ORDINANCE NO. O-2024-04

AN ORDINANCE AMENDING CITY OF WHEATON ORDINANCE NO. E-1687 "AN ORDINANCE AMENDING THE WHEATON ZONING ORDINANCE MAP AND GRANTING A SPECIAL USE PERMIT - ADDITION TO DUPAGE COUNTY HEALTH DEPARTMENT FACILITIES, 111 N. COUNTY FARM ROAD" ("ORIGINAL ORDINANCE"); AND ORDINANCE NOS. E-3791, F-1799, AND O-2020-34, WHICH AMENDED THE ORIGINAL ORDINANCE - DUPAGE COUNTY HEALTH DEPARTMENT

WHEREAS, the City of Wheaton, Illinois, ("City") is an Illinois home rule municipality pursuant to the provisions of Article VII, Section 6, of the Illinois Constitution of 1970; and as such the City may exercise any power and perform any function pertaining to its government and affairs; and

WHEREAS, on June 19, 1992, the City enacted City Ordinance No. E-1687 ("Original Ordinance"), which allowed the construction and use of a new building for the DuPage County Health Department (DCHD) portion of the DuPage County Government Campus located at 111 N. County Farm Road, Wheaton, Illinois 60187; and

WHEREAS, amendments to the Original Ordinance have been enacted by: Ordinance E-3791 ("First Amended Ordinance"); Ordinance F-1799 ("Second Amended Ordinance"); and Ordinance O-2020-34 ("Third Amended Ordinance"); and

WHEREAS, following the enactment of the Original Ordinance and the Amended Ordinances, an application has now been made to further amend the special use permit approved in the Original Ordinance to allow the construction and use of a 30,000 square foot two-story building (located directly west and attached to the existing community center) to serve as a new Crisis Recovery Center; and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on January 9, 2024, to consider the issuance of an amendment to the existing special use permit; and the Board has recommended the issuance of an amendment to the existing special use permit.

NOW, THEREFORE BE IT ORDAINED by the City Council of the City of Wheaton, DuPage County, Illinois, pursuant to its home rule powers, as follows:

Section 1: The following described property has been, and continues to be, zoned and classified in the I-2 Institutional District zoning classification:

THAT PART SECTION 18, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED BY BEGINNING AT THE POINT OF INTERSECTION OF THE CENTER LINE OF MANCHESTER ROAD WITH THE CENTER LINE OF COUNTY FARM ROAD AND RUNNING THENCE NORTHERLY ALONG THE CENTER LINE OF COUNTY FARM ROAD 742.12 FEET; THENCE DEFLECTING 45 DEGREES 00 FEET TO THE RIGHT OF THE LAST DESCRIBED COURSE EXTENDED, 414.69 FEET; THENCE SOUTHERLY PARALLEL WITH THE CENTER LINE OF COUNTY FARM ROAD 355.63 FEET TO THE CENTER LINE OF MANCHESTER ROAD; THENCE SOUTHWESTERLY ALONG THE CENTER LINE OF MANCHESTER ROAD 1079.27 FEET TO THE PLACE OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

P.I.N. 05-18-107-001; 05-18-211-001

The subject property is commonly known as 115 N. County Farm Road, Wheaton, IL 60187.

Section 2: An amendment to the Original Ordinance to allow the construction and use of a 30,000 square foot two-story building (located directly west and attached to the existing community center) to serve as a new Crisis Recovery Center is granted in full compliance with the following plans: "DuPage County Health Department Crisis Recovery Center", prepared by Wight and Company, Darien, IL, sheets C0.00, C0.01, C1.00, C1.01, C2.00, C2.01, C3.00, C3.01, C3.02, C3.03, C4.00, C5.00, C5.01; C5.02, C5.03, C5.04, E1.00, E1.01, E6.02, L1.00, L1.01, L1.02, L2.00, A1.01A, A2.01A, A2.02A, A4.01, and A4.02, dated October 30, 2023 and subject to the following condition that the preliminary engineering plan shall be subject to further staff review prior to the issuance of a site development permit.

Section 3: In all other respects, the terms and provisions of the Original Ordinance, and the Amended Ordinances are ratified and remain in full force and effect.

Section 4: All ordinances and parts of ordinances in conflict with these provisions are hereby repealed.

Section 5: This ordinance shall become effective after its passage, approval, and publication in pamphlet form in the manner prescribed by law.

Philip J. Suess
Mayor

ATTEST:
Andrea Rosedale
City Clerk

Roll Call Vote:

Ayes: Councilwoman Robbins
Councilman Weller
Councilman Barbier
Councilwoman Bray-Parker
Councilman Brown
Mayor Suess
Councilman Clousing

Nays: None

Absent: None

Motion Carried Unanimously

Passed: February 20, 2024
Published: February 21, 2024

DUPAGE COUNTY HEALTH DEPARTMENT
CRISIS RECOVERY CENTER

115 N COUNTY FARM RD
WHEATON IL, 60187

PROJECT TEAM

CLIENT:
DUPAGE COUNTY HEALTH DEPARTMENT
111 N. COUNTY FARM ROAD
WHEATON, IL 60187
PHONE: (630) 682-7400
CONTACT: PAT FLAHERTY

CIVIL ENGINEER:
WIGHT & COMPANY
2500 NORTH FRONTAGE ROAD
DARIEN, IL 60561
PHONE: (630)969-7000
FAX: (630)969-7979
CONTACT: SHAWN BENSON
Design Firm Registration #184-000451

LANDSCAPE ARCHITECT:
WIGHT & COMPANY
2500 NORTH FRONTAGE ROAD
DARIEN, IL 60561
PHONE: (630)969-7000
FAX: (630)969-7979
CONTACT: PATTY KING
Design Firm Registration #184-000451

STRUCTURAL ENGINEER:
WIGHT & COMPANY
2500 NORTH FRONTAGE ROAD
DARIEN, IL 60561
PHONE: (630)969-7000
FAX: (630)969-7979
CONTACT: MATT AQUINO
Design Firm Registration #184-000451

ARCHITECT:
WIGHT & COMPANY
2500 NORTH FRONTAGE ROAD
DARIEN, IL 60561
PHONE: (630)969-7000
FAX: (630)969-7979
CONTACT: PATRICK MOORE
Design Firm Registration #184-000451

CONSTRUCTION MANAGER:
WIGHT & COMPANY
2500 NORTH FRONTAGE ROAD
DARIEN, IL 60561
PHONE: (630)969-7000
FAX: (630)969-7979
CONTACT: NICK SLEBODA
Design Firm Registration #184-000451

MECHANICAL / ELECTRICAL PLUMBING / FIRE PROTECTION ENGINEER:
WIGHT & COMPANY
2500 NORTH FRONTAGE ROAD
DARIEN, IL 60561
PHONE: (630)969-7000
FAX: (630)969-7979
CONTACT: SUDESH SARAF
Design Firm Registration #184-000451

FOR UNDERGROUND UTILITY LOCATIONS,
CALL J.U.L.I.E.
TOLL FREE TEL. 1-800-892-0123

JULIE SUBURBS & DIGG CHICAGO

- YELLOW — GAS
- RED — ELECTRICAL
- ORANGE — PHONE / TV COMMUNICATION
- BLUE — WATER
- GREEN — SEWERS
- WHITE — SAFE TO DIG

LOCATION MAP

PIN: 05-18-107-001; SECTION 18, TOWNSHIP 39N, RANGE 10E

INDEX OF DRAWINGS

CIVIL	
C0.00	COVER SHEET
C0.01	GENERAL NOTES
C1.00	OVERALL EXISTING CONDITIONS PLAN
C1.01	DEMOLITION PLAN
C2.00	OVERALL SITE PLAN
C2.01	SITE PLAN
C3.00	GRADING AND EROSION CONTROL PLAN
C3.01	GRADING AND EROSION CONTROL PLAN - ENLARGEMENT
C3.02	EROSION CONTROL DETAILS
C3.03	STORM WATER POLLUTION PREVENTION PLAN
C4.00	UTILITY PLAN
C5.00-C5.04	CIVIL DETAILS
LANDSCAPE	
L1.00	LANDSCAPE PLAN

BENCHMARKS:

SITE BENCHMARK 1
CUT SQUARE ON WEST SIDE OF LIGHT POLE BASE AT SOUTHEAST CORNER OF D.C.S.C SOUTH ENTRANCE AD D.C.G.C. EAST ENTRANCE
ELEVATION 732.11 (NAVD 88)

SITE BENCHMARK 2
CUT CROSS ON SIDEWALK ON EAST SIDE OF D.C.G.C. SOUTH ENTRANCE
ELEVATION 7[illegible] (NAVD 88)

SITE BENCHMARK 3
ARROW BOLT ON FIRE HYDRANT AT SOUTHWEST CORNER OF EAST BUILDING.
ELEVATION 730.[illegible] (NAVD 88)

ENGINEER'S CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION.

DATED AT DARIEN, ILLINOIS.

THIS_____DAY OF_____, 2023.

SIGNED: _____
ENGINEER

EXPIRATION DATE: NOVEMBER 30, 2023.

DUPAGE COUNTY HEALTH DEPARTMENT

Wight

Wight & Company
wightco.com
2500 North Frontage Road
Darien, IL 60561
P 630.969.7000
F 630.969.7979

REV	DESCRIPTION	DATE
	100% DD	10/30/2

CRISIS RECOVERY CENTER

115 N COUNTY FARM ROAD
WHEATON, IL 60187

COVER SHEET

Project Number
230002
Drawn By
VL
Scale

C0.00

S:\Darien\Dupage County Health Department\230002_Central Receiving Center Study\01\11 Drawings\02 CD\230002 C0.00 COVER SHEET.dwg smattis Oct 31, 2023 7:30:27 am
Wight & Company ©2023 Reserved. No portion of these drawings may be reproduced, used or transmitted in any form or by any means, electronic, mechanical, photocopying, recording or otherwise, without the prior written consent of Wight.

