

ORDINANCE NO. O-2024-07

**AN ORDINANCE GRANTING MULTIPLE VARIATIONS ON A CERTAIN PIECE OF PROPERTY COMMONLY
KNOWN AS 520 CHILDS STREET - NOORDHOEK**

WHEREAS, written application has been made requesting multiple variations to allow the construction and use of a new 16 by 40 foot in-ground pool and a new two-story, 700 square foot detached garage (following the demolition of the existing garage), which includes the following variations: Variation to Article 3.4B.1a to allow improvements to an existing 46.33 foot wide lot in lieu of the 50.0 foot minimum; a variation to Article 24.5.8 to allow pool decking with a side yard setback of 6 feet in lieu of the required 10 feet; a variation to Article 24.5.8 to allow an equipment pad with a side yard setback of 7 feet in lieu of the required 10 feet; and a variation to Article 24.3.2 to allow a two-story detached garage in lieu of the one and one-half story limit, all on property commonly known as 520 Childs Street, Wheaton, Illinois 60187; and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on January 9, 2024 and February 27, 2024 to consider multiple variation requests; and the Planning and Zoning Board has recommended approval of the multiple variations.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: The following described property has been and continues to be zoned and classified in the R-4 Residential District zoning classification:

THE WEST FORTY-SIX AND ONE THIRD FEET OF THE EAST NINETY-TWO AND 2/3 FEET OF LOT 14 IN COUNTY CLERK'S ASSESSMENT DIVISION OF THE SOUTH HALF OF THE NORTHEAST QUARTER AND SOUTHEAST QUARTER OF SECTION 17, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

P.I.N. 05-17-418-007

The subject property is commonly known as 520 Childs Street, Wheaton, IL 60187.

Section 2: Pursuant to the Findings of Fact made and determined by the Wheaton Planning and Zoning Board a variation to Article 3.4B.1a to allow improvements to an existing 46.33 foot wide lot in lieu of the 50.0 foot minimum; a variation to Article 24.5.8 to allow pool decking with a side yard setback of 6 feet in lieu of the required 10 feet; a variation to Article 24.5.8 to allow an equipment pad with a side yard setback of 7 feet in lieu of the required 10 feet; and a variation to Article 24.3.2 to allow a two-story detached garage in lieu of the one and one-half story limit are granted for a new 16 by 40 foot in-ground pool and a new two-story, 700 square foot detached garage (following the demolition of the existing garage), in full compliance with the following plans: "Site Plan - 520 Childs Street", prepared by Steinbrecher Land Surveyors, West Chicago, IL, sheet 1-1; and "Noordhoek In-Ground Pool and Detached Garage, 520 Childs Street, Wheaton, IL 60187" prepared by the property owner, sheets 1-13, subject to the following conditions:

1. The engineering plan shall be subject to further staff review prior to the issuance of a site development permit; and

2. Additional fire protection shall be added to the structure between the garage area and the living space.

Section 3: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 4: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.



Philip Suess
Mayor

ATTEST:



Andrea Rosedale

City Clerk

Roll Call Vote:

Ayes:	Councilman Barbier Mayor Suess Councilman Clousing Councilwoman Robbins Councilman Weller
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Nays:	None
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Absent:	Councilwoman Bray-Parker Councilman Brown
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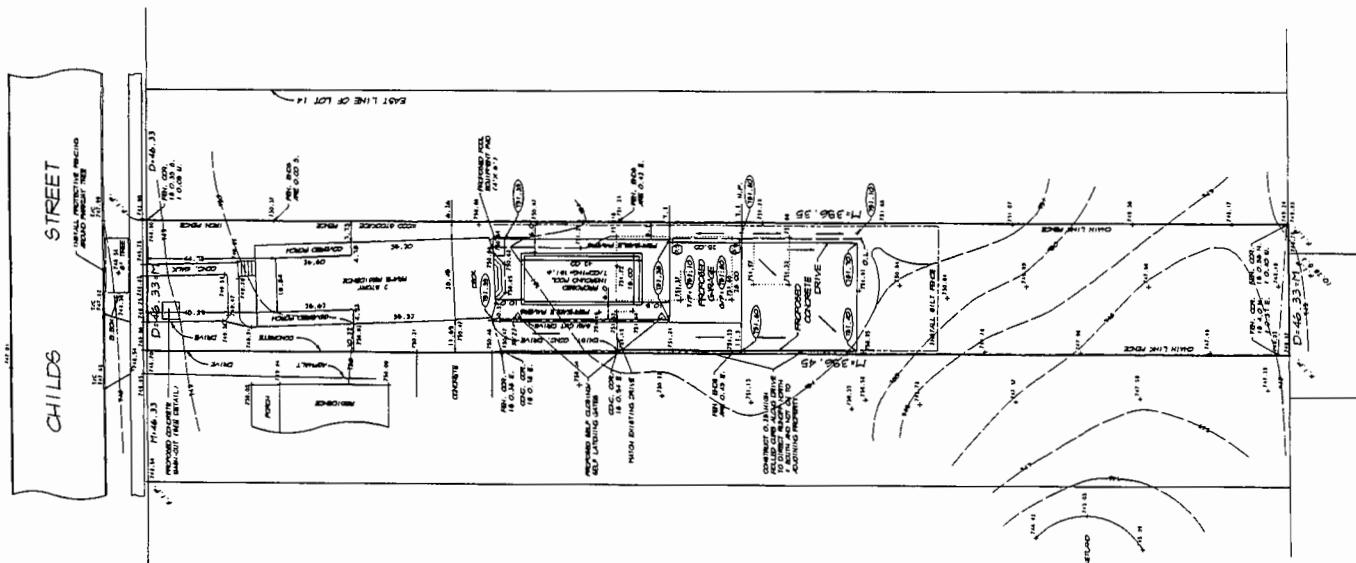
Motion Carried Unanimously

Passed: March 4, 2024

Published: March 5, 2024

THE WEST FORTY-SIX AND ONE-THIRD (46 1/3) FEET OF THE EAST NINETY-TWO AND TWO-THIRD (92 2/3) FEET OF LOT 14 IN COUNTY CLERK'S ASSESSMENT DIVISION OF THE SOUTH HALF OF THE NORTHEAST QUARTER AND THE SOUTHEAST QUARTER OF SECTION 17, TOWNSHIP 38, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DU PAGE COUNTY, ILLINOIS.

