

ORDINANCE NO. O-2024-07

AN ORDINANCE GRANTING MULTIPLE VARIATIONS ON A CERTAIN PIECE OF PROPERTY COMMONLY KNOWN AS 520 CHILDS STREET - NOORDHOEK

WHEREAS, written application has been made requesting multiple variations to allow the construction and use of a new 16 by 40 foot in-ground pool and a new two-story, 700 square foot detached garage (following the demolition of the existing garage), which includes the following variations: Variation to Article 3.4B.1a to allow improvements to an existing 46.33 foot wide lot in lieu of the 50.0 foot minimum; a variation to Article 24.5.8 to allow pool decking with a side yard setback of 6 feet in lieu of the required 10 feet; a variation to Article 24.5.8 to allow an equipment pad with a side yard setback of 7 feet in lieu of the required 10 feet; and a variation to Article 24.3.2 to allow a two-story detached garage in lieu of the one and one-half story limit, all on property commonly known as 520 Childs Street, Wheaton, Illinois 60187; and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on January 9, 2024 and February 27, 2024 to consider multiple variation requests; and the Planning and Zoning Board has recommended approval of the multiple variations.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: The following described property has been and continues to be zoned and classified in the R-4 Residential District zoning classification:

THE WEST FORTY-SIX AND ONE THIRD FEET OF THE EAST NINETY-TWO AND 2/3 FEET OF LOT 14 IN COUNTY CLERK'S ASSESSMENT DIVISION OF THE SOUTH HALF OF THE NORTHEAST QUARTER AND SOUTHEAST QUARTER OF SECTION 17, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

P.I.N. 05-17-418-007

The subject property is commonly known as 520 Childs Street, Wheaton, IL 60187.

Section 2: Pursuant to the Findings of Fact made and determined by the Wheaton Planning and Zoning Board a variation to Article 3.4B.1a to allow improvements to an existing 46.33 foot wide lot in lieu of the 50.0 foot minimum; a variation to Article 24.5.8 to allow pool decking with a side yard setback of 6 feet in lieu of the required 10 feet; a variation to Article 24.5.8 to allow an equipment pad with a side yard setback of 7 feet in lieu of the required 10 feet; and a variation to Article 24.3.2 to allow a two-story detached garage in lieu of the one and one-half story limit are granted for a new 16 by 40 foot in-ground pool and a new two-story, 700 square foot detached garage (following the demolition of the existing garage), in full compliance with the following plans: "Site Plan - 520 Childs Street", prepared by Steinbrecher Land Surveyors, West Chicago, IL, sheet 1-1; and "Noordhoek In-Ground Pool and Detached Garage, 520 Childs Street, Wheaton, IL 60187" prepared by the property owner, sheets 1-13, subject to the following conditions:

1. The engineering plan shall be subject to further staff review prior to the issuance of a site development permit; and

2. Additional fire protection shall be added to the structure between the garage area and the living space.

Section 3: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 4: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.



Mayor

ATTEST:



City Clerk

Roll Call Vote:

Ayes: Councilman Barbier
Mayor Suess
Councilman Clousing
Councilwoman Robbins
Councilman Weller

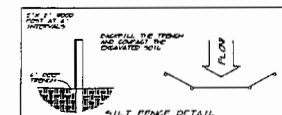
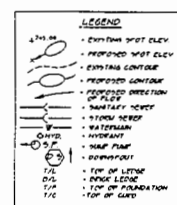
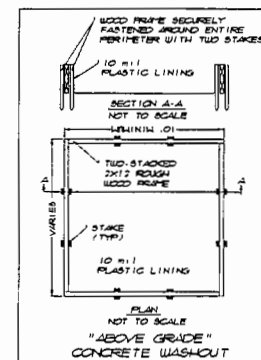
Nays: None

Absent: Councilwoman Bray-Parker
Councilman Brown

Motion Carried Unanimously

Passed: March 4, 2024

Published: March 5, 2024

[illegible]

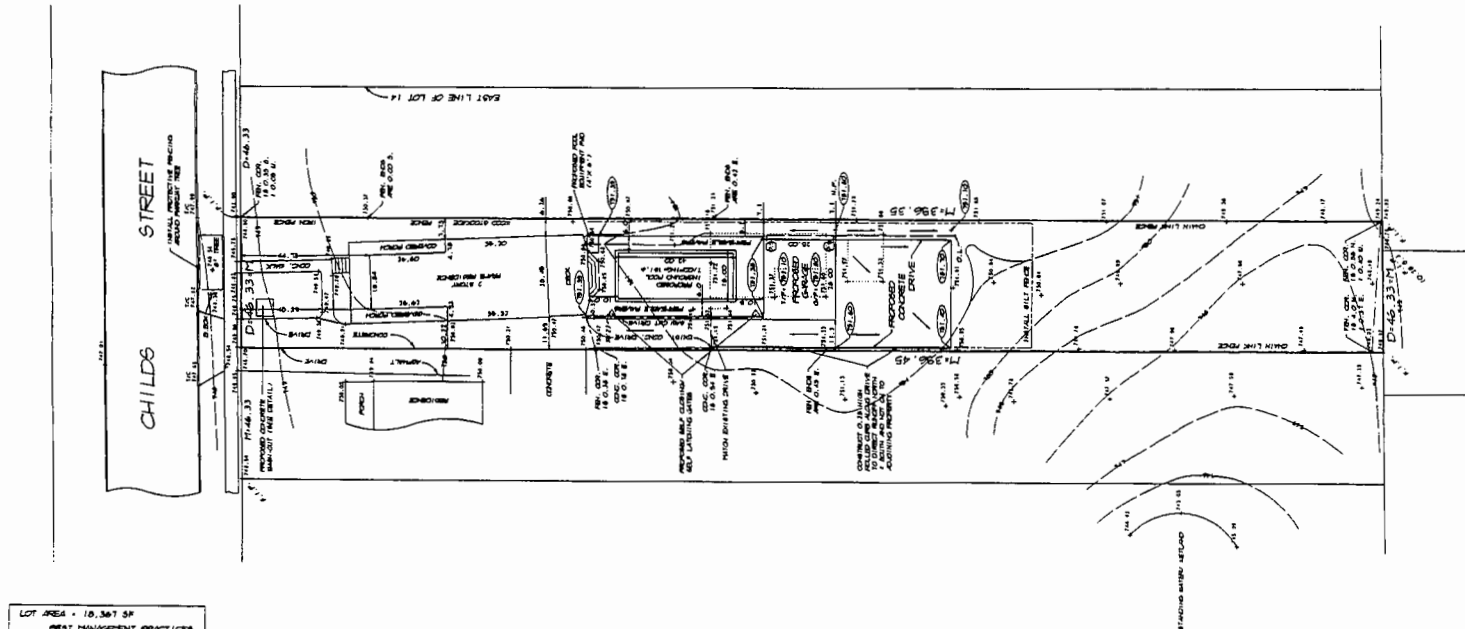
REVISIONS	BY
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PREPARED FOR:
TOM NOORDHOEK

