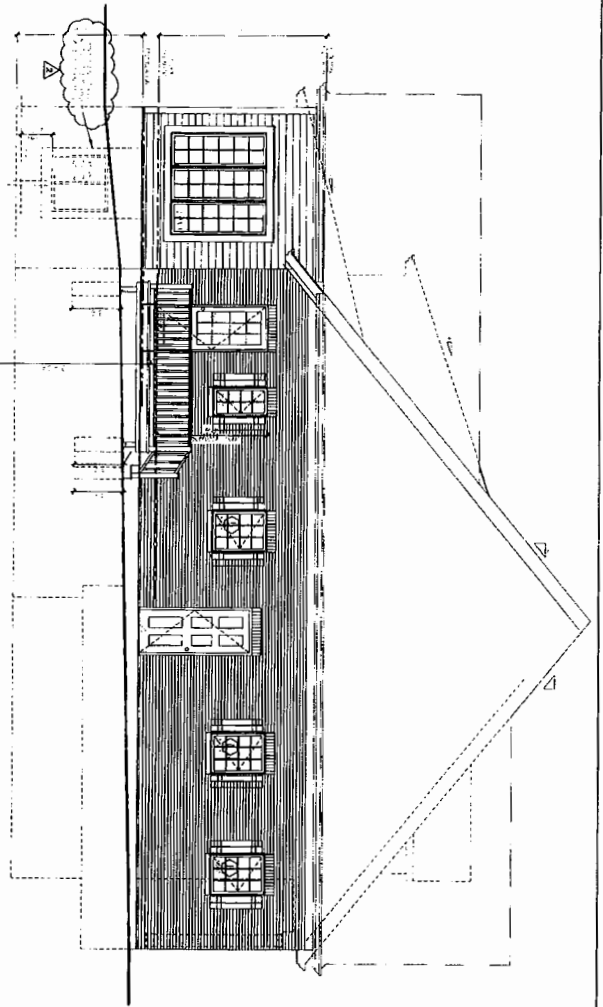


SCALE: 1/4" = 1'-0"

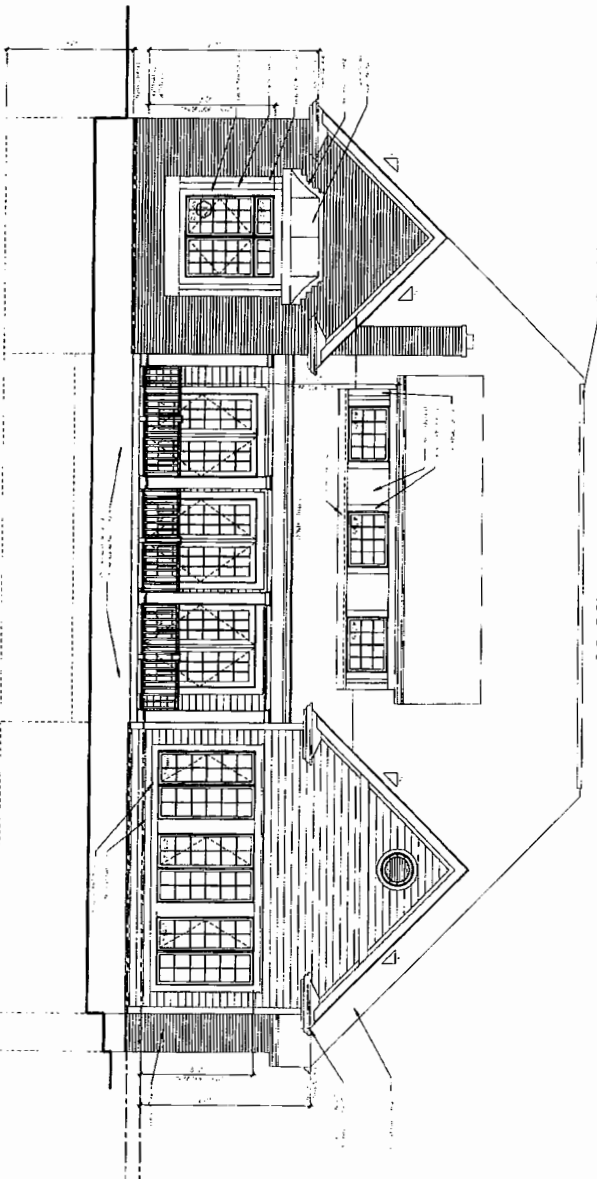
GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES OF THE CITY OF CHICAGO AND THE STATE OF ILLINOIS.
2. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES AND RECORD DRAWINGS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ADJACENT PROPERTY NOTICES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ADJACENT PROPERTY NOTICES.
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10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ADJACENT PROPERTY NOTICES.

LEFT ELEVATION
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"



The Van Prooyen Residence
1501 Waldorth Court, Wheaton, IL 60189

3012 Fairview Ave.
Downers Grove, IL 60515
630.789.2513
studio21architects.com



04/05/23
21157
A4.1

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