GENERAL

1. EXISTING SITE TOPOGRAPHY, UTILITIES, AND HORIZONTAL CONTROL SHOWN ON THE DRAWINGS WERE FIELD MEASURED BY COMPASS SURVEYING LTD. DATED 03/24/2022. UNDERGROUND UTILITY LOCATIONS ARE BASED ON RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITY LOCATIONS, INVERTS, PIPES, PIPE SIZE, MATERIAL TYPE, ETC. PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
2. ELEVATIONS ARE BASED ON ILLINOIS STATE PLANE COORDINATE SYSTEM NAD 83 DATUM.
3. THE TRADE CONTRACTOR SHALL SUBMIT TO ALL GOVERNING REGULATIONS AND SHALL MEET BY THE REQUIREMENTS OF ALL APPLICABLE PERMITS.
4. ALL APPLICABLE PROVISIONS OF THE CURRENT OCCUPATIONAL HEALTH AND SAFETY ACT ARE HEREBY INCORPORATED BY REFERENCE.
5. NO BURNING OR INCINERATION OF RUBBISH IS PERMITTED ON THE SITE.
6. STREET AND DRIVEWAY PAVEMENT SHALL BE PROTECTED FROM DAMAGE. ANY DAMAGE SHALL BE REPAIRED TO THE CITY OF WHEATON REQUIREMENTS. MATERIALS AND WORKMANSHIP OF REPAIRS SHALL CONFORM TO THE "2007 STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS (LATEST EDITION)", THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS (LATEST EDITION)", HEREIN AFTER REFERRED TO AS "STANDARD SPECIFICATIONS" AND THE CITY OF WHEATON REQUIREMENTS.
7. THE "DEVELOPMENT REGULATIONS", LATEST EDITION, AS ADOPTED BY THE CITY OF WHEATON, ILLINOIS, HEREIN AFTER REFERRED TO AS THE "DEVELOPMENT REGULATIONS", INCLUDING ALL CITY STANDARDS DETAILS AND SPECIFICATIONS, THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION)" AND THE SUPPLEMENTAL SPECIFICATIONS AND RECURRING SPECIAL PROVISIONS (LATEST EDITION)" PROVIDED BY ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT), HEREIN AFTER REFERRED TO AS THE "STANDARD SPECIFICATIONS", AND ILLINOIS ENVIRONMENTAL PROTECTION AGENCY ILLINOIS URBAN MANUAL (LATEST EDITION) AND "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS", HEREIN AFTER REFERRED TO AS "STANDARD SPECIFICATIONS" SHALL GOVERN THE CONSTRUCTION OF THESE IMPROVEMENTS EXCEPT AS MODIFIED BY THE CONTRACT DOCUMENTS.
8. ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS OF THE CITY OF WHEATON, ILLINOIS AND THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, HEREIN AFTER REFERRED TO AS IDPH STANDARDS.
9. ALL FACILITIES OR LANDSCAPING DAMAGED DURING CONSTRUCTION SHALL BE RESTORED TO ORIGINAL CONDITION BY THE RESPONSIBLE TRADE CONTRACTOR.
10. PROPOSED ELEVATIONS INDICATE FINISHED GRADES. FOR SUBGRADE ELEVATIONS, ALLOW FOR THICKNESS OF PROPOSED PAVING OR TOPSOIL THICKNESS.
11. THE TRADE CONTRACTOR SHALL NOTIFY THE CITY OF WHEATON, ILLINOIS 48 HOURS BEFORE THE COMMENCEMENT OF CONSTRUCTION.
12. SHOULD THE TRADE CONTRACTOR ENCOUNTER FIELD DRAINAGE TILE NOT SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL IMMEDIATELY CONTACT ENGINEER AND THE CITY OF WHEATON FOR INSTRUCTIONS. SHOULD THE ENGINEER OR CITY OF WHEATON DETERMINE THAT DRAINAGE TILE IS TO BE REPAIRED, THE CONTRACTOR SHALL CONFIRM THAT REPAIR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT, THE LOCATION OF FOUND DRAINAGE TILE SHALL BE INDICATED ON AS-BUILT DRAWINGS.
13. ALL TRENCHES SHOULD FOLLOW ONE CITY OF WHEATON STANDARD DETAILS INCLUDED IN THE IDPH DETAILS. TRENCHES ARE TO BE BACKFILLED WITH TRENCH BACKFILL AND COMPACTED TO 95% MODIFIED PROCTOR DENSITY, AS REQUIRED BY THE CITY OF WHEATON AND THE IDPH STANDARDS.
14. TRADE CONTRACTOR IS RESPONSIBLE FOR CALLING JULIE, AT 1-800-892-0123 OR 811 AND NOTIFYING THE CONSTRUCTION MANAGER AT LEAST 48 HOURS PRIOR TO BEGINNING ANY EXCAVATION. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING UTILITY MARKING DURING CONSTRUCTION.
15. ALL DIMENSIONS, CURB RADII AND ELEVATIONS REFER TO THE BACK OF CURB WHERE CURB IS SHOWN. COORDINATES ARE TO BACK OF CURB, CENTER OF STRUCTURES OR AS SHOWN.
16. WHERE PAVEMENT, CURB OR SIDEWALK REMOVAL IS REQUIRED, THE TRADE CONTRACTOR SHALL SAW CUT THE MINIMUM AREA OF THE AREA TO BE REMOVED TO DOWELSTOP.
17. TRADE CONTRACTOR IS RESPONSIBLE FOR LAYOUT, LINE AND GRADE FOR ITEMS INCLUDED IN THE CONTRACT SCOPE OF WORK. CONTRACTOR TO USE CAD FILES AS PROVIDED BY THE ENGINEER FOR GEOMETRIC LAYOUT.
18. TRADE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE PUBLIC STREET CLEAN OF DEBRIS.
19. "SANDS SEAL" JOINTS WITH STAINLESS STEEL STRAPS AND BOLTS SHALL BE USED WHEN CONNECTING DISSIMILAR MATERIALS.
20. ALL EXISTING UTILITY STRUCTURES SHALL BE ADJUSTED AS NECESSARY TO MATCH FINISH GRADE. ALL EXISTING UTILITY STRUCTURES REQUIRING ADJUSTMENT OR RECONSTRUCTION SHALL BE COMPLETED BY THE CONTRACTOR TO THE SATISFACTION OF THE UTILITY OWNER. ADJUSTMENTS AND/OR RECONSTRUCTIONS NOT CALLED FOR ON THE DRAWINGS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. NO MORE THAN A TOTAL OF 12 INCHES OF ADJUSTING RINGS AND/OR 2 ADJUSTING RINGS SHALL BE ALLOWED.
21. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT IN LOCATION AND/OR ELEVATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND CONSTRUCTION MANAGER SO THAT THE CONFLICT MAY BE RESOLVED.
22. THE CONTRACTOR IS RESPONSIBLE FOR ALL AS-BUILT SURVEYS. ALL AS-BUILT SURVEYS SHALL BE COMPLETED BY A PROFESSIONAL LAND SURVEYOR AND BE SIGNED AND SEALED. THE CONTRACTOR SHALL SUBMIT TWO SETS OF THE "AS-BUILT" FINAL ENGINEERING DRAWINGS (I.E. RECORD DRAWINGS) AND STORMWATER MANAGEMENT CALCULATIONS, ALL ELECTRONIC DRAWINGS AND INCLUDE ELECTRONIC CAD FILES. THE RECORD DRAWINGS SHOULD AT LEAST INCLUDE THE FOLLOWING INFORMATION: AS-BUILT ELEVATION CONTOURS, ELEVATIONS (INCLUDING FLOW LINE ELEVATIONS AND INVERTS FOR SEWERS) AND VOLUME (VERIFIED, SIGNED, & SEALED BY A PROFESSIONAL ENGINEER (PE) OR PROFESSIONAL LAND SURVEYOR (PLS)) OF STORM STRUCTURES, ALL PIPE SIZES, MATERIALS, LENGTHS, SLOPES, INVERTS, PIPE INTERSECTIONS, VALVE BOXES AND VAULTS, LANDTOP SLEEVES, WATER SERVICE CONFIGURATION STOPS, WATER MAIN FITTINGS/BENDS, HYDRANTS, SANITARY SEWER CONFIGURATIONS, MANHOLES, CLEANOUTS, ALL STORM/SANITARY SEWER STRUCTURES (INCLUDING INVERTS AND PIPE SIZES), ALL PIPES (LOCATIONS, SLOPES, LENGTHS, ETC.), DUCTILE IRON PIPE, PVC PIPE, CONCRETE PIPE, ALL FITTINGS, ALL PIPE LOCATIONS, SLOPES, WALLS AND MEASURED WATER OR SANITARY SEWER LINES, DETAILED TOPOGRAPHIC SURVEY OF ALL HIGH POINTS, LOW POINTS, CHANGE OF SLOPE, INCLUDING TOP OF CURB GRADES, PAVEMENT GRADES, SIDEWALK GRADES, RAMP GRADES, ETC. TO VERIFY PROPER DRAINAGE. ALL ELEVATIONS SHOULD BE REFERENCED TO THE SAME BENCHMARK (DATUM AS THE ORIGINAL DESIGN PLANS. HORIZONTAL TIES SHALL BE REFERENCED TO (DI LINES, BACK OF CURB, OR PROPERTY CORNERS. REPAIR DEVIATIONS/RAMP AREAS FOR MODIFICATION OF DETENTION VOLUME, AND SUBGRADE GRADES PRIOR TO BACK FILLING WITH CA-7. THE CONTRACTOR SHALL PROVIDE ENGINEER WITH A CERTIFIED TOPO SURVEY OF AS-BUILT SUBGRADE GRADES FOR ENGINEER APPROVAL AND ALSO A COPY OF THE CA-7 AGGREGATE.
23. EMERGENCY VEHICLE ACCESS IS TO BE MAINTAINED THROUGHOUT DURATION OF PROJECT. VEHICLE ACCESS IS TO BE CLEARLY MARKED. ANY ALTERATION OF EMERGENCY VEHICLE ROUTE OR ACCESS IS TO BE APPROVED BY THE CITY OF WHEATON, ILLINOIS.

CITY CONTACT INFORMATION:

CITY OF WHEATON
303 W WESLEY ST.
1ST FLOOR
WHEATON, IL 60187
630-260-2001
CONTACT: JOSEPH TOMASZEK, DIRECTOR OF ENGINEERING

HOT MIX ASPHALT PAVING

1. SUBGRADE PREPARATION, BASE COURSE PLACEMENT, AND HMA PAVEMENT SHALL BE IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS AND RECOMMENDATIONS OF THE GEOTECHNICAL REPORT.
2. DEPRESSIONS OF FINAL HMA SURFACES SHALL NOT EXCEED 1/4 INCH FROM PROPOSED CORRECTIONS TO NON-COMPLIANT AREAS SHALL BE MADE AT NO ADDITIONAL CHARGE.
3. ALL SIGNAGE AND STRIPING SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.

TRAFFIC CONTROL

1. THE TRADE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL (IDOT STANDARD 701801) AT ALL TIMES WHEN ANY VEHICLES, EQUIPMENT, WORKERS, OR ACTIVITY ENCROACH ADJACENT ROADWAY FROM 15 FEET TO THE EDGE OF PAVEMENT. THE TRADE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL (IDOT STANDARD 701501) WHEN ACTIVITY ENCROACHES THE EDGE OF PAVEMENT FOR THREE HOURS.
2. IF THE OPERATION IS TO FLEET OR MORE OFF THE EDGE OF PAVEMENT, NO SIGNING WILL BE REQUIRED UNLESS TWO OR MORE VEHICLES OPERATE THE EDGE OF PAVEMENT IN ONE HOUR.
3. WHEN WORKING WITHIN 2 FEET OF THE PAVEMENT EDGE, CONES, DRUMS, OR BARRICADES SHALL BE PLACED ACCORDING TO THE STANDARD 701501 REQUIREMENTS.
4. CONTRACTOR MUST FOLLOW ALL CITY OF WHEATON AND DUPAGE COUNTY DEPARTMENT OF TRANSPORTATION AND HIGHWAYS REQUIREMENTS FOR TRAFFIC CONTROL.

STORM SEWER

1. CONTRACTOR TO FOLLOW ALL CITY OF WHEATON REQUIREMENTS.
2. ALL STORM STRUCTURES AND SEWERS ARE TO BE CLEANED PRIOR TO FINAL ACCEPTANCE. THE TRADE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT FROM THE STORM SEWER STRUCTURES AND PIPES DURING CONSTRUCTION AND UNTIL SIDE OF VEGETATION IS ESTABLISHED.
3. MANHOLES, CATCH BASINS, INLETS, HEADWALLS AND TRENCH BACKFILL SHALL CONFORM TO THE CONSTRUCTION DETAILS, STANDARD SPECIFICATIONS AND PIPE SPECIFICATIONS.