STATE PLAZA

PROJECT LOCATION:
5520 W. CHILDS STREET
WHEATON, IL

SHEET
1 OF 1



LOT AREA = 10,367 SF

BEST MANAGEMENT PRACTICES
IMPERVIOUS AREA TABLE

EXISTING (PORTIONS REMOVED)

DRIVE/PATIO	= 1504 SF
GARAGE	= 093 SF
SHED	= 300 SF
TOTAL	= 1897 SF

EXPENSES

DRIVE	- 2411 SF
PATIO (PERFEASIBLE)	- 0 SF
POOL (10'x42')	- 736 SF
GARAGE	- 300 SF
TOTAL	- 3447 SF

INCREASED INTERVIEWS. 1150 OF

REFERENCE BENCHMARK - DU PAGE CO. Q10
DISK MOUNTMENT IN RETAINING WALL OF
PARKING GARAGE AT "T" INTERSECTION OF
CARLTON AVENUE AND LIBERTY DRIVE.
ELEVATION = 759.20XNAVD83

Steinbrecher Land Surveyors, Inc.
Professional Land Surveying
Design Firm Corporation No. 184-00326
141 S. Neilson Blvd. West Chicago, IL 60185-2644
(630) 293-8900 Fax 293-8902

LEGEND

F.P. = FOLDED SHOWN FOLD
F.R. = FOLDED SHOWN RISE
R. = RECOVERED DISTANCE
D. = MEASURED DISTANCE
D. = DIPS
R.E.L. = RIGHT OF WAY
AND = BRIDGES
CONC. = CONCRETE
M.M. = MINIMUMS
W.W. = WATER WARE VAULT
DAY. = DRAINAGE
PVC. = POLYVINYL CHLORIDE PIPE
PCH. = REINFORCED CONCRETE PIPE
TC. = TOP OF CURB
CP. = EDGE OF PAVEMENT

STATE OF ILLINOIS)
COUNTY OF DUPAGE) S. S.

This is to certify that Steinbrecher Land Surveyors, Inc., Registered Professional Land Surveying Design Firm Corporation No. 184-003126, has surveyed the property shown and described hereon, which is to the best of our knowledge and belief, a correct representation thereof. This professional service conforms to the current Illinois minimum standards for a boundary survey.

West Chicago, Illinois, February 12, 2024

STATE OF ILLINOIS)
COUNTY OF DU PAGE) S.S.

*I further certify that after review of the Du Page County 2 ft. contour map and site visit there is NO site specific depressional storage.

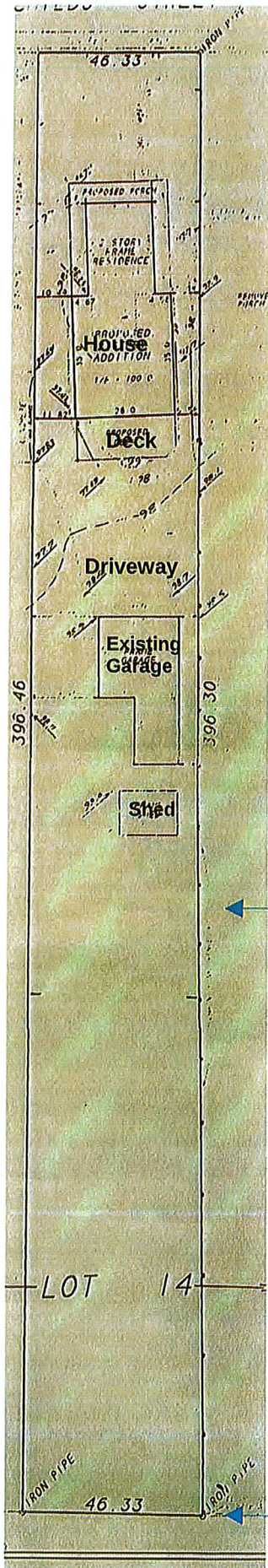
To the best of my knowledge and belief that such surface waters will be planned for in accordance with generally accepted engineering practices and that the development of the subject site in accordance with the site development plan will not increase the amount or rate of runoff so as to adversely affect the quality of surface water draining onto other properties and will not damage other properties.