SCALE 1. • 20 FEET



LOT AREA - 18,367 SF
 BEST MANAGEMENT PRACTICE (BMP)
 IMPERVIOUS AREA TABLE
EXISTING (MONTHS REMAINING)
 DRIVE/PATIO : 1804 SF
 DRIVE : 833 SF
 GARAGE : 100 SF
 TOTAL : 2737 SF
PROPOSED
 DRIVE : 2411 SF
 DRIVE (COVERABLE) : 746 SF
 POOL (18' X 42') : 726 SF
 GARAGE : 300 SF
 TOTAL : 3667 SF
 INCREASED IMPERVIOUS: 1130 SF

REFERENCE BENCHMARK - DU PAGE CO. 0105
DISK MONUMENT IN RETAINING WALL OF
PARKING GARAGE AT "T" INTERSECTION OF
CARLTON AVENUE AND LIBERTY DRIVE.
ELEVATION + 753.20 NAVD88

Steinbrecher Land Surveyors, Inc.

LEGEND

F.I.P.	FIELD IRON PIPE
F.I.R.	FIELD IRON ROD
R.	RECORDED DISTANCE
M.	MEASURED DISTANCE
D.	DEAD
R.E.W.	RIGHT OF WAY
RAD.	RADIUS
CONC.	CONCRETE
M.M.	MATERIAL
V.V.	VALVE, VALVE VAVEL
DAY	DAY
PVC	POLYVINYL CHLORIDE PIPE
PCP	POLYCHLOROPHENYL CONCRETE PIPE
TC	TOP OF CURVE
EP	EDGE OF PAVEMENT

STATE OF ILLINOIS }
COUNTY OF DUPAGE } S. S.

This is to certify that Steinbrencher Land Surveyors, Inc., Registered Professional Land Surveying Design Firm Corporation No. 184-003126, has surveyed the property shown and described hereon, which is to the best of our knowledge and belief, a correct representation thereof. This professional service conforms to the current Illinois minimum standards for a boundary survey.

West Chicago, Illinois, February 12, 2024

STATE OF ILLINOIS ;
I. S. S.

COUNTY OF DUVALAGE)
To the best of my knowledge and belief that such surface waters will be planned for in accordance with generally accepted engineering practices and that the development of the subject site in accordance with the site development plan will not increase the amount or rate of runoff so as adversely affect the quality of surface water draining onto other properties and will not damage other properties.

West Chicago, Illinois February 20, 2024

Richard J. Stembrecher
Professional Land Surveyor 3583
Licensee expires Nov. 30, 2024

A circular stamp with the following text:

RICHARD J. STINCHCOMBE
PROFESSIONAL
LAND
SURVEYOR
C.S.P., 3983
211, CHICO, CA.

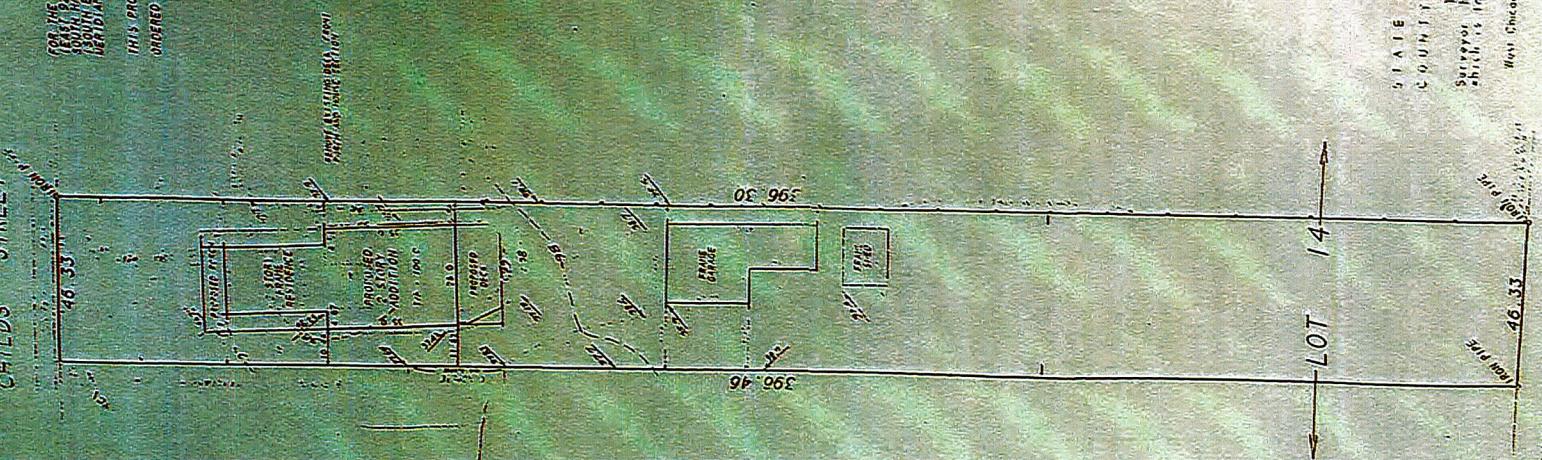
PROJECT LOCATION:
520 W. CHILD STREET
WHEATON, ILL.