EARTHWORK

1. ALL AREAS SHALL BE CLEARED AND TILLED IN PREPARATION TO RECEIVE SEED. REFER TO SPECIFICATIONS FOR REQUIREMENTS.
2. THE TRADE CONTRACTOR SHALL APPLY FERTILIZER AND SEED TO ALL DISTURBED AREAS, AS NOTED ON THE CONSTRUCTION DRAWINGS. THE TRADE CONTRACTOR SHALL APPLY FERTILIZER AND SEED USING THE APPROVED METHOD, FERTILIZER AND SEED QUANTITIES AND SEEDING PROCEDURES SHALL CONFORM TO THE SPECIFICATIONS.
3. THE TRADE CONTRACTOR WILL INSPECT THE SEEDED AREAS AFTER SEEDING TO RECEIVE FINAL ACCEPTANCE. SEEDED AREAS MUST SUPPORT DENSE, THRIVING GRASSES SUFFICIENT TO PROTECT THE SOIL FROM EROSION IN A REASONABLE RAINFALL. AREAS THAT, IN THE OPINION OF THE OWNER OR ENGINEER, DO NOT MEET THIS REQUIREMENT, MUST BE IMMEDIATELY RESEEDED. REFER TO SPECIFICATIONS FOR ALL REQUIREMENTS.
4. TOPSOIL FOR RESTORATION AREAS SHALL COMPLY WITH THE STANDARD SPECIFICATIONS. TOPSOIL MAY BE SALVAGED FROM THE SITE AND STOCKPILED FOR REUSE WHEN ALL WORK IS COMPLETED. ADDITIONAL TOPSOIL REQUIRED TO COMPLETE THE JOB SHALL BE OBTAINED FROM OFF-SITE SOURCES AT THE TRADE CONTRACTOR'S EXPENSE. SALVAGED TOPSOIL SHALL BE SUBJECT TO THE ENGINEER'S APPROVAL AND MUST BE REJECTED IF NOT CLEAN, UNCONTAMINATED MATERIAL.
5. THE GROWING AND ROOT OF TREES WHICH ARE TO BE PRESERVED IN THE PROJECT AREA, BUT WHICH COULD BE NEGATIVELY AFFECTED DURING THE CONSTRUCTION PROCESS, SHALL BE PRUNED BY A CERTIFIED ARBORIST ACCORDING TO THE TREE PRUNING STANDARDS SET BY ANSI Z133 CODE.
6. POROUS GRANULAR EMBANKMENT, SUBGRADE

THIS WORK CONSISTS OF FURNISHING, PLACING, AND COMPACTING POROUS GRANULAR MATERIAL AS DIRECTED BY THE ENGINEER. POROUS GRANULAR EMBANKMENT SHALL CONSIST OF CA-1 AGGREGATE CURVED WITH A 3 INCHES NOMINAL THICKNESS TOP LIFT OF CA-6 CAPPING AGGREGATE. THE MATERIAL SHALL BE USED AS A GROUND LAYER OVER SOFT, PUMPY, AND LOOSE SOIL AND SHALL CONFORM.

THE POROUS GRANULAR MATERIAL SHALL BE PLACED IN ONE LIFT WHICH THE TOTAL THICKNESS TO BE PLACED IS 3 FEET OR LESS OR AS DIRECTED BY THE ENGINEER. EACH LIFT OF THE POROUS GRANULAR MATERIAL SHALL BE PROOF ROLLED WITH A VIBRATORY ROLLER MEETING THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS TO OBTAIN THE DESIRED DENSITY OF MATERIALS AND COMPACTION. THE ENGINEER SHALL VERIFY THAT ADEQUATE METHOD HAS BEEN OBTAINED.

CONSTRUCTION EQUIPMENT NOT NECESSARY FOR THE COMPACTION OF THE REPLACEMENT MATERIAL WILL NOT BE ALLOWED ON THE UNDERCUT AREAS UNTIL COMPLETION OF THE RECOMMENDED THICKNESS OF THE POROUS GRANULAR EMBANKMENT SUBGRADE.

FULL DEPTH SUBGRADE UNDERCUT SHALL OCCUR AT LIMITS DETERMINED BY THE ENGINEER. A TRANSITION SLOPE TO THE FULL DEPTH OF UNDERCUT SHALL BE MADE OUTSIDE OF THE UNDERCUT LIMITS AT A SLOPE OF 1 FOOT LONGITUDINAL FOR 1 FOOT DEPTH BELOW THE PROPOSED SUBGRADE OR BOTTOM OF THE PROPOSED POROUS GRANULAR EMBANKMENT, SUBGRADE WHICH INCLUDED IN THE CONTRACT.

THIS WORK SHALL BE MEASURED FOR PAYMENT IN ACCORDANCE THE STANDARD SPECIFICATIONS, WHEN SPECIFIED ON THE CONTRACT, THE THEORETICAL ELEVATION OF THE BOTTOM OF THE AGGREGATE SUBGRADE SHALL BE USED TO DETERMINE THE UNITED LIMIT OF POROUS GRANULAR EMBANKMENT, SUBGRADE. THE VOLUME WILL BE COMPUTED BY THE METHOD OF AVERAGE END AREAS.

THIS WORK SHALL BE PAID FOR AT THE CONTRACT UNIT PRICE PER CUBIC YARD FOR POROUS GRANULAR EMBANKMENT, SUBGRADE, WHICH PRICE SHALL INCLUDE THE CAPPING AGGREGATE, WHEN REQUIRED.

THE POROUS GRANULAR EMBANKMENT, SUBGRADE SHALL BE USED AS FIELD CONDITIONS WARRANT AT THE TIME OF CONSTRUCTION.

7. SPECIAL EXCAVATION

WORK UNDER THIS ITEM SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS EXCEPT AS NOTED BELOW.

SPECIAL EXCAVATION SHALL INCLUDE THE SATISFACTORY REMOVAL AND OFF-SITE DISPOSAL OF ALL UNSUITABLE MATERIAL BELOW THE SUBGRADE ELEVATION.

AFTER EXCAVATING TO THE REQUIRED SUBGRADE LEVEL, THE ENGINEER A GEOTECH ENGINEER SHALL INSPECT THE SUBGRADE. PRIOR TO PLACING ANY PAVEMENT SECTION MATERIAL THE EXCAVATION LEVEL OR SUBGRADE LEVEL SHALL BE COMPACTED AND WHERE POSSIBLE, PROOF ROLLED WITH A 40,000 LB TANDEM AXLE TRUCK BY MAKING AT LEAST 4 PASSES. THE COMPACTING AND PROOF ROLLING WILL BE TESTED FOR UNSUITABLE PRODUCTS OF MATERIAL WHICH SHALL BE REMOVED AND REPLACED AS HEREIN SPECIFIED. THE COMPACTING AND PROOF ROLLING SHALL BE INCIDENTAL TO THE WORK AND NO ADDITIONAL COMPENSATION WILL BE PAID.

IF THE EXISTING SUBGRADE SOIL IS NOT SUITABLE FOR PROVIDING AN IBR SOIL SUPPORT VALUE OF 2, THE TRADE CONTRACTOR SHALL REMOVE THE UNSUITABLE SUBGRADE SOIL BELOW THE PROPOSED SUBGRADE LEVEL TO A DEPTH AS DIRECTED BY THE ENGINEER. COMPACT AND PROOF ROLL THE EXCAVATED AREA. IF UPON PROOF ROLLING THE SUBGRADE IS STILL UNSUITABLE, ADDITIONAL EXCAVATION MAY BE REQUIRED. NO ADDITIONAL COMPENSATION WILL BE MADE REGARDLESS OF THE NUMBER OF TIMES THE AREA IS COMPACTED AND PROOF ROLLED.

CA-1 SHALL BE USED TO BRING THE SUBGRADE TO THE PROPOSED ELEVATION AS INDICATED UNDER THE ITEM POROUS GRANULAR EMBANKMENT, SUBGRADE. POROUS GRANULAR EMBANKMENT, SUBGRADE IS NOT CONSIDERED PART OF THIS ITEM.

THOSE AREAS OF SUBGRADE WHICH ARE NOT OVER EXCAVATED SHALL ALSO BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-698.

SPECIAL EXCAVATION AS SHOWN ON THE PLANS AND AS DIRECTED BY THE ENGINEER WILL BE MEASURED FOR PAYMENT IN PLACE AND THE VOLUME IN CUBIC YARDS COMPUTED BY THE METHOD OF AVERAGE END AREAS. EXCAVATION IN EXCESS OF THAT AUTHORIZED SHALL NOT BE MEASURED FOR PAYMENT.

THIS WORK SHALL BE PAID FOR AT THE CONTRACT UNIT CUBIC YARD FOR SPECIAL EXCAVATION, WHICH PRICE SHALL INCLUDE ALL COSTS ASSOCIATED WITH UNSUITABLE MATERIAL REMOVAL AND LEGAL DISPOSAL, GRADING COMPACTING AND PROOF ROLLING OF SUBGRADE.

8. THE OWNER IS REQUIRED TO HAVE A GEOTECHNICAL ENGINEER ON-SITE TO MONITOR EARTHWORK, AND THE GRADING ACTIVITY, IN ORDER TO IDENTIFY UNSUITABLE SOILS FOR REMOVAL FROM THE SITE. CONTRACTOR TO ENSURE REQUIREMENTS ARE MET.

D. SANITARY SEWER

1. THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT ANY POLLUTED WATER, SUCH AS GROUND AND SURFACE WATER, FROM ENTERING THE EXISTING SANITARY SEWERS.
2. A WATER-TIGHT PLUG SHALL BE INSTALLED IN THE DOWNSTREAM SEWER PIPE AT THE POINT OF SEWER CONNECTION PRIOR TO COMMENCING ANY SEWER CONSTRUCTION. THE PLUG SHALL REMAIN IN PLACE UNTIL REMOVAL IS AUTHORIZED BY THE MUNICIPALITY AFTER THE SEWERS HAVE BEEN TESTED AND ACCEPTED.
3. DISCHARGES ANY UNPOLLUTED WATER INTO THE SANITARY SEWER SYSTEM FOR THE PURPOSE OF SEWER FLUSHING OF LINES FOR THE DEFLECTION TEST SHALL BE PROHIBITED WITHOUT PRIOR APPROVAL FROM THE MUNICIPALITY.
4. ALL SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS (LATEST EDITION)
5. ALL FLOOR DRAINS SHALL DISCHARGE TO THE SANITARY SEWER SYSTEM.
6. ALL DOWNSPOUTS AND FOODING DRAINS SHALL DISCHARGE TO THE STORM SEWER SYSTEM.
7. ALL SANITARY SEWER PIPE MATERIALS AND JOINTS SHALL CONFORM TO THE FOLLOWING:

PIPE MATERIAL	PIPE SPECIFICATIONS	JOINT SPECIFICATIONS
VITRIFIED CLAY PIPE	ASTM C-700	ASTM C-425
REINFORCED CONCRETE SEWER PIPE	ASTM C-76	ASTM C-443
CAST IRON SOIL PIPE	ASTM A-74	ASTM C-564
DUCTILE IRON PIPE	ANSI A21.51	ANSI A21.11
POLYVINYL CHLORIDE (PVC) PIPE 4-INCH TO 15-INCH DIAMETER SDR 26 18-INCH TO 27-INCH DIAMETER F/DR=46	ASTM D-3034 ASTM F-679	ASTM D-3212 ASTM D-3212
HIGH DENSITY POLYETHYLENE (HDPE)	ASTM D-3350	ASTM D-3261/F-2620 (HEAT FUSION)
WATER MAIN QUALITY PVC 4-INCH TO 24-INCH 4-INCH TO 12-INCH 14-INCH TO 48-INCH	ASTM D-2241 AWWA C900 AWWA C905	ASTM D-3139 ASTM D-3139 ASTM D-3139

THE FOLLOWING MATERIALS ARE ALLOWED ON A QUALIFIED BASIS SUBJECT TO DISTRICT REVIEW AND APPROVAL PRIOR TO PERMIT ISSUANCE. A SPECIAL CONDITION WILL BE ADDED TO THE PERMIT WHEN THE PIPE MATERIAL BELOW IS USED FOR SEWER CONSTRUCTION OR A CONNECTION IS MADE.