West Chicago, Illinois February 20, 2024

Richard J. Steinbrecher
Professional Land Surveyor 3583
License expires Nov. 30, 2024

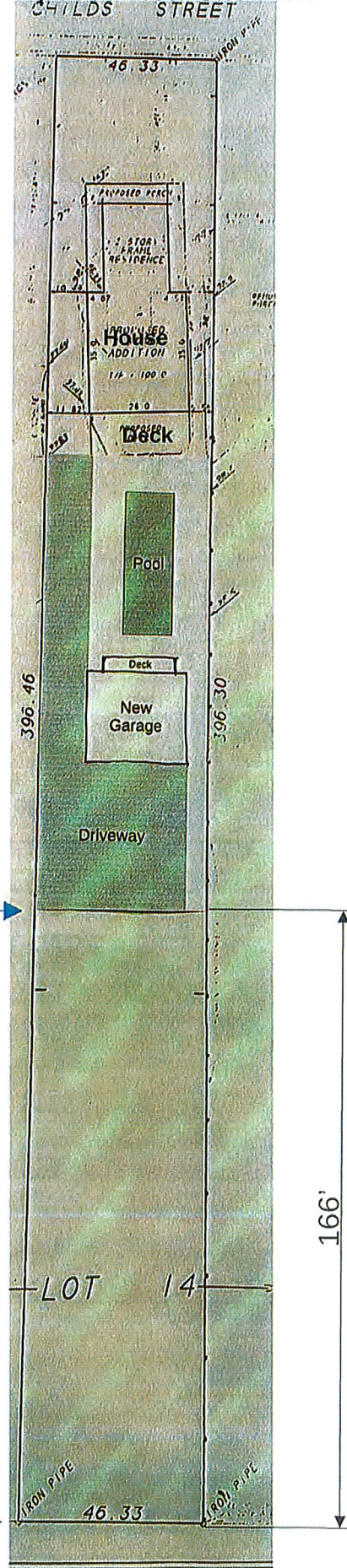
Richard J. Stembrecht
Professional Land Surveyor 3583
License expires Nov. 30, 2024