S I T E P L A N

SHEET
1 OF

SITE PLAN

CHILDS STREET



THIS PROPERTY IS KNOWN AS 520 N. CHILDS STREET, MICHIGAN, IL.
THIS PROPERTY IS LOCATED ON THE EAST SIDE OF THE PROPERTY LINE, AND IS
SUBDIVIDED INTO TWO LOTS, ONE LOT BEING 396'-46" IN WIDTH AND 14'-0"
IN DEPTH, AND THE OTHER LOT BEING 14'-0" IN DEPTH AND 46'-33" IN WIDTH.
THIS PROPERTY IS LOCATED ON THE EAST SIDE OF THE PROPERTY LINE, AND IS
SUBDIVIDED INTO TWO LOTS, ONE LOT BEING 396'-46" IN WIDTH AND 14'-0"
IN DEPTH, AND THE OTHER LOT BEING 14'-0" IN DEPTH AND 46'-33" IN WIDTH.
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Steinbrencher Land Surveyors
Professional Engineers and Registered Land Surveyors
1113 North Lehigh, West Chicago, IL 60185-2400
Fax 708-395-8900

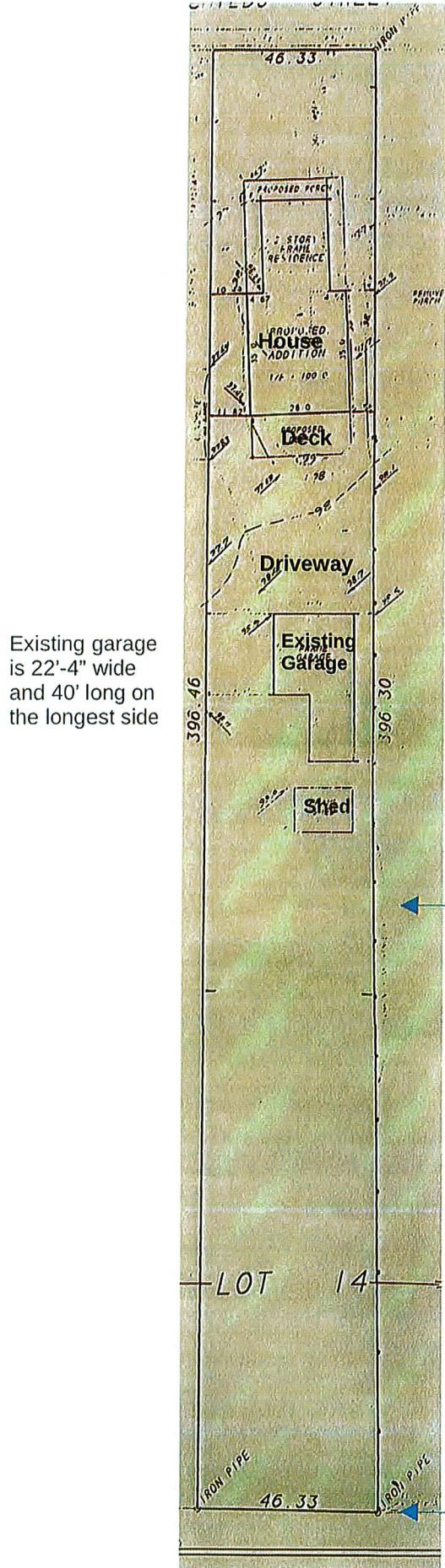


STATE OF ILLINOIS
COUNTY OF DU PAGE
This is to certify that Harold F. Steinbrencher, Jr. a Registered Professional Engineer and Registered Land Surveyor, has surveyed and prepared a Site Plan for the property located in the City of West Chicago, Illinois and believe it to be a correct representation of the same.

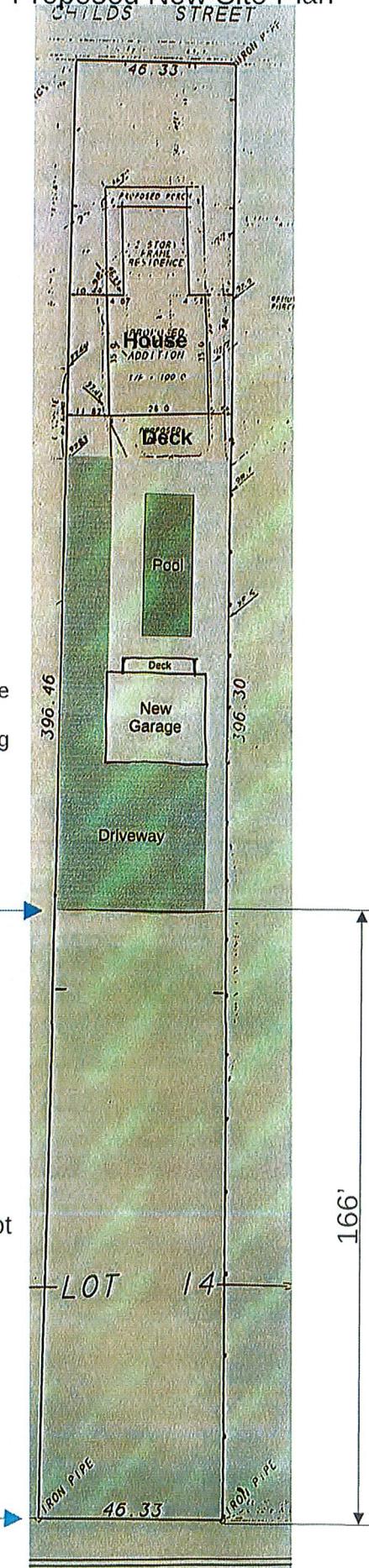
West Chicago, IL June 16, 1998

Harold F. Steinbrencher, Jr.
Registered Professional Engineer #22024
Registered Land Surveyor #5934