PIPE MATERIAL	PIPE SPECIFICATIONS	JOINT SPECIFICATIONS
POLYPROPYLENE (PP) PIPE 12-INCH TO 24-INCH DOUBLE WALL 30-INCH TO 60-INCH TRIPLE WALL	ASTM F-2736 ASTM F-2764	D-3212, F-477 D3212, F-477

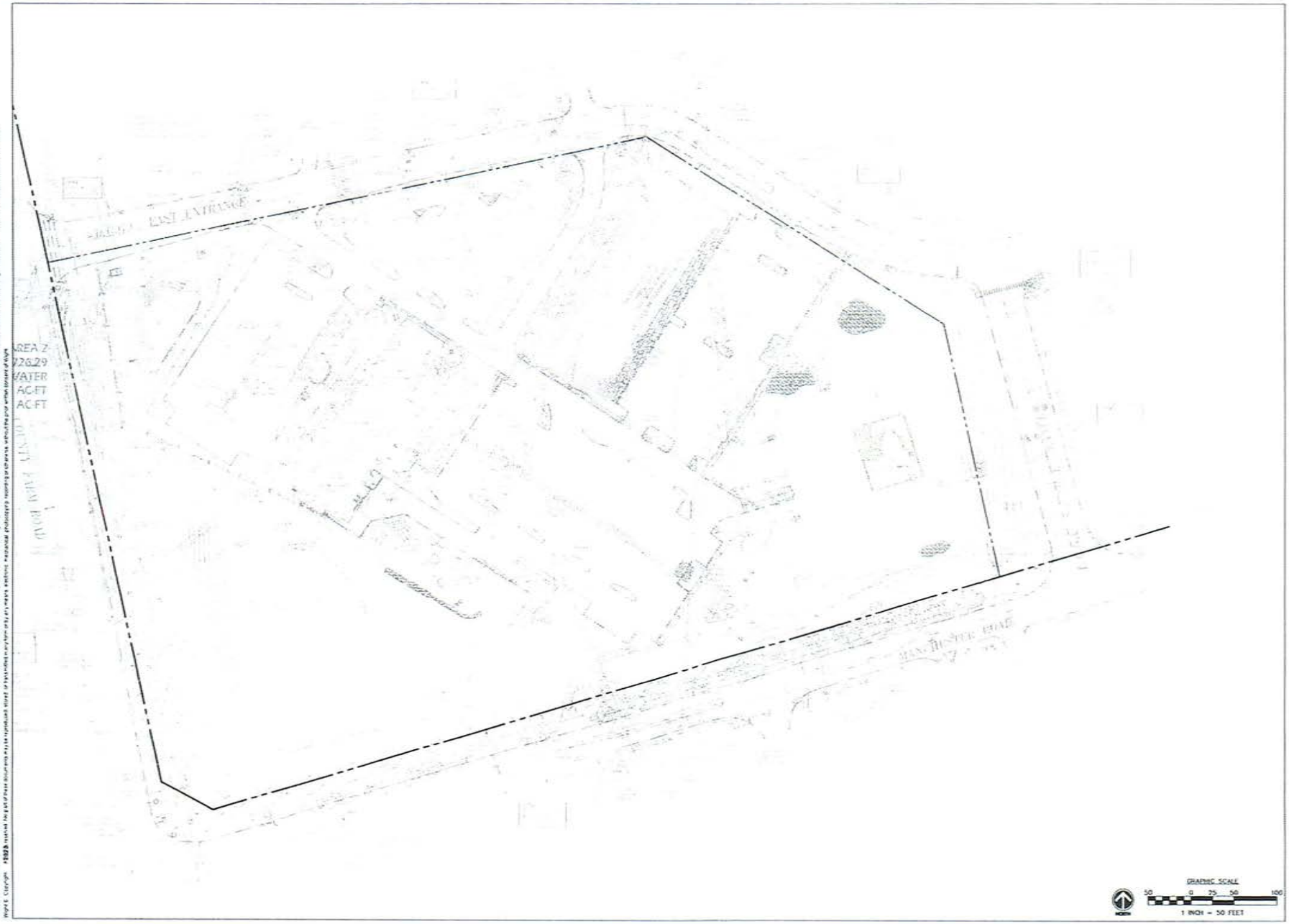
8. ALL SANITARY SEWER CONSTRUCTION (AND STORM SEWER CONSTRUCTION IN COMBINED SEWER AREAS) SHALL BEGIN FROM THE DOWNSTREAM END WITH STORM SEWER TO 18 IN SIZE, WITH MINIMUM BEDDING THICKNESS EQUAL TO 1/8 THE OUTSIDE DIAMETER OF THE SEWER PIPE, BUT NOT LESS THAN FOUR (4) INCHES, NOR MORE THAN EIGHT (8) INCHES. BEDDING MATERIAL SHALL BE CA-1, CA-11 OR CA-13 AND SHALL BE EXTENDED AT LEAST 12 INCHES THE TOP OF THE PIPE WHEN USING PVC.
9. NON-SHEAR FLEXIBLE-TYPE COUPLINGS SHALL BE USED IN THE CONNECTION OF SEWER PIPES OF DISSIMILAR PIPE MATERIALS.
10. ALL MANHOLES SHALL BE PROVIDED WITH BOLTED, WATERTIGHT COVERS. SANITARY LIDS SHALL BE CONSTRUCTED WITH A CONCEALED HINGE AND WATERTIGHT GASKET WITH THE HOOD SANITARY CAST IRON TYPE LID.
11. WHEN CONNECTING TO AN EXISTING SEWER MAIN BY MEANS OTHER THAN AN EXISTING WYE, TEE, OR AN EXISTING MANHOLE, ONE OF THE FOLLOWING METHODS SHALL BE USED:
    a. A CIRCULAR SAW-CUT OF THE SEWER MAIN BY PROPER TOOLS ("REINECK-TAP" MACHINE OR SIMILAR) AND PROPER INSTALLATION OF HAMANE SADDLE OR HAN-TEE SADDLE.
    b. REMOVE AN ENTIRE SECTION OF PIPE (REMOVING ONLY THE TOP OF ONE BELL) AND REPLACE WITH A WYE OR TEE BRANCH SECTION.
    c. WITH PIPE CUTTER, NEATLY AND ACCURATELY CUT OUT DESIRED LENGTH OF PIPE FOR INSERTION OF PROPER FITTING, USING HAND SEAL OR SIMILAR COUPLINGS TO HOLD IT FIRMLY IN PLACE.
12. WHENEVER A SANITARY/COMBINED SEWER CROSSES UNDER A WATERMAIN, THE MINIMUM VERTICAL DISTANCE FROM THE TOP OF THE SEWER TO THE BOTTOM OF THE WATERMAIN SHALL BE 18 INCHES. FURTHERMORE, A MINIMUM HORIZONTAL DISTANCE OF 10 FEET BETWEEN SANITARY/COMBINED SEWERS AND WATERMAINS SHALL BE MAINTAINED UNLESS THE SEWER IS LAID IN A SEPARATE TRENCH, KEEPING A MINIMUM 18 VERTICAL SEPARATION. OR THE SEWER IS LAID IN THE SAME TRENCH WITH THE WATERMAIN LOCATED AT THE OPPOSITE SIDE ON A BENCH OF UNDISTURBED EARTH, KEEPING A MINIMUM 18 VERTICAL SEPARATION. IF EITHER THE VERTICAL OR HORIZONTAL DISTANCES DESCRIBED CANNOT BE MAINTAINED, ON THE SEWER CROSSES ABOVE THE WATER MAIN, THE SEWER SHALL BE CONSTRUCTED TO WATER MAIN STANDARDS OR IT SHALL BE ENCASED WITH A WATER MAIN QUALITY CARRIER PIPE, WITH THE ENDS SEALED.
13. ALL EXISTING SEPTIC SYSTEMS SHALL BE ABANDONED. ABANDONED TANKS SHALL BE FILLED WITH GRANULAR MATERIAL OR REMOVED.
14. ALL SANITARY MANHOLES SHALL HAVE A MINIMUM INSIDE DIAMETER OF 48 INCHES, AND SHALL BE CAST IN PLACE OR PRE-CAST REINFORCED CONCRETE.
15. ALL SANITARY MANHOLES, SHALL HAVE PRECAST "RUBBER BOOTS" THAT CONFORM TO ASTM C-923 FOR ALL CONNECTIONS. PRECAST SECTIONS SHALL CONSIST OF MODIFIED ORDINARY TONGUE AND RUBBER GASKET TYPE JOINTS.
16. ALL ABANDONED SANITARY SEWERS SHALL BE PLUGGED AT BOTH ENDS WITH AT LEAST 2 FEET LONG NON-SHRINK CONCRETE OR MORTAR PLUG.