Current Site Plan



Existing garage is 22'-4" wide and 40' long on the longest side

Proposed New Site Plan



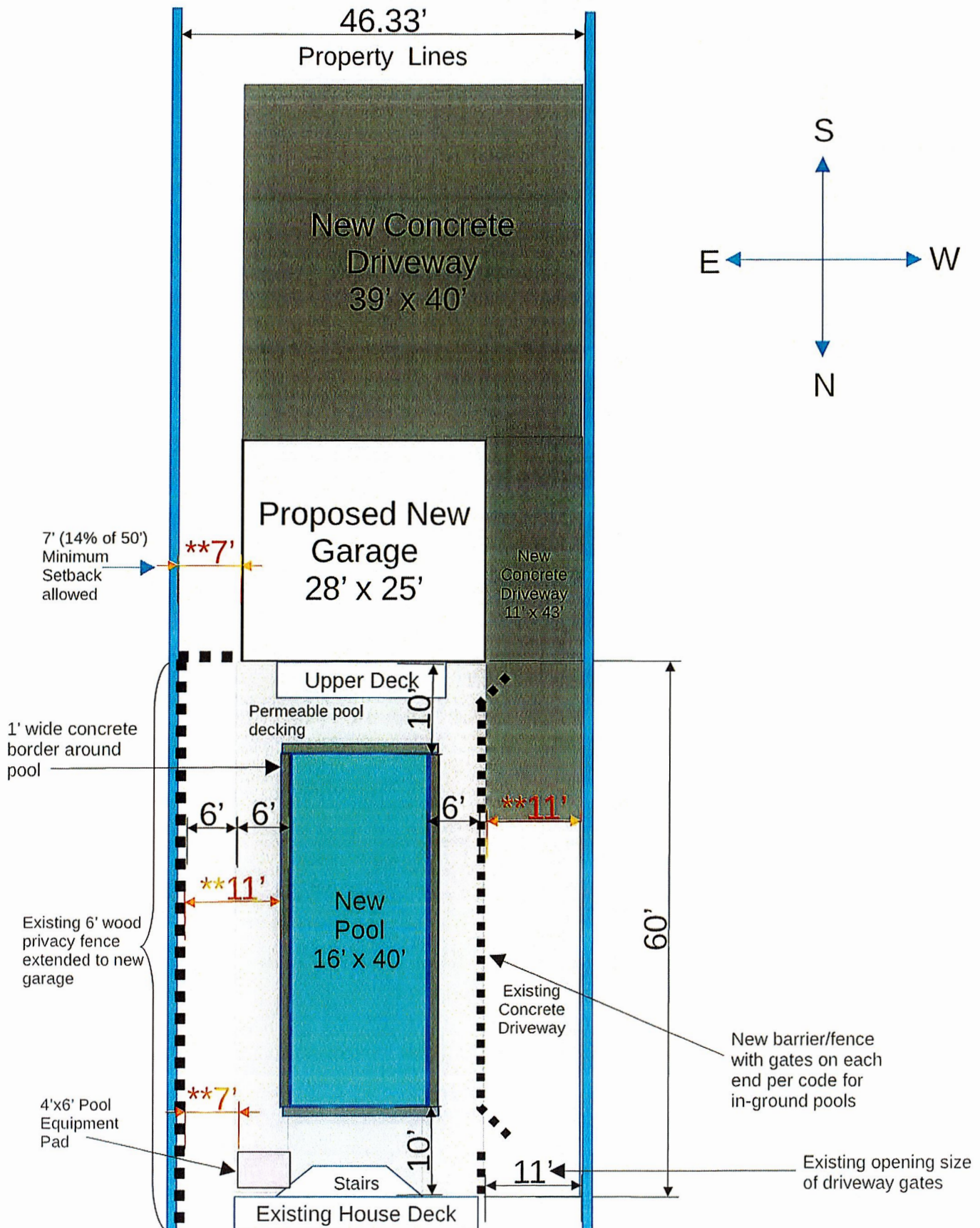
New garage is 28' wide and 25' long

Over 42% of lot remains undeveloped

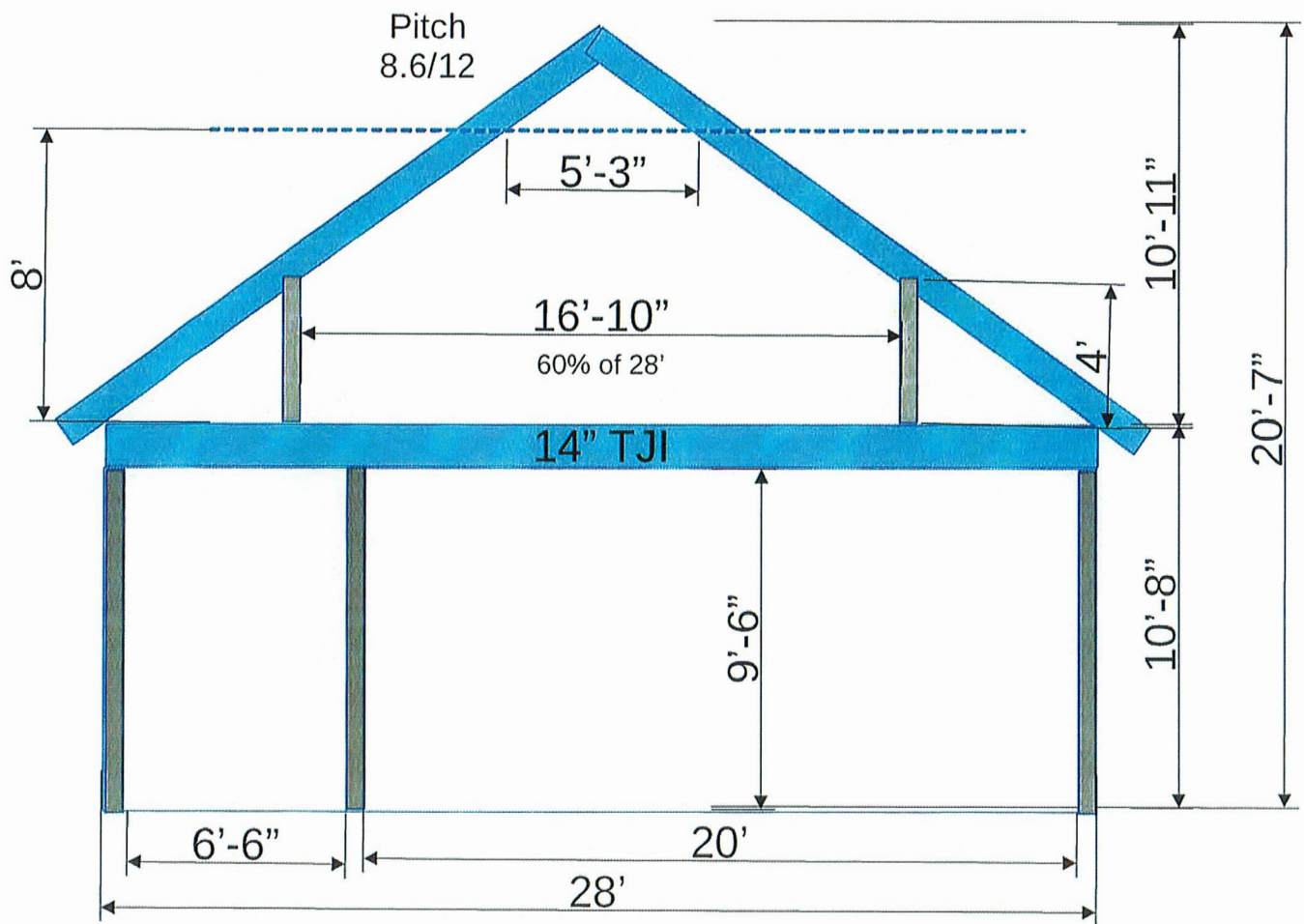
166'

Propose New Site Plan
(zoomed in)