Current Site Plan



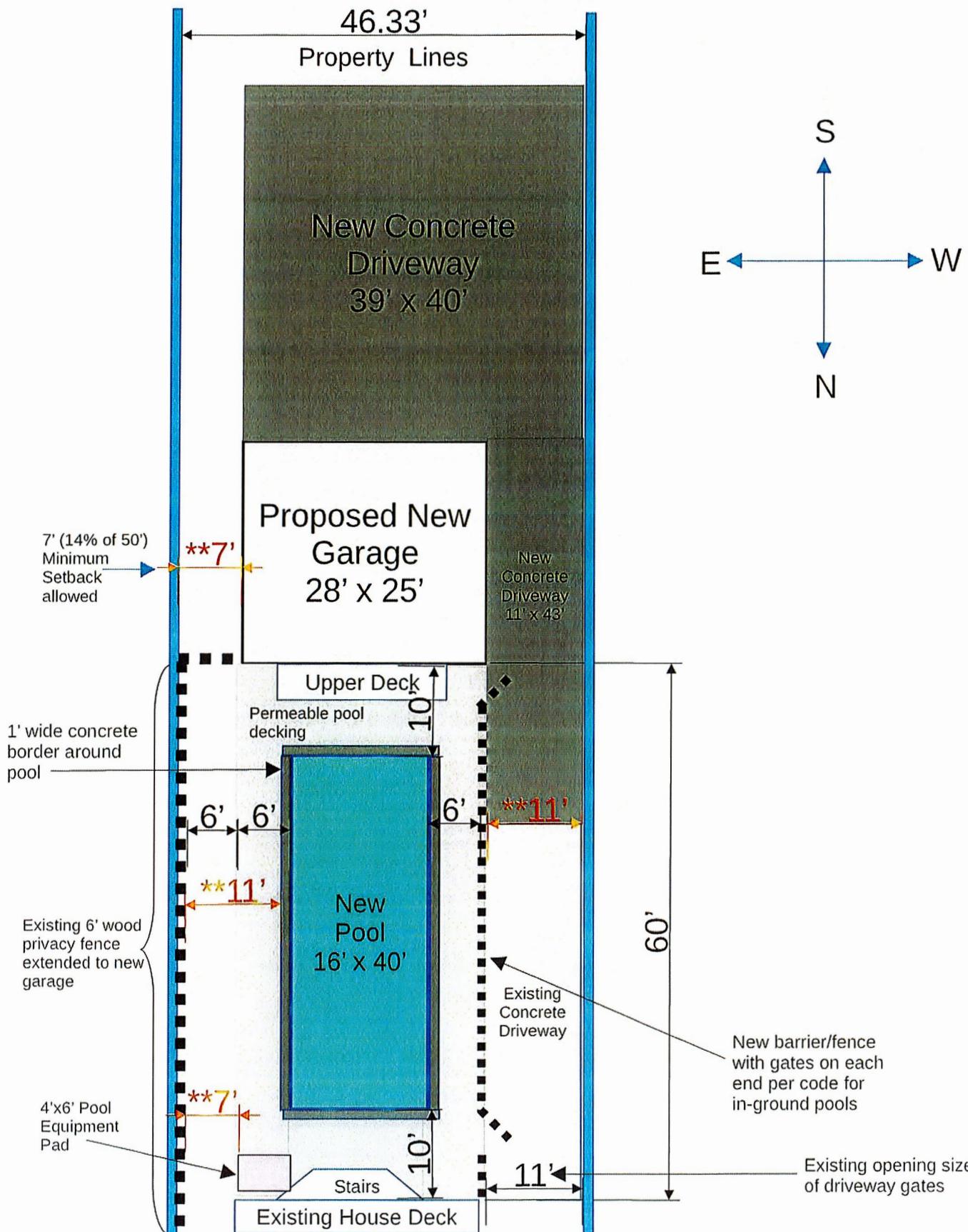
Proposed New Site Plan



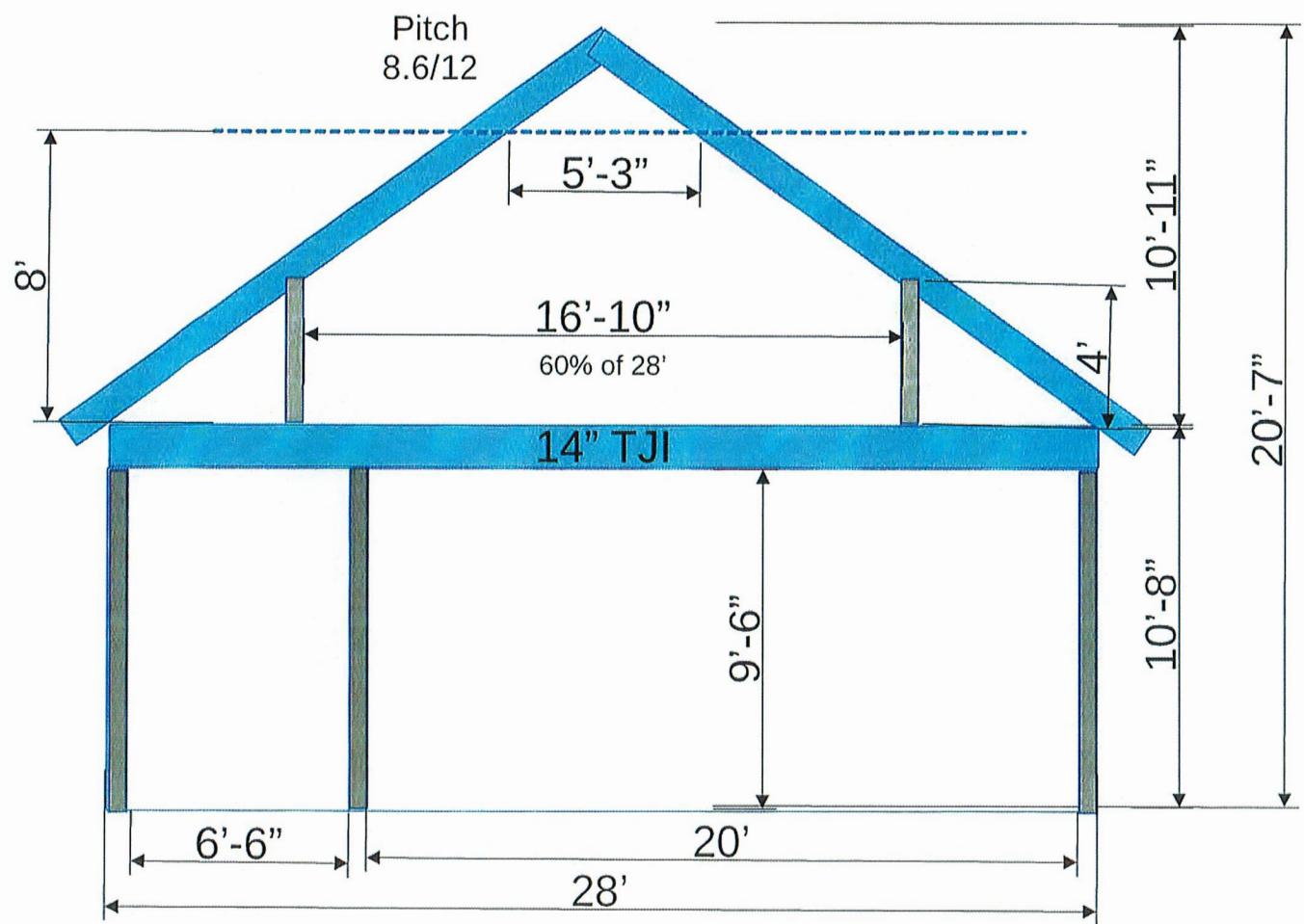