WATER MAIN

1. ALL WATERMAINS SHALL BE INSTALLED IN A MANNER MEETING OR EXCEEDING THE REQUIRED STANDARD SPECIFICATIONS CONTAINED IN THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS", THE CURRENT EDITION.
2. WATERMAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE, CLASS 52 (AWWA-C151) WITH CEMENT MORTAR LINING AND SEAL COATING (AWWA-C104). THE JOINTS SHALL BE RUBBER GASKET PUSH-ON OR MECHANICAL. AN ALTERNATIVE MATERIAL SHALL BE OF DUCTILE IRON WITH CEMENT MORTAR LINING AND SEAL COATING WITH MECHANICAL JOINTS AND SHALL CONFORM TO AWWA-C110.
3. ALL PIPE AND FITTINGS SHALL BE MANUFACTURED IN THE UNITED STATES.
4. THE WATERMAIN SHALL BE FLUSHED, TESTED, AND DISINFECTED WITH MUNICIPAL REPRESENTATIVES PRESENT. HYDROSTATIC TESTING WILL BE DONE IN ACCORDANCE WITH AWWA STANDARD AWWA/AWWA C600-99 SECTION 2. CHLORINATION/FLUSHING TESTING SHALL BE IN ACCORDANCE WITH AWWA STANDARD: AWS/AWWA C 651, LATEST EDITION.
5. MINIMUM COVER ON ALL WATER MAIN AND SERVICES SHALL BE 5.5 FEET.
6. WATER MAIN HORIZONTAL SEPARATION:
    A. WATER MAINS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED SEWER, STORM SEWER, SANITARY SEWER, OR SEWER SERVICE.
    B. WATER MAINS MAY BE LAID CLOSER THAN 10 FEET FROM A SEWER WHEN:
        1. LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET.
        2. THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE CROWN OF THE SEWER, AND
        3. THE WATER MAIN IS EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON AN UNDISTURBED SHELF LOCATED ON ONE SIDE OF THE SEWER.
    C. BOTH THE WATER MAIN AND SEWER MUST BE CONSTRUCTED OF "SLIP-ON (ANSI A21.51) JOINT DUCTILE IRON PIPE, OR PVC PIPE MEETING THE REQUIREMENTS OF "SECTION 40-2 OF THE IDPH STANDARDS IN ILLINOIS. WHEN IT IS IMPOSSIBLE TO MEET (A) OR (B) ABOVE, THE SEWER OR SEWER SHALL BE TESTED TO THE MAXIMUM EXPECTED WATERMAIN HEAD BEFORE BACKFILLING.
7. WATER MAIN VERTICAL SEPARATION:
    A. WHERE WATER MAINS CROSS ABOVE A SEWER/DRAIN WITH GREATER THAN 18 INCHES VERTICAL SEPARATION, A FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED OVER THE SEWER TO BE CROSSED, WITH JOINTS EQUIDISTANT FROM THE SEWER.
    B. WHERE WATER MAINS CROSS BELOW A SEWER/DRAIN WITH 18 INCHES SEPARATION, OR CROSS ABOVE A SEWER/DRAIN WITH LESS THAN 18 INCHES SEPARATION, ONE OF THE FOLLOWING METHODS SHALL BE CONSTRUCTED:
        1. CONSTRUCT SEWER/DRAIN OF DUCTILE IRON PIPE (ANSI A21.51 JOINTS), PVC PIPE (ASTM D-3034, SDR 26) OR PVC PIPE (ASTM D-3034 JOINTS D1869 JOINTS D1869
    STORM SEWER:
        1. ENCASE THE SEWER IN PVC (ASTM D-2241, SDR 26)
        2. ENCASE THE WATER MAIN IN PVC (ASTM D-2241, SDR 26). CONSTRUCTION OF PROTECTION SHALL EXTEND 10 FEET PERPENDICULAR TO THE SEWER ON EACH SIDE OF THE SEWER. THE ENDS OF THE ENCASEMENT SHALL BE SEALED.
    C. WATERMAIN MUST CROSS BELOW A SEWER/DRAIN WITH LESS THAN 18" VERTICAL SEPARATION.
    D. THE PORTION OF THE TRENCH ABOVE THE INITIAL BACKFILL OF THE LOWER UTILITY AND THE ENTIRE OF THE HIGHER UTILITY SHALL BE FILLED WITH COMPACTED SELECT EXCAVATED MATERIAL (ASTM D-2321, CLASS IV).
8. VALVES, PRESSURE CONNECTIONS, AND TRENCH BACKFILL SHALL CONFORM TO THE CONSTRUCTION DETAILS.

ABBREVIATIONS

A	ARC LENGTH	MH	MANHOLE
B/C	BACK OF CURB	M.D.L.	NO DEVIATION LINE
B-B	BACK-TO-BACK OF CURB	N.I.C.	NOT IN CONTRACT
BIT	BITUMINOUS PAVEMENT	N.W.L.	NORMAL WATER ELEVATION
B.L.	BUILDING LINE	P.I.	POINT OF INTERSECTION
B.V.	BENCH MARK	P.O.C.	POINT OF REVERSE CURVATURE
BRW	BOTTOM OF RETAINING WALL	PVC	POLYVINYL CHLORIDE
B/W	BACK OF SIDEWALK	P.T.	POINT OF TANGENCY
CHDPE	CORRUGATED HIGH DENSITY POLYETHYLENE PIPE	P.L.	PROPERTY LINE
CO	CLEAN OUT	P.C.	POINT OF CURVATURE
C & G	CURB AND GUTTER	P.V.I.	POINT OF VERTICAL INTERSECTION
C.B.	CATCH BASIN	P.S.	PROFILE GRADE
CP	CONTROL POINT	R	RADIUS
DWG	DRAWING	RCP	REINFORCED CONCRETE PIPE
D



S:\Darien\Dupage County Health Department\230002_Central Receiving Center Study\01\11 Drawings\02 CD\230002 C1.00 OVERALL EXISTING CONDITIONS PLAN.dwg zmattix Oct 31, 2023 7:30:41 am

Wight © Copyright 2023 The part of these documents may be reproduced, stored or transmitted in any form or by any means, electronic, mechanical, photocopying, recording or otherwise, without the prior written consent of Wight.

DUPAGE COUNTY
HEALTH DEPARTMENT

Wight
Wight & Company
wightco.com
2500 North Frontage Road
Darien, IL 60561
P 630.969.7000
F 630.969.7979

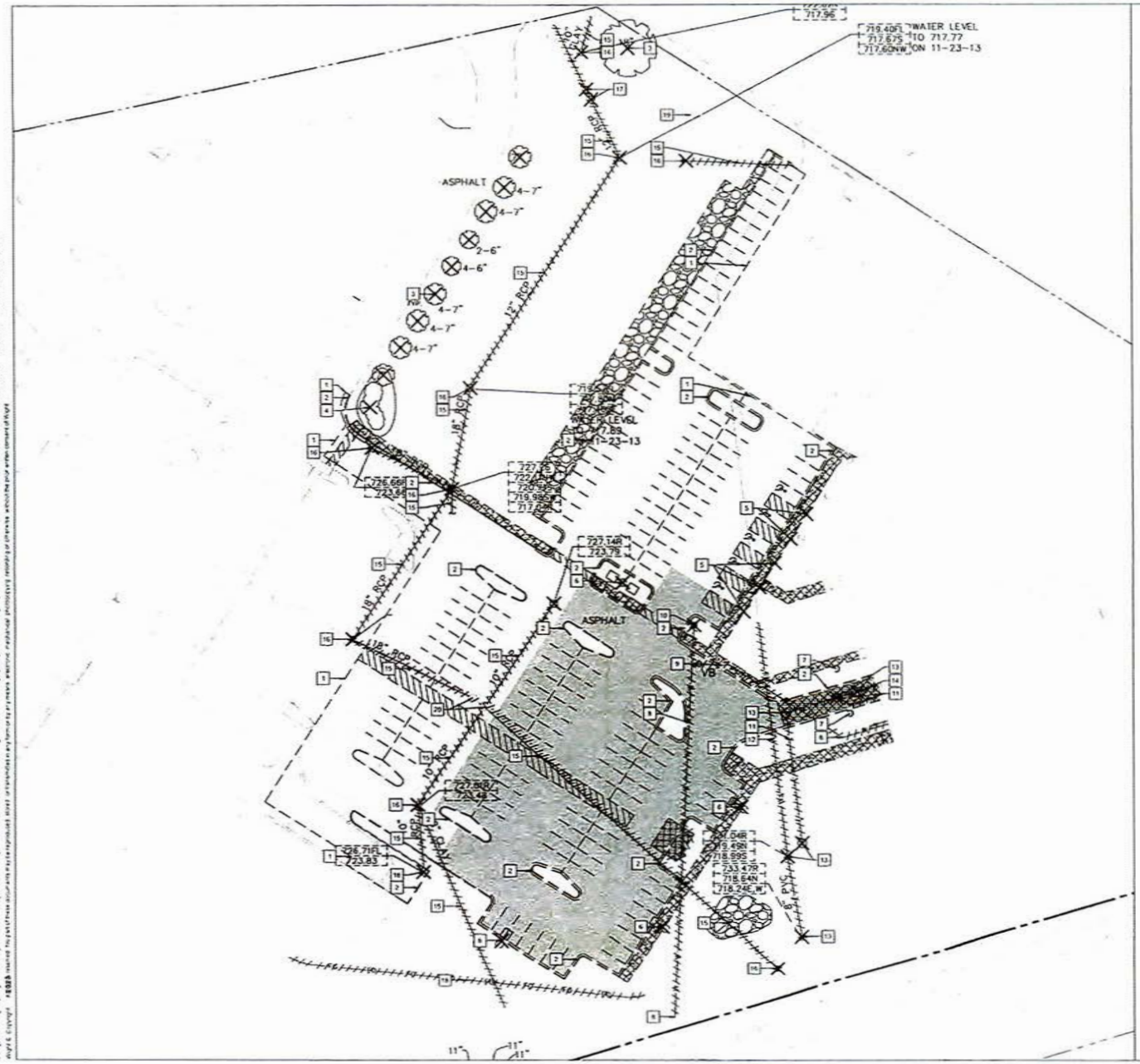
REV	DESCRIPTION	DATE
	100% DD	10/30/

CRISIS RECOVERY CENTER

115 N COUNTY FARM ROAD
WHEATON, IL 60187

OVERALL EXISTING CONDITIONS PLAN

Project Number
230002
Drawn By
VL
Sheet
C1.00



LEGEND

- ITEM REMOVAL
- LINEAR ITEM REMOVAL
- FULL DEPTH HMA AND STONE BASE REMOVAL
- PARTIAL DEPTH HMA AND STONE BASE REMOVAL
- CONCRETE AND STONE BASE REMOVAL
- GRAVEL REMOVAL

DEMO KEY NOTES

1	SAWCUT PAVEMENT
2	REMOVE CURB AND GUTTER WHERE PRESENT
3	REMOVE TREE
4	REMOVE LANDSCAPING / SHRUBBERY
5	REMOVE SIGN, POST, AND FOUNDATION
6	REMOVE LIGHT POLE AND FOUNDATION
7	REMOVE PATH LIGHT
8	REMOVE EXISTING WATER SERVICE. CUT AND CAP EXISTING WATER SERVICE AT MAIN. COORDINATE WORK WITH THE CITY.
9	REMOVE VALVE BOX
10	REMOVE FIRE HYDRANT
11	REMOVE SANITARY SEWER. CUT AND CAP AT PROPERTY LINE. COORDINATE WORK WITH THE CITY.
12	REMOVE SANITARY FORCE MAIN
13	REMOVE SANITARY STRUCTURE
14	REMOVE GREASE SNAP STRUCTURE
15	REMOVE STORM SEWER
16	REMOVE STORM STRUCTURE. CUT AND CAP ANY FOUND SEWERS AND NOTIFY ENGINEER OF FINDINGS
17	EXISTING RESTRICTOR STRUCTURE TO BE REMOVED. SALVAGED, AND RELOCATED. RIM TO BE ADJUSTED AS NECESSARY. SEE GRADING AND UTILITY PLANS.
18	REMOVE FIBER OPTIC LINE AND REROUTE. VERIFY LOCATION IN FIELD. SEE UTILITY PLAN
19	REMOVE CONCRETE OVERFLOW WEIR
20	EXISTING STORMTRAP WATER QUALITY UNIT TO BE PROTECTED. ADJUST RIM AS NECESSARY. SEE GRADING AND UTILITY PLANS.