****Revised from Jan-9-2024 Zoning Board Meeting**



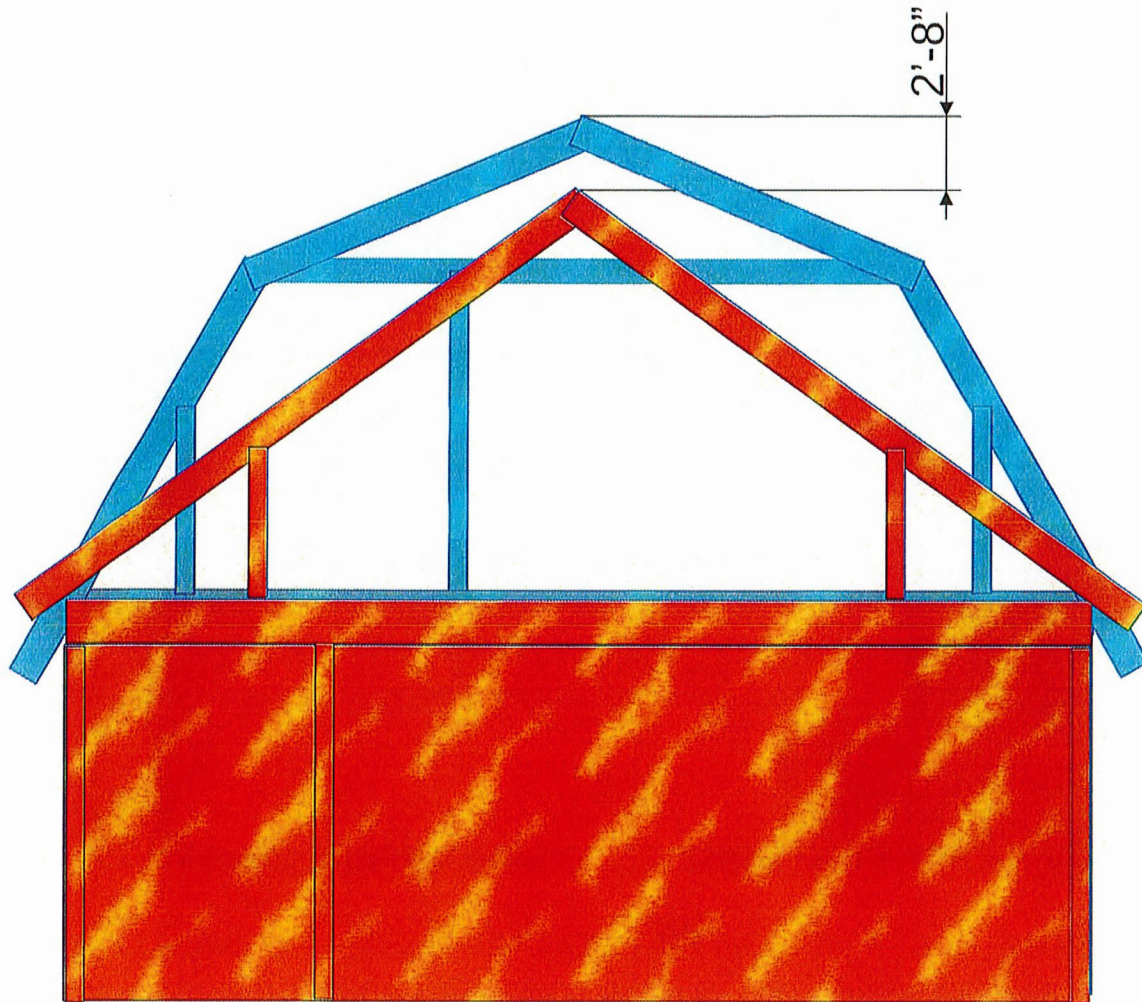
Detached Garage
Front Profile Limits
Per Understanding of Codes



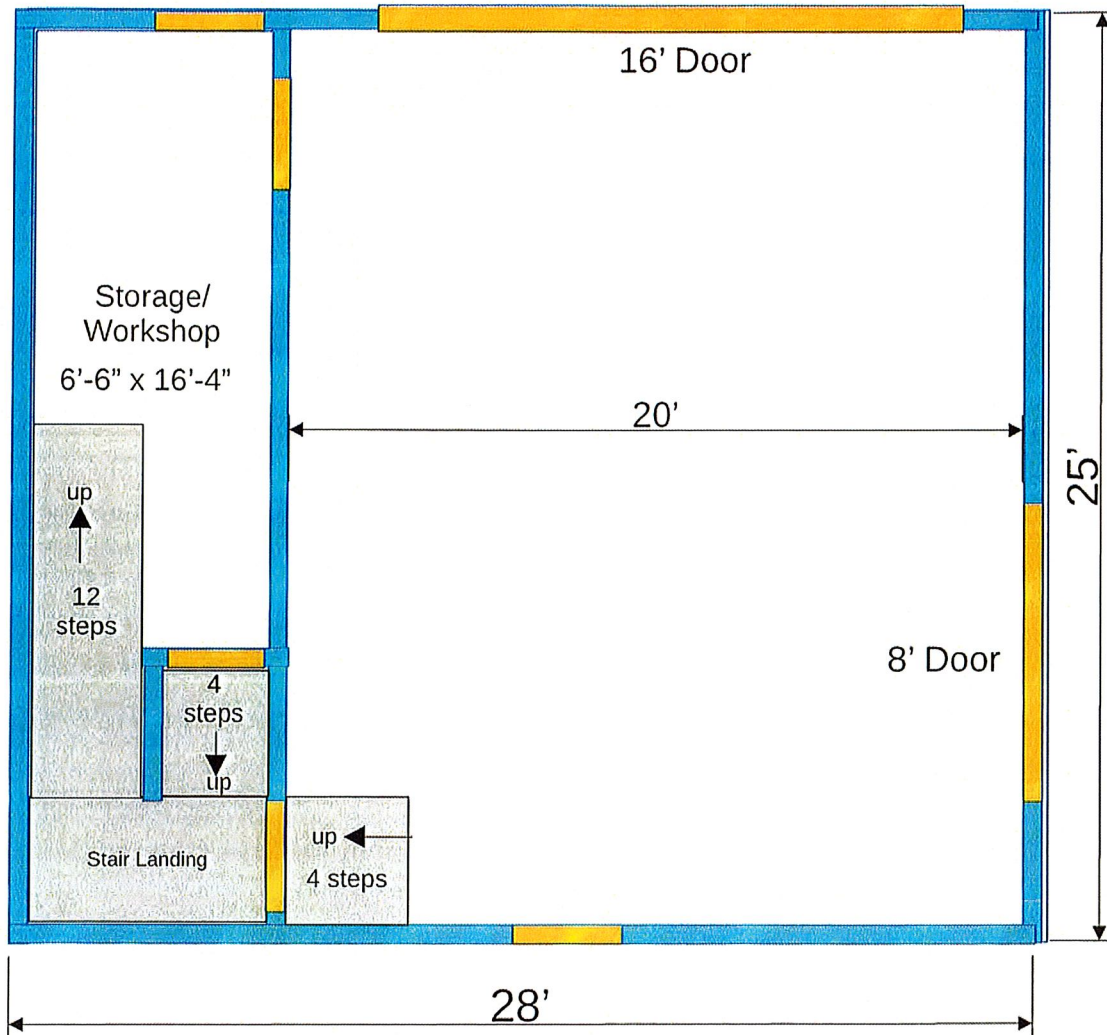
Technical drawing of a house frame showing dimensions for a gabled roof and a main structure. The drawing includes the following dimensions:

- Roof Pitch:** 5/12 (vertical) and 7/12 (horizontal).
- Roof Height:** 12'-7" (from the main structure to the peak).
- Main Structure Height:** 10'-8" (from the ground to the top of the main structure).
- Main Structure Width:** 28' (total width).
- Main Structure Depth:** 20' (from the front wall to the back wall).
- Main Structure Components:**
 - 14" TJI (Timber Joist) beam.
 - 9'-6" (height of the main structure).
 - 6'-6" (width of the main structure).
 - 3'-5" (width of the main structure).
- Roof Components:**
 - 5'-8" (width of the roof).
 - 14'-10" (width of the roof).
 - 21' (width of the roof).
 - 5' (width of the roof).
- Overall Dimensions:**
 - 23'-3" (total height from the ground to the peak).
 - 8' (height of the main structure).

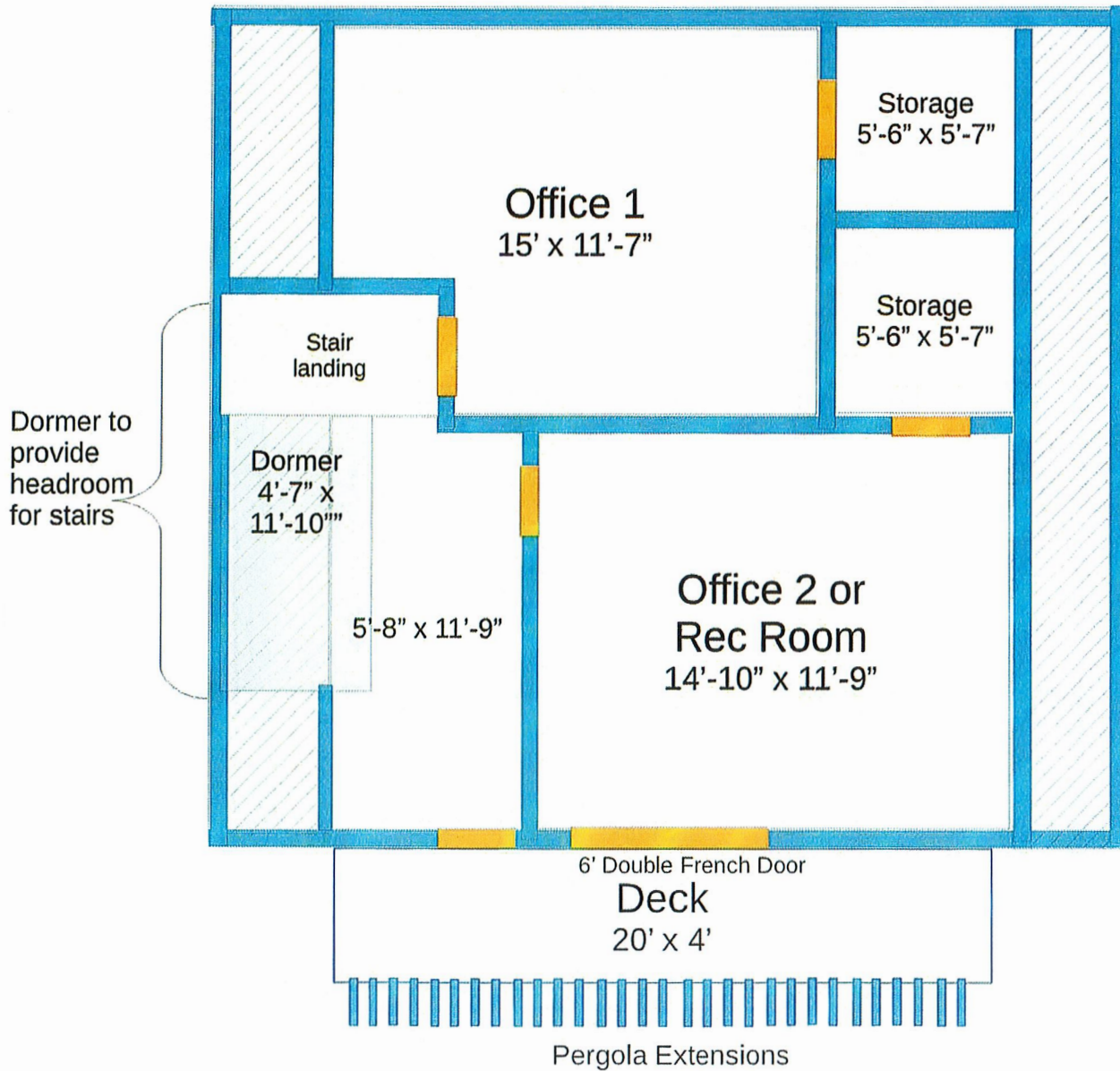
Comparison of Garage Front
Profile Requested vs
Per Codes