Propose New Site Plan

(zoomed in)

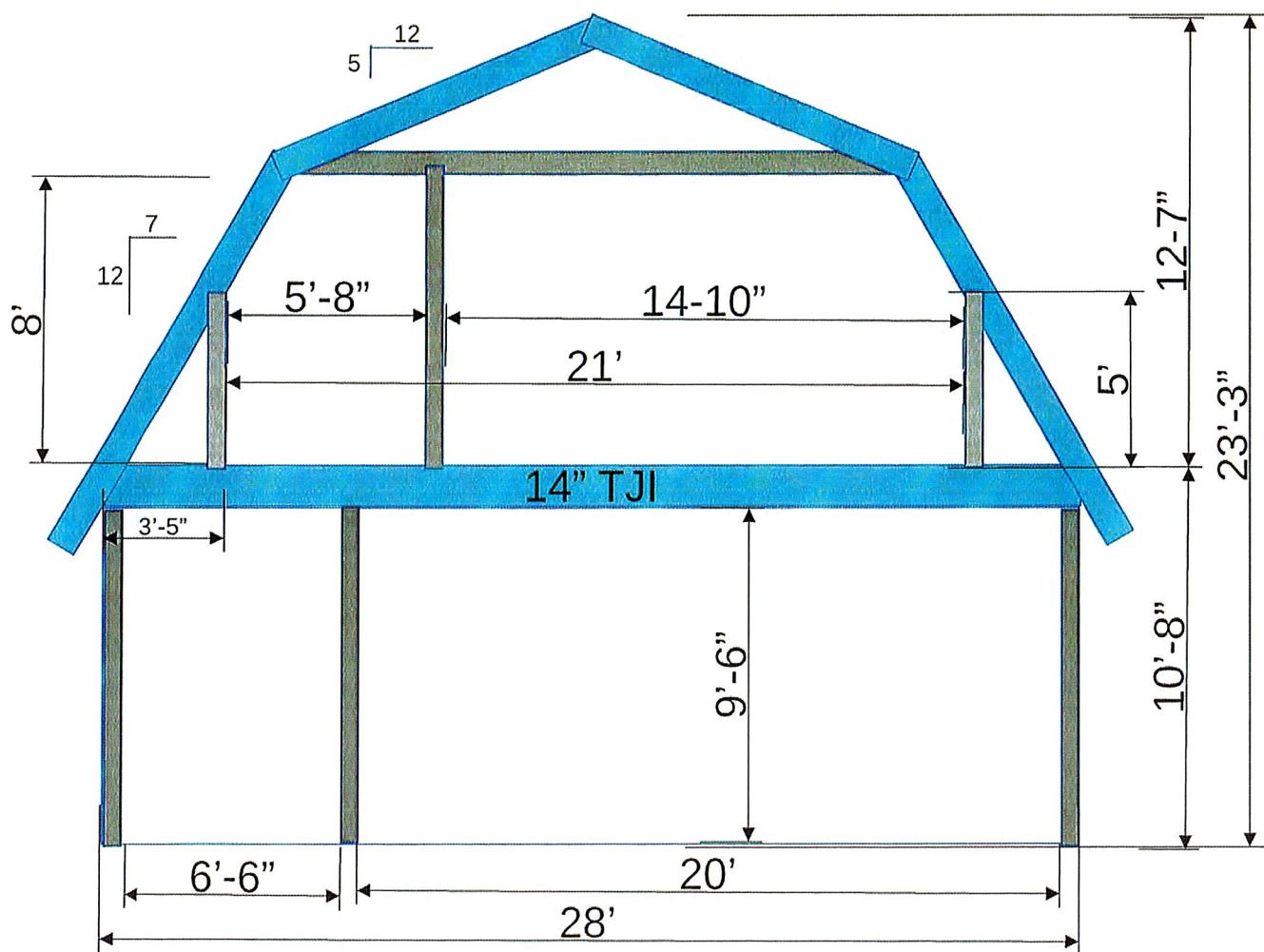
**Revised from Jan-9-2024 Zoning Board Meeting