DEMOLITION NOTES

1. CONTRACTOR TO PROTECT ALL EXISTING UTILITIES DURING DEMOLITION & CONSTRUCTION ACTIVITIES, WHETHER SHOWN ON THE PLANS OR NOT. UNLESS OTHERWISE SPECIFIED, ANY RELOCATION, ADJUSTMENTS, CONFLICTS, ETC. SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY. CONTRACTOR TO LOCATE ALL PUBLIC & PRIVATE UTILITIES IN THE RIGHT-OF-WAY AND SITE PRIOR TO CONSTRUCTION.
2. ALL EXISTING CURB TO REMAIN UNLESS OTHERWISE SPECIFIED. ANY CURB DAMAGED DURING DEMOLITION SHALL BE REPLACED IN-KIND.
3. ALL EXISTING SIGNS & LIGHT POLES TO REMAIN AND BE PROTECTED UNLESS OTHERWISE SPECIFIED. ANY SIGNS REMOVED SHALL BE SALVAGED AND RELOCATED OR RETURNED TO OWNER.
4. ANY UTILITY ADJUSTMENTS, CONFLICTS, RELOCATIONS, ETC. REQUIRED SHALL BE COORDINATED WITH ENGINEER AND UTILITY OWNER/PROVIDER.
5. ALL EXISTING TREES TO REMAIN AND TO BE PROTECTED UNLESS OTHERWISE SPECIFIED.
6. ALL DEMOLITION AND CONSTRUCTION IN THE RIGHT-OF-WAY SHALL BE COORDINATED AND APPROVED BY THE CITY OF WHEATON. THE CONTRACTOR IS TO CONTACT THE INSPECTORS AT THE CITY OF WHEATON PRIOR TO CONSTRUCTION.
7. COORDINATE ALL ELECTRICAL, CABLE, FIBER, ETC. REMOVAL/RELOCATION WITH MEP PLANS. CONTRACTOR SHALL PROTECT ALL EXISTING ELECTRIC SERVICES DURING CONSTRUCTION AND NOTIFY ENGINEER IMMEDIATELY OF ANY CONFLICTS.
8. ALL EXISTING SHRUBS AND LANDSCAPING IN CONFLICT WITH SITE IMPROVEMENTS SHALL BE REMOVED.
9. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY DAMAGED PUBLIC/PRIVATE PROPERTY OR ROADWAY AS A RESULT OF CONSTRUCTION ON THIS SITE. THE RIGHT-OF-WAY MUST BE RESTORED TO EXISTING OR BETTER CONDITION.
10. ITEMS NOTED AS REMOVE AND RELOCATE. SEE LAYOUT PLAN FOR NEW LOCATIONS.

DUPAGE COUNTY HEALTH DEPARTMENT

Wight
Wight & Company
wightco.com
2500 North Frontage Road
Darien, IL 60561
P 630.969.7000
F 630.969.7979

REV	DESCRIPTION	DATE
	100% DD	10/30/2

CRISIS RECOVERY CENTER

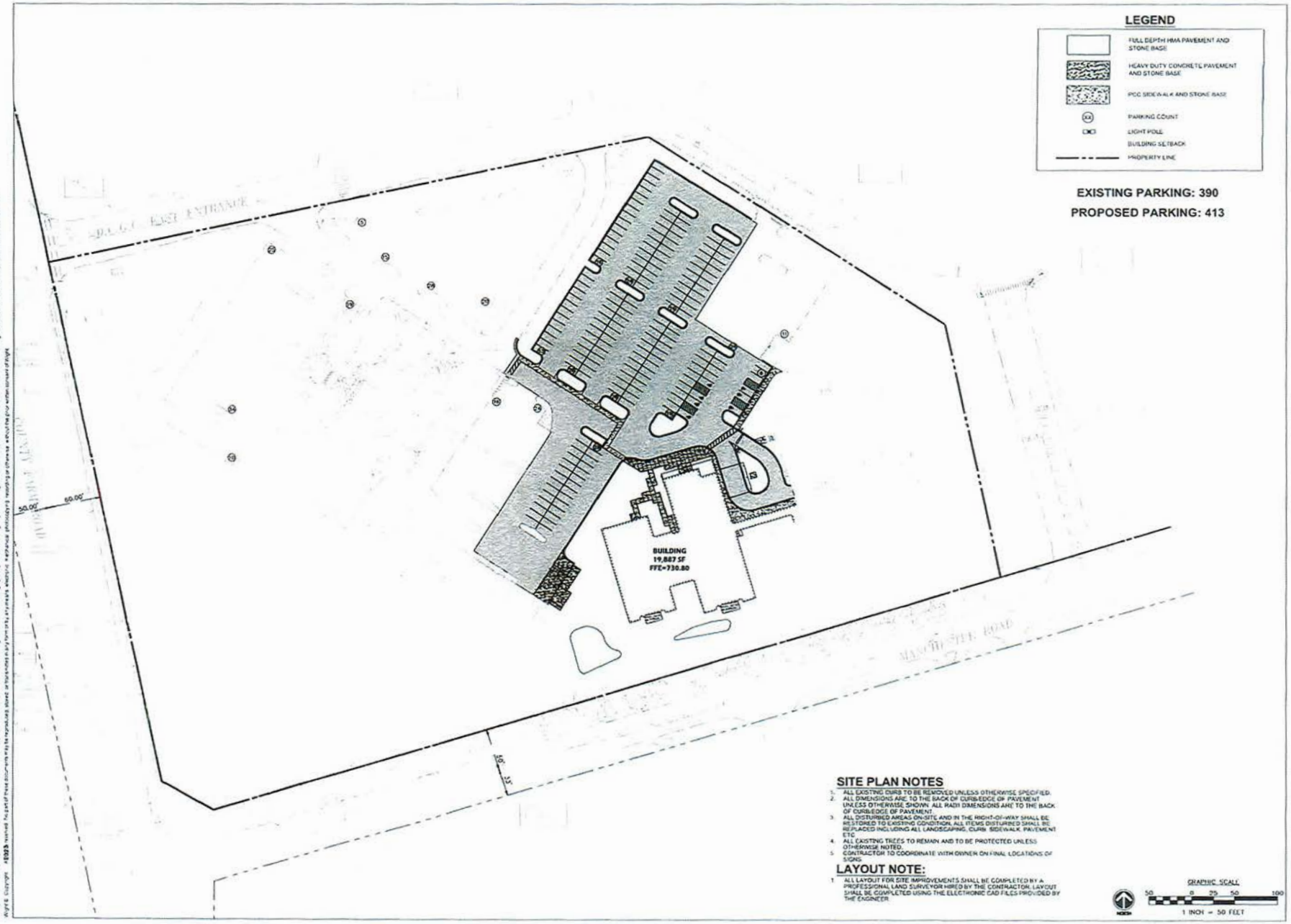
115 N COUNTY FARM ROAD
WHEATON, IL 60187

DEMOLITION PLAN

Project Number: 230002
Drawn By: W.

C1.01

S:\Darien\Dupage County Health Department\230002_Central Receiving Center Study\01\11 Drawings\02 CD\230002 C1.01 DEMOLITION PLAN.dwg zmattix Oct 31, 2023 7:30:59 am
Wight & Company ©2023 Reuse of these drawings and specifications without permission is prohibited. Unauthorized alteration or addition to these documents is prohibited.



SITE PLAN NOTES

1. ALL EXISTING CURB TO BE REMOVED UNLESS OTHERWISE SPECIFIED.
2. ALL DIMENSIONS ARE TO THE BACK OF CURB/EDGE OF PAVEMENT UNLESS OTHERWISE SHOWN. ALL RADII DIMENSIONS ARE TO THE BACK OF CURB/EDGE OF PAVEMENT.
3. ALL DISTURBED AREAS ON-SITE AND IN THE RIGHT-OF-WAY SHALL BE RESTORED TO EXISTING CONDITION. ALL ITEMS DISTURBED SHALL BE REPLACED INCLUDING ALL LANDSCAPING, CURB, SIDEWALK, PAVEMENT ETC.
4. ALL EXISTING TREES TO REMAIN AND TO BE PROTECTED UNLESS OTHERWISE NOTED.
5. CONTRACTOR TO COORDINATE WITH OWNER ON FINAL LOCATIONS OF SIGNS.

LAYOUT NOTE:

1. ALL LAYOUT FOR SITE IMPROVEMENTS SHALL BE COMPLETED BY A PROFESSIONAL LAND SURVEYOR HIRED BY THE CONTRACTOR. LAYOUT SHALL BE COMPLETED USING THE ELECTRONIC CAD FILES PROVIDED BY THE ENGINEER.

DUPAGE COUNTY HEALTH DEPARTMEI

Wight
Wight & Company
wightco.com
2500 North Frontage Road
Darien, IL 60561
P 630.969.7000
F 630.969.7979

REV	DESCRIPTION	DATE
	100% DD	10/30/

CRISIS RECOVERY CENTER

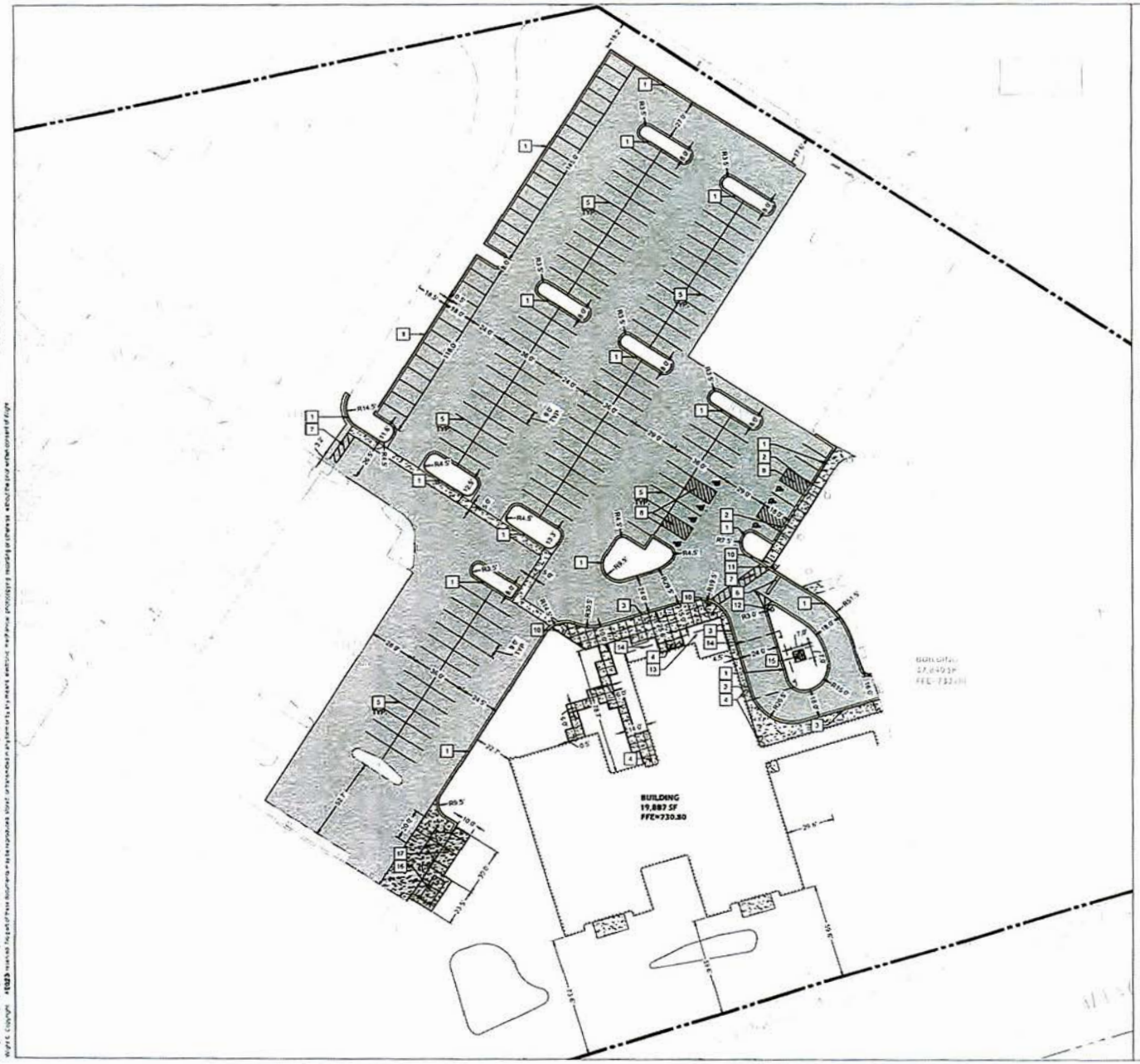
115 N COUNTY FARM ROAD
WHEATON, IL 60187