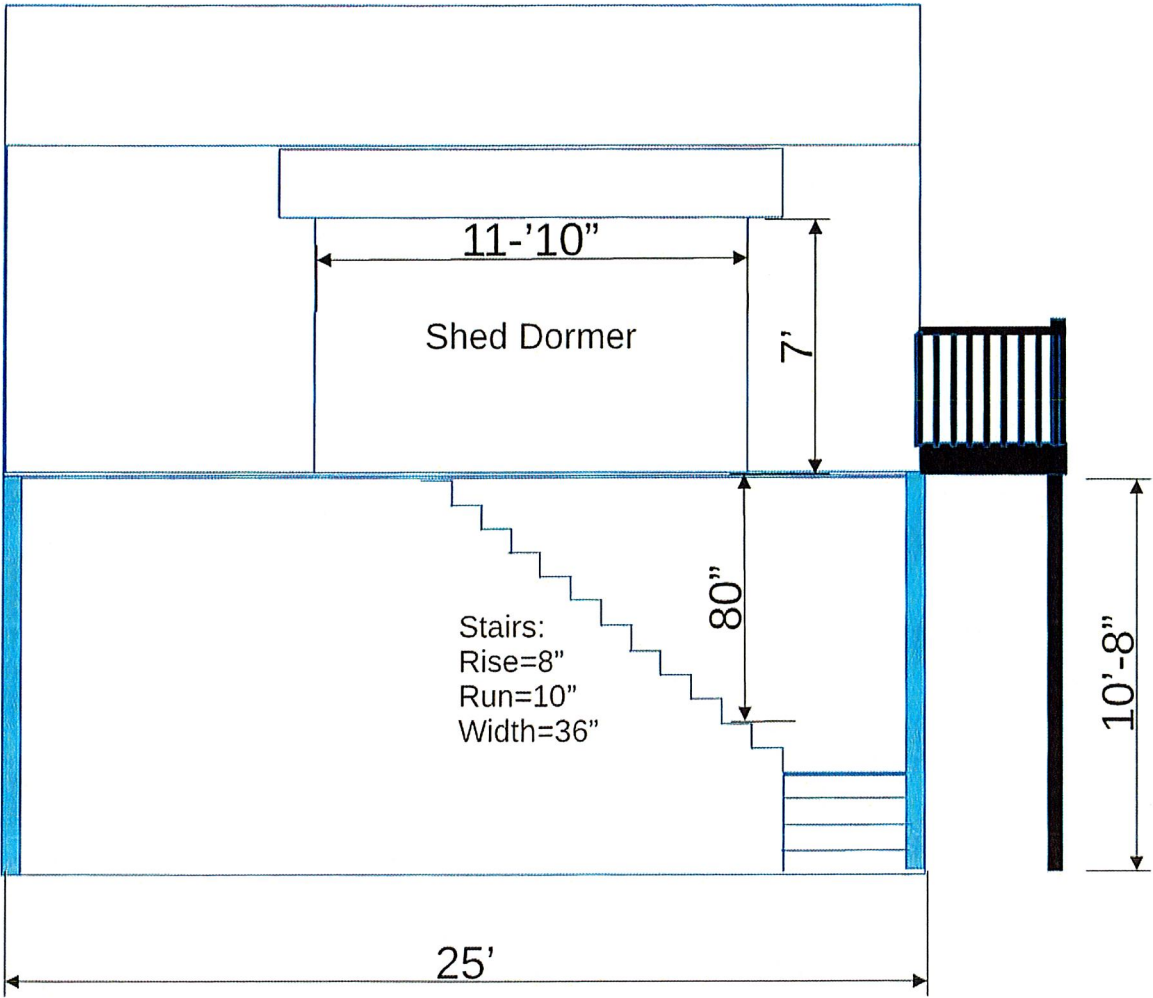
Requested New Detached Garage First Floor
28' x 25' (700 sf ft footprint)