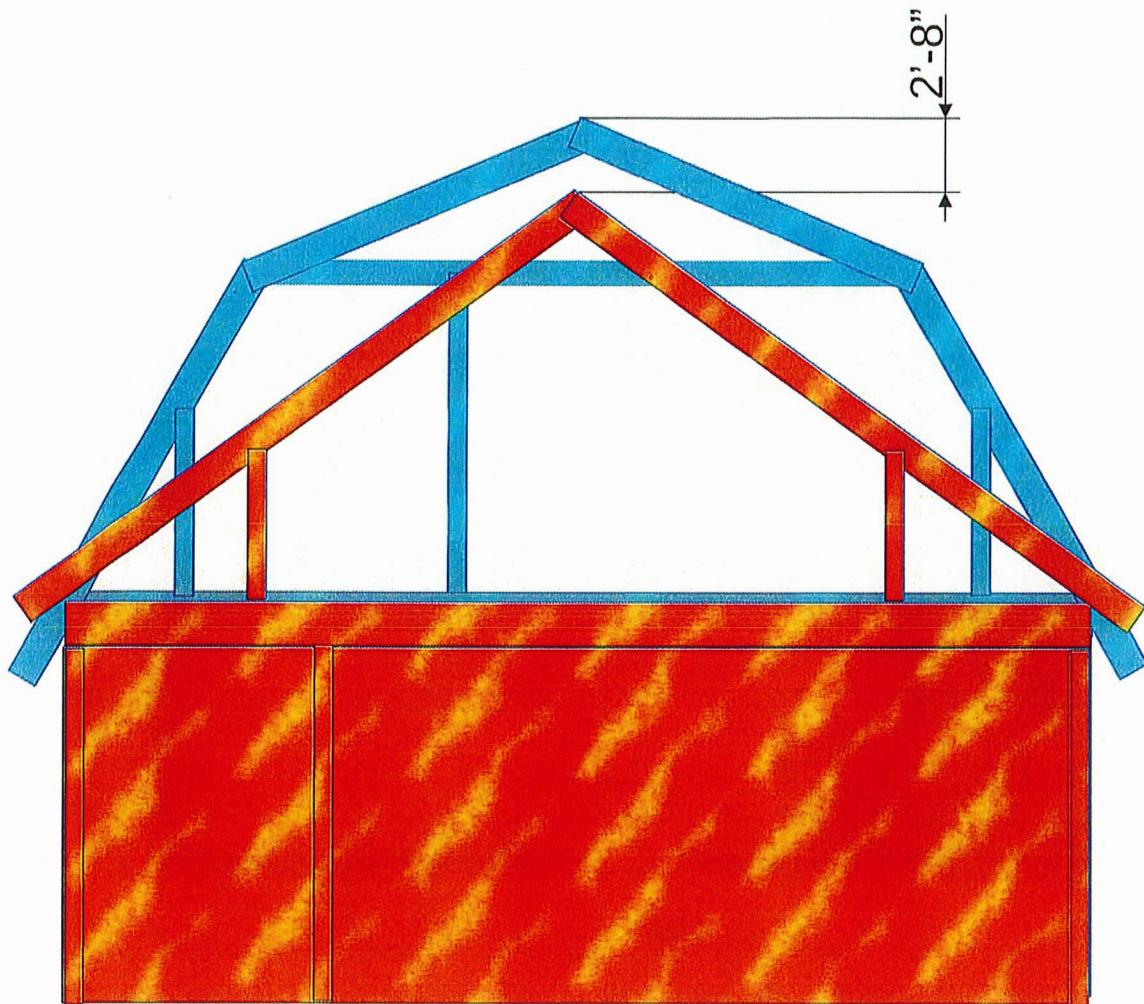
Detached Garage
Front Profile Limits
Per Understanding of Codes