OVERALL SITE PLAN

Project Number
230002
Drawn By
VL
Sheet

C2.00

S:\Darien\Dupage County Health Department\230002_Central Receiving Center Study\01\11 Drawings\02 CD\230002 C2.00 OVERALL SITE PLAN.dwg zmattix Oct 31, 2023 7:31:06 am
Wight & Company ©2023 Wight & Company



LEGEND

- FULL DEPTH HMA PAVEMENT AND STONE BASE
- HEAVY DUTY CONCRETE PAVEMENT AND STONE BASE
- PCC SIDEWALK AND STONE BASE
- PARKING COUNT
- LIGHT POLE
- BUILDING SETBACK
- PROPERTY LINE

EXISTING PARKING: 391

PROPOSED PARKING: 448

SITE KEY NOTES

1	6x12 CURB AND GUTTER
2	DEPRESSED CURB AND GUTTER
3	INTEGRAL CURB AND SIDEWALK
4	FROST STOOP
5	4" SOLID PARKING STRIPE, TRAFFIC WHITE PAINT
6	24" STOP BAR, TRAFFIC WHITE PAINT
7	12" CROSSWALK STRIPING, TRAFFIC WHITE PAINT
8	ADA PARKING STRIPING, TYP
9	ADA SIGN IN MOVABLE BASE
10	ADA RAMP AND DETECTIBLE WARNINGS
11	STOP SIGN
12	DO NOT ENTER SIGN
13	DECORATIVE SIGN
14	BUILDING CANOPY
15	TRANSFORMER AND CONCRETE PAD
16	GENERATOR AND CONCRETE PAD
17	TRASH ENCLOSURE

SITE PLAN NOTES

1. ALL EXISTING CURB TO BE REMOVED UNLESS OTHERWISE SPECIFIED.
2. ALL DIMENSIONS ARE TO THE BACK OF CURB/EDGE OF PAVEMENT UNLESS OTHERWISE SHOWN. ALL RADII DIMENSIONS ARE TO THE BACK OF CURB/EDGE OF PAVEMENT.
3. ALL DISTURBED AREAS ON-SITE AND IN THE RIGHT-OF-WAY SHALL BE RESTORED TO EXISTING CONDITION. ALL ITEMS DISTURBED SHALL BE REPLACED INCLUDING ALL LANDSCAPING, CURB, SIDEWALK, PAVEMENT, ETC.
4. ALL EXISTING TREES TO REMAIN AND TO BE PROTECTED UNLESS OTHERWISE NOTED.
5. CONTRACTOR TO COORDINATE WITH OWNER ON FINAL LOCATIONS OF SIGNS.

LAYOUT NOTE:

1. ALL LAYOUT FOR SITE IMPROVEMENTS SHALL BE COMPLETED BY A PROFESSIONAL LAND SURVEYOR HIRED BY THE CONTRACTOR. LAYOUT SHALL BE COMPLETED USING THE ELECTRONIC CAD FILES PROVIDED BY THE ENGINEER.

GRAPHIC SCALE

30 0 15 30 60

1 INCH = 30 FEET

DUPAGE COUNTY HEALTH DEPARTMEN

Wight

Wight & Company
wightco.com
2500 North Frontage Road
Darien, IL 60561
P 630.969.7000
F 630.969.7979

REV	DESCRIPTION	DATE
	100% DD	10/30

CRISIS RECOVERY CENTER

115 N COUNTY FARM ROAD
WHEATON, IL 60187

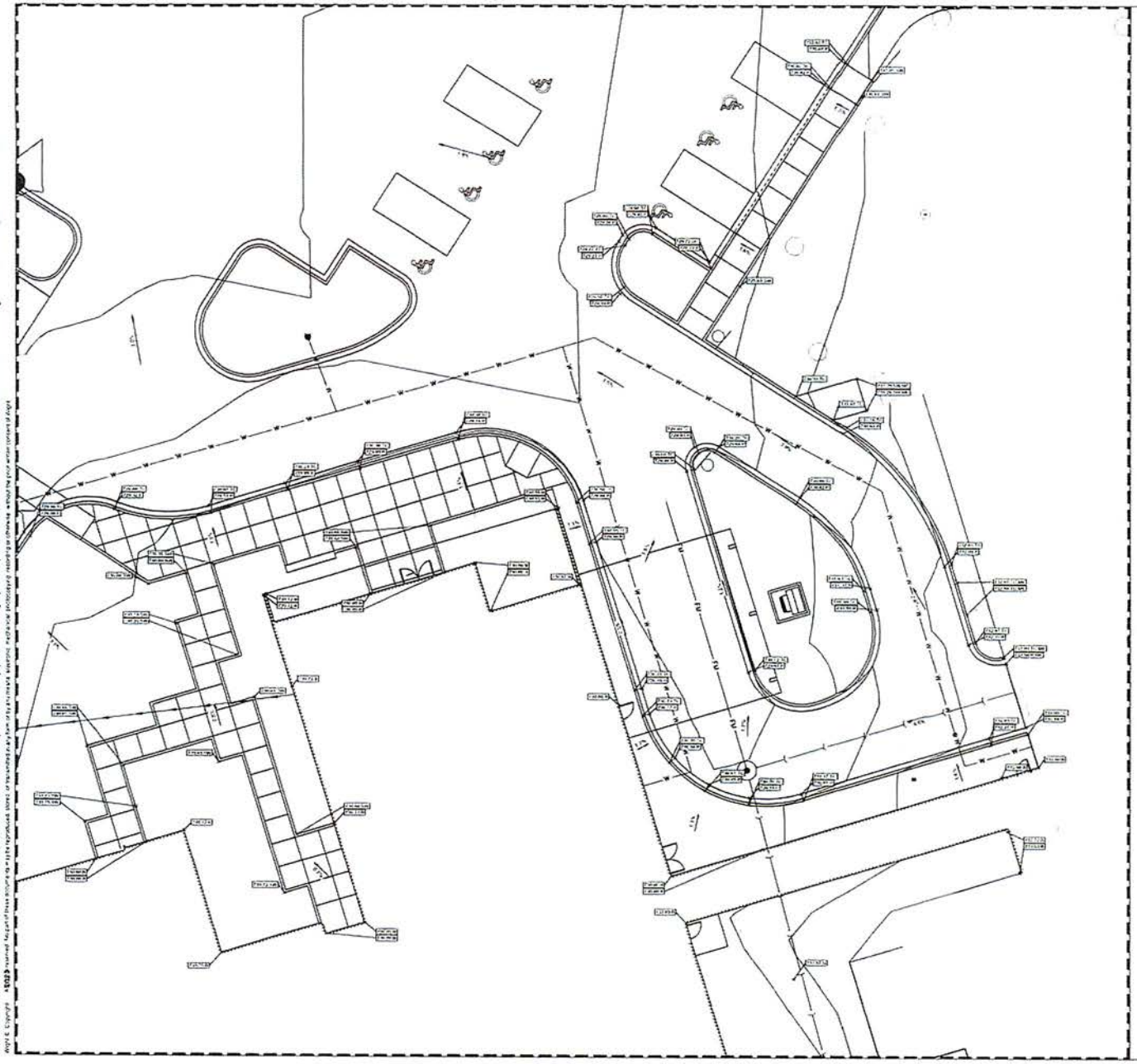
SITE PLAN

Project Number
230002
Drawn By
VL
Sheet

C2.0

S:\Darien\Dupage County Health Department\230002_Central Receiving Center Study\01\11 Drawings\02 CD\230002 C2.01 SITE PLAN.dwg zmattis Oct 31, 2023 7:31:19 pm
Wight & Company Copyright #2023 Reserved. The use of these documents or any part thereof is prohibited without written consent of Wight.

BUILDING
19,687 SF
FFE=730.80
SEE C3.01 FOR GRADING ENLARGEMENT
FO
FO
FO



LEGEND

ME	MATCH EXISTING ELEVATION
HP	HIGH POINT
123.123	TOP OF PAVEMENT ELEVATION
123.123	GROUND ELEVATION
123.123	TOP OF SIDEWALK ELEVATION
123.123	RIM ELEVATION
	EXISTING CONTOUR LINE
745	PROPOSED CONTOUR LINE
1.0%	SLOPE/FLOW DIRECTION
	OVERLAND FLOW ROUTE
	CATCH BASIN
	MANHOLE

NOTES:

1. CONTRACTOR TO VERIFY ALL EXISTING UTILITY LOCATIONS, SIZES, SLOPES, INVERTS, ETC. AND CONTACT ENGINEER IMMEDIATELY IF THERE ARE ANY CONFLICTS/DISCREPANCIES.
2. CONTRACTOR TO COORDINATE LOCATIONS, SIZE AND INVERTS WITH MEP PLANS.
3. THE CONTRACTOR SHALL PROTECT ANY AND ALL TREES EITHER SHOWN OR NOT SHOWN ON THE PLANS UNLESS OTHERWISE SPECIFIED. MINIMUM PROTECTION FOR TREES SHALL BE 4' SNOW FENCE INSTALLED ALONG THE DRIP LINE OF TREES.
4. CONTRACTOR TO PROTECT ALL EXISTING UTILITIES.
5. ALL EXISTING UTILITY STRUCTURES SHALL BE ADJUSTED AS NECESSARY TO MATCH FINISH GRADE. ALL EXISTING UTILITY STRUCTURES REQUIRING ADJUSTMENT OR RECONSTRUCTION SHALL BE COMPLETED BY THE CONTRACTOR TO THE SATISFACTION OF THE UTILITY OWNER. ADJUSTMENTS AND/OR RECONSTRUCTIONS NOT CALLED FOR ON THE PLANS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. NO MORE THAN A TOTAL OF 12 INCHES OF ADJUSTING RINGS AND/OR 2 ADJUSTING RINGS SHALL BE ALLOWED.
6. ALL SITE WORK SHALL BE IN CONFORMANCE WITH THE ILLINOIS ACCESSIBILITY CODE AND WITH THE AMERICANS WITH DISABILITIES ACT.
7. RAMPS SHALL NOT EXCEED A RUNNING SLOPE OF 1:12 (8.33%).
8. MAXIMUM CROSS-SLOPE ON ANY WALK OR RAMPS SHALL BE 2%. ALL ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
9. SEE SWPPP PLAN FOR ALL EROSION AND SEDIMENT CONTROL NOTES, STANDARDS INSPECTIONS, MAINTENANCE AND PRACTICES THAT NEED TO BE FOLLOWED.