Requested New Detached Garage
Second Floor – In Roof



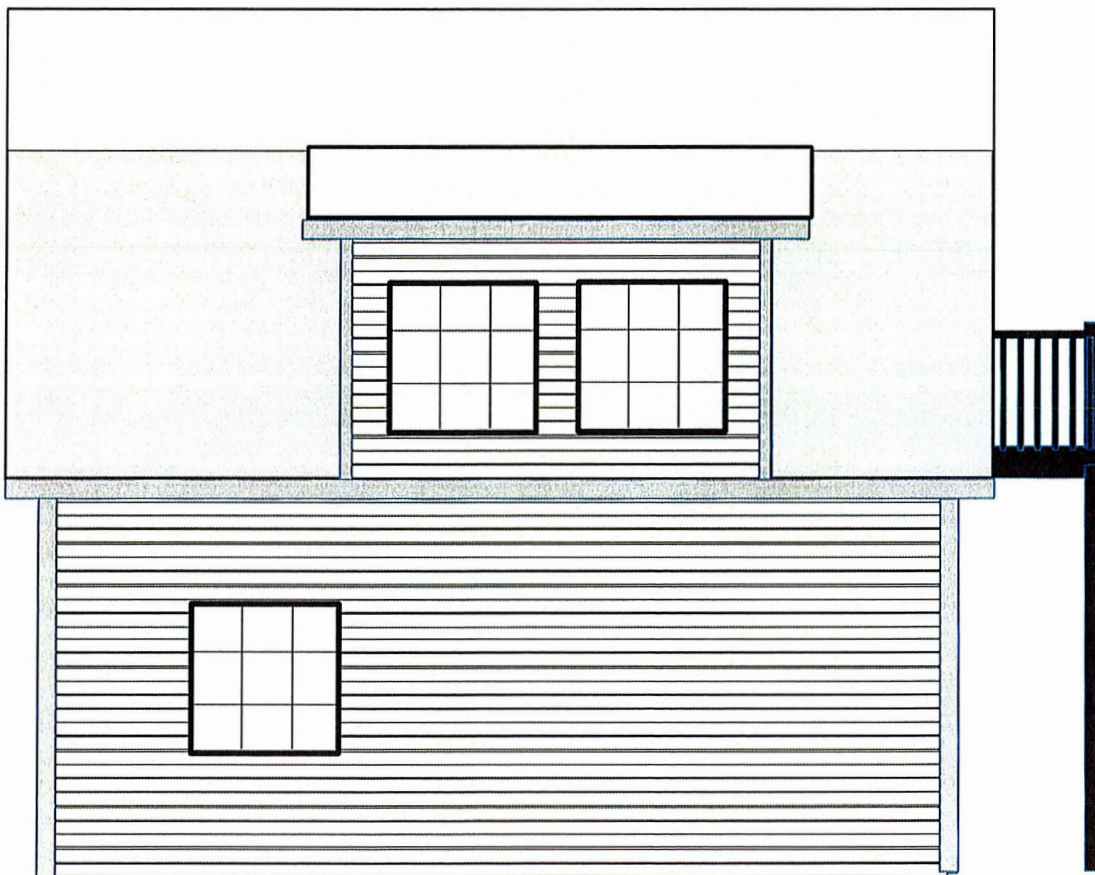
Requested New
Detached Garage
East Side Profile



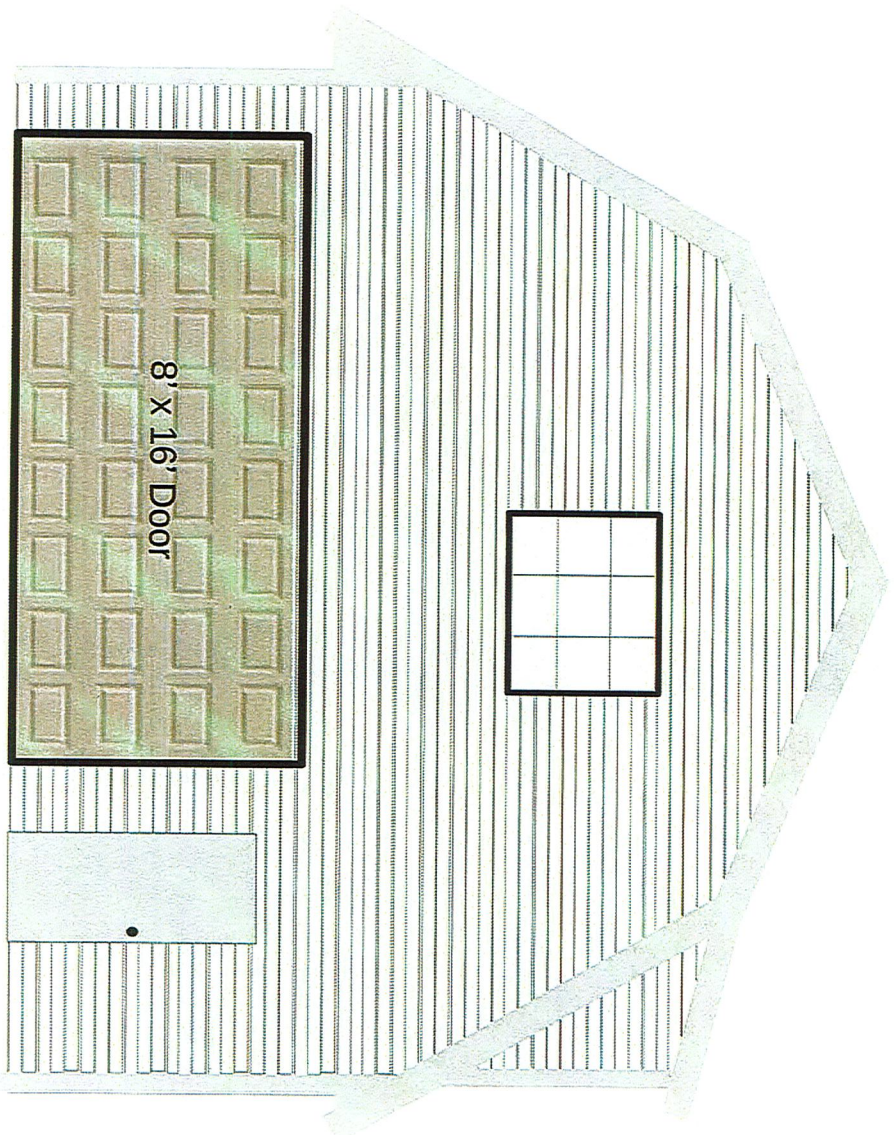
Requested New
Detached Garage
North/Front Profile



Requested New
Detached Garage
East Side Profile



Requested New
Detached Garage
South/Rear Profile



Requested New
Detached Garage
West Side Profile