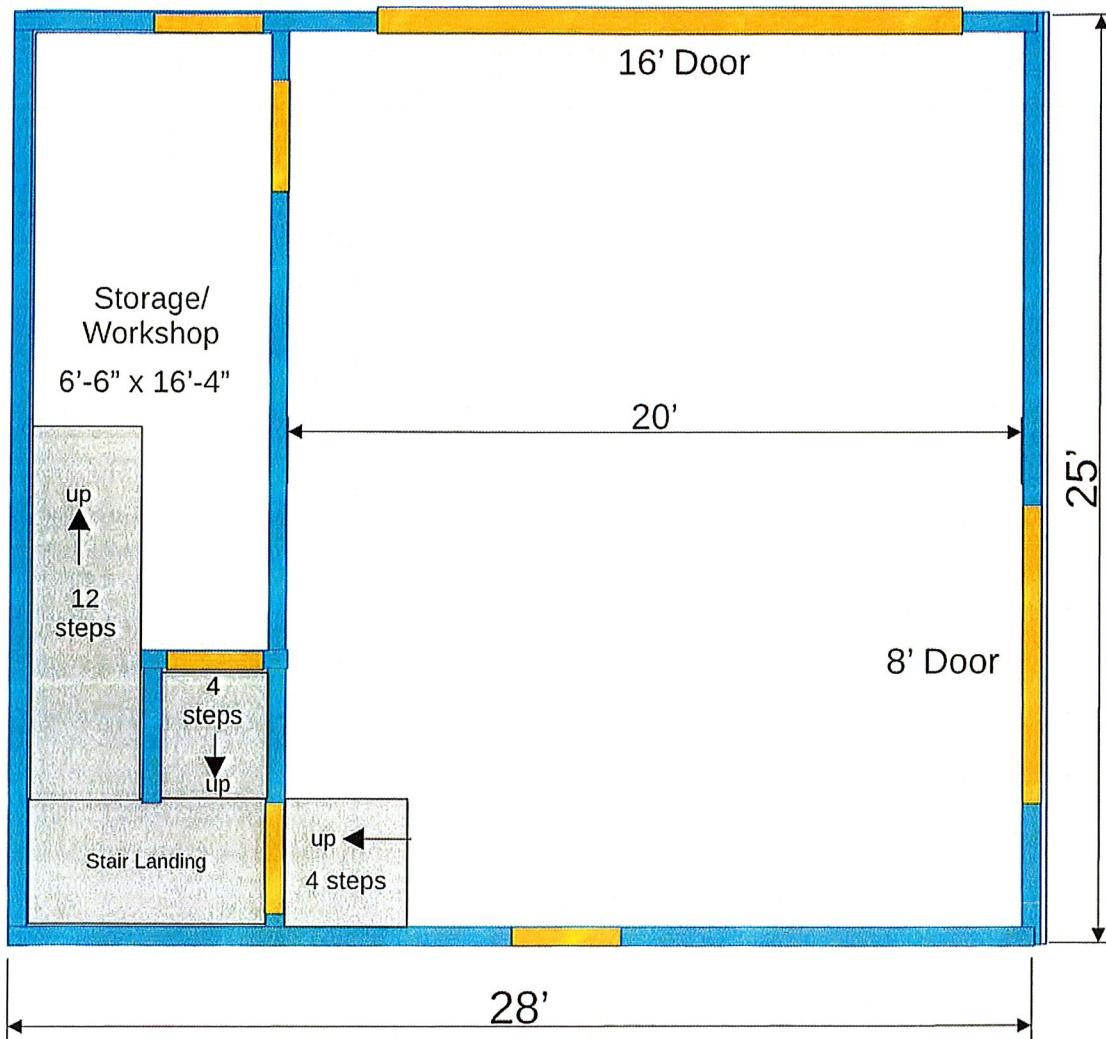
Requested
New Detached Garage
Front Profile



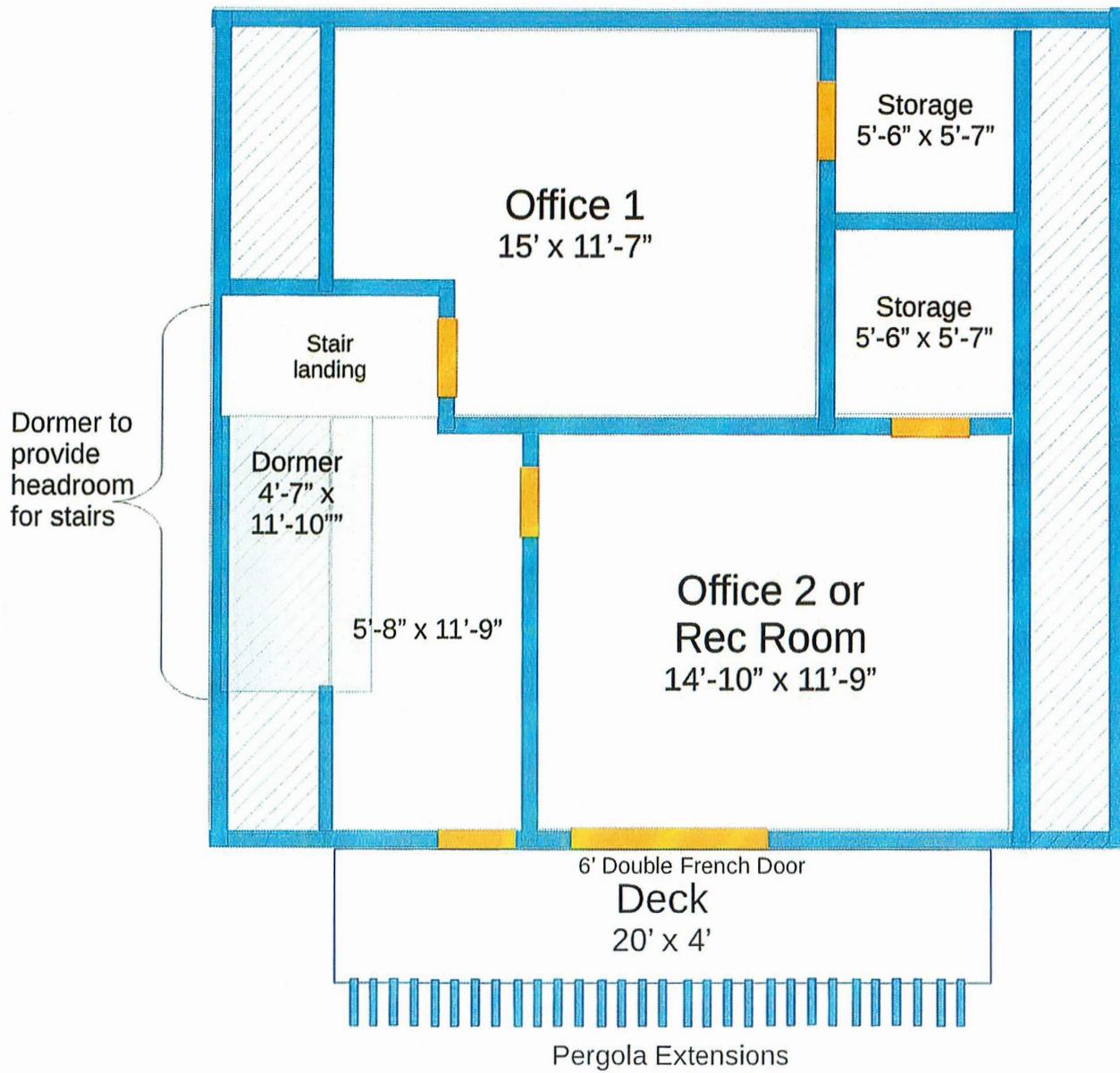
Comparison of Garage Front
Profile Requested vs
Per Codes



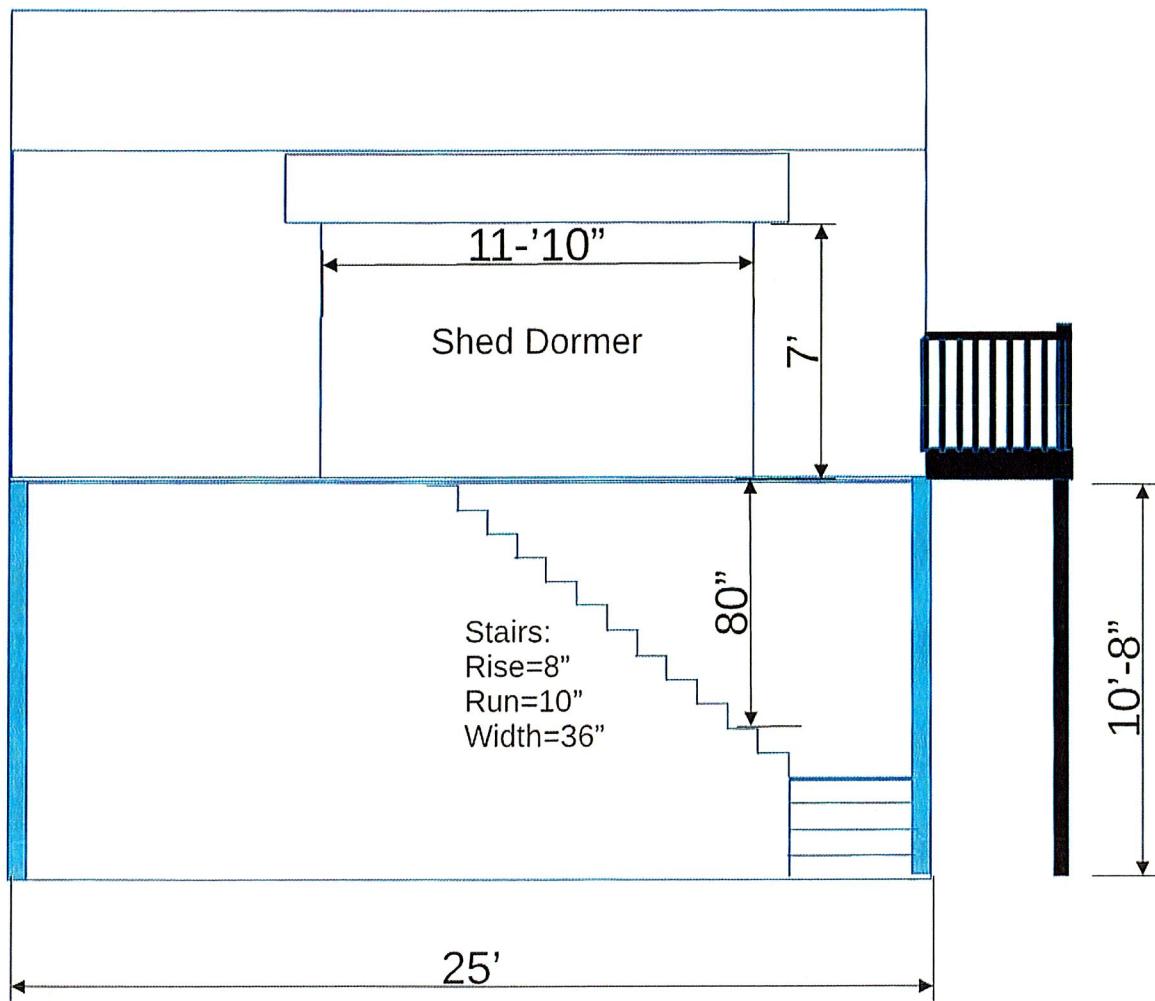
Requested New Detached Garage First Floor
28' x 25' (700 sf ft footprint)



Requested New Detached Garage
Second Floor – In Roof



Requested New
Detached Garage
East Side Profile



Requested New
Detached Garage
North/Front Profile



Requested New
Detached Garage
East Side Profile





Requested New
Detached Garage
South/Rear Profile

Requested New
Detached Garage
West Side Profile