GEOTECH NOTE:

FOLLOW ALL RECOMMENDATIONS, REQUIREMENTS, REMEDIATION, ETC. AS SPECIFIED IN THE "SUBSURFACE EXPLORATION AND GEOTECHNICAL ENGINEERING REPORT" PROVIDED BY EGS MIDWEST LLC. ANY DISCREPANCIES BETWEEN THE REPORTS, NOTES AND SPECIFICATIONS, THE MORE STRINGENT SHALL APPLY.

EARTHWORK NOTES:

CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXACT EARTHWORK REQUIREMENTS (CUT, FILL, HAUL IN/OFF, ETC.) TO BRING SITE TO FINISHED GRADE. ANY ON-SITE RE-USE OF ON-SITE DEMOLITION DEBRIS/MATERIALS MUST BE APPROVED BY THE GEOTECHNICAL ENGINEER.

AS-BUILT NOTES:

THE CONTRACTOR IS RESPONSIBLE FOR ALL AS-BUILT SURVEYS. ALL AS-BUILT SURVEYS SHALL BE COMPLETED BY A PROFESSIONAL LAND SURVEYOR AND BE SIGNED AND SEALED. THE CONTRACTOR SHALL SUBMIT TWO SETS OF THE "AS-BUILT" FINAL ENGINEERING DRAWINGS (I.E. RECORD DRAWINGS) AND STORMWATER MANAGEMENT CALCULATIONS UPON COMPLETION OF IMPROVEMENTS AND INCLUDE ELECTRONIC CAD FILES. THE RECORD DRAWINGS SHOULD AT LEAST INCLUDE THE FOLLOWING INFORMATION: AS-BUILT DETENTION CONTOURS, ELEVATIONS (INCLUDING DETENTION BASIN TOP OF BERM AND OVERFLOW WEIR GRADES) AND VOLUME (VERIFIED, SIGNED & SEALED BY A PROFESSIONAL ENGINEER (PE) OR PROFESSIONAL LAND SURVEYOR (PLS)); ELEVATION, AND LOCATION (TIES TO TWO POINTS) OF ALL NEW STRUCTURES INCLUDING FIRE HYDRANTS, VALVE BOXES AND VAULTS, LINESTOP SLEEVES, WATER SERVICE CORPORATION STOPS, WATER MAIN FITTINGS/BENDS, MANHOLES, SANITARY SERVICE WYES (MEASURED FROM DOWNSTREAM MANHOLE), ALL STORM/SANITARY SEWER STRUCTURES (INCLUDING INVERTS AND PIPE SIZES), ALL PIPES (LOCATIONS, SLOPES, LENGTHS, ETC.), OUTLET CONTROL STRUCTURES (INCLUDING RESTRICTOR SIZES AND ELEVATIONS PLUS TOP OF WALL) AND ABANDONED WATER OR SANITARY SERVICE LINES. DETAILED TOPOGRAPHIC SURVEY OF ALL HIGH POINTS, LOW POINTS, CHANGE OF SLOPE INCLUDING GUTTER GRADES, TOP OF CURB GRADES, PAVEMENT GRADES, SIDEWALK GRADES, RAMP GRADES, ETC. TO VERIFY POSITIVE DRAINAGE. ALL ELEVATIONS SHOULD BE REFERENCED TO THE SAME BENCHMARK DATUM AS THE ORIGINAL DESIGN PLANS. HORIZONTAL TIES SHALL BE REFERENCED TO LOT LINES, BACK OF CURB, OR PROPERTY CORNERS.

WITHIN DETENTION BMP AREAS, FOR VERIFICATION OF DETENTION VOLUME AND SUBBASE GRADES, PRIOR TO BACK FILLING WITH CA-7, THE CONTRACTOR SHALL PROVIDE ENGINEER WITH A CERTIFIED TOPO SURVEY OF AS-BUILT SUBBASE GRADES FOR ENGINEER APPROVAL AND ALSO A COPY OF RECEIPT OF THE CA-7 AGGREGATE

NORTH

GRAPHIC SCALE

10 0 5 10 20

1 INCH = 10 FEET

DUPAGE COUNTY HEALTH DEPARTMENT

Wight

Wight & Company
wightco.com
2500 North Frontage Road
Darien, IL 60561
P 630.969.7000
F 630.969.7979

REV	DESCRIPTION	DATE
	100% DD	10/30/23

CRISIS RECOVERY CENTER

115 N COUNTY FARM ROAD
WHEATON, IL 60187

GRADING AND EROSION CONTROL PLAN

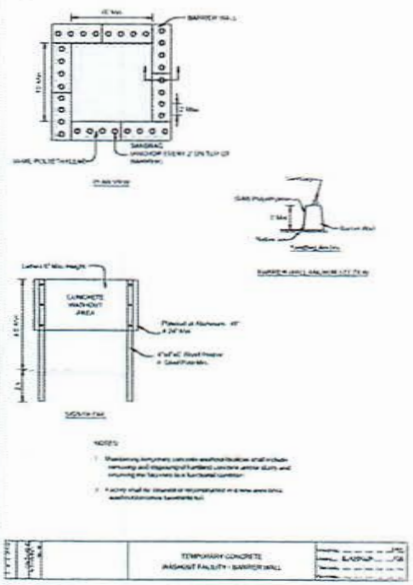
Project Number: 230002
Drawn By: VL
Scale:

C3.01

S:\Darien\Dupage County Health Department\230002_Central Receiving Center Study\01\11 Drawings\02 CD\230002 C3.00 GRADING AND EROSION CONTROL PLAN.dwg zmattix Oct 31, 2023 7:31:46 am
Wight & Company 2023 Reserved. Reproduction or use of this document in any form without prior written consent is prohibited.

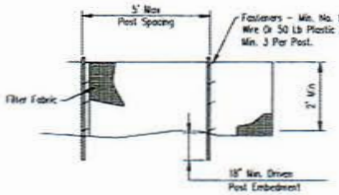
1 TEMPORARY CONCRETE WASHOUT FACILITY - BARRIER WALL

SCALE: NTS

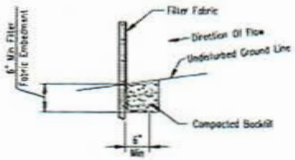


2 SILT FENCE

SCALE: NTS



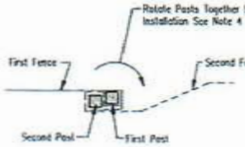
ELEVATION



FABRIC ANCHOR DETAIL

NOTES:

1. Temporary silt fence shall be installed prior to any grading work in the area to be protected. Fence shall be maintained throughout the construction period and removed in conjunction with the final grading and silt stabilization.
2. Filter fabric shall meet the requirements of material specification 592:
   Geotextile Table 1 or 2, Class I with equivalent opening size of at least
   30 for nonwoven and 50 for woven.
3. Fence posts shall be either wood post with a minimum cross-sectional
   area of 1.5" X 1.5" or a standard steel post.
4. When splices are necessary make splice at post according to splice
   detail. Place the end post of the second fence inside the end post of
   the first fence. Rotate both posts together at least 180 degrees to
   create a tight seal with the fabric material. Cut the fabric near the
   bottom of the posts to accommodate the 6 inch flap. Then drive both
   posts and bury the flap. Compact backfill well.



SPLICE DETAIL - PLAN VIEW

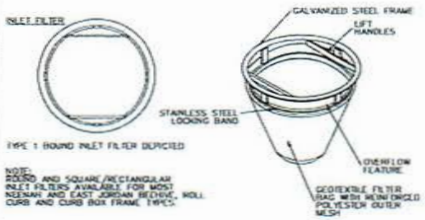
SILT FENCE

USDA United States Department of Agriculture Natural Resources Conservation Service

IL-ENG-49

3 DROP INLET PROTECTION

SCALE: NTS



TYPE 1 ROUND INLET FILTER DEPICTED

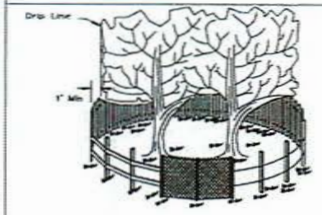
NOTE:
ROUND AND SQUARE/RECTANGULAR INLET FILTERS AVAILABLE FOR MOST NEENAH AND EAST JORDAN IRONWORK, MOLL CURB AND CURB BOX FRAME TYPES.

IDOT STANDARD FRAME SELECTION

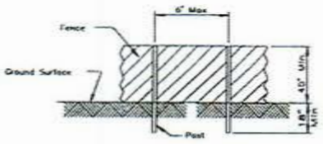
MODIFICATION: AS IPP INLET FILTERS CONFORM TO IDOT SPECIFICATIONS AS OUTLINED IN ARTICLE 1081.15 OF IDOT'S STANDARDS SPECIFICATIONS GUIDE.

IDOT Size	Grate Size	Opening	Clow P/N	Neenah Dims	Notes
Type 1,5	23" dia	23	2600-1	R-2560	Round
Type 1,5	33" dia	23 (inlet)	2600-8	R-2565	Round
Type 1, 3V	17 x 16.5	10 x 10	2116-308	R-3171 H=16	Curb box, flap
Type 1, 11V	28.75 x 11.38	22 x 9.875	2811-1108	R-3246 H=11	Curb box, flap
Type 5	30 x 22.75	20.25 x 7.34	2122-5	R-3246 H=22	Rolled curb
Type 5,2	28.75 x 17.22	22 x 16.34	2817-12	R-3246 H=16	Rolled curb
Type 4	31.75 x 14.75	26 x 13	2114-4	R-3246 H=14	Rect flat
Type 20, 21, 22	22 x 22.5	22 x 20	2222-22	R-3250 H=22	Square flat
Type 23	24 x 16.25	22 x 14.5	2316-23	R-3250 H=15	Rect flat
Type 24	24 x 22.5	22 x 20.5	2322-24	R-3250 H=22	Rect flat

TREE PROTECTION - FENCING



SIDE VIEW



POST AND FENCE DETAIL

NOTES:

1. The fence shall be located a minimum of 1 foot outside the drip line of the tree to be saved and in no case closer than 3 feet to the trunk of any tree.
2. Fence posts shall be either standard steel posts or wood posts with a minumum cross sectional area of 3.0 sq. in.
3. The fence may be either 42" high snow fence, 42" plastic web fencing or any other material as approved by the engineer/inspector.

REVISIONS
Project
Designed Date
Checked Date
Approved Date

NRCS Natural Resources Conservation Service

STANDARD DWG. NO. IL-690
SHEET 1 OF 1
DATE

S:\Durien\Dupage County Health Department\230002_Central Receiving Center Study\01\11 Drawings\02 CD\230002 C5.00 CIVL DETAILS.dwg zmattix Oct 31, 2023 7:31:55 am
Style: Copyright 1988-2 Hansen Information Technology. All rights reserved. This document is the property of Hansen Information Technology and may not be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording or otherwise, without the prior written consent of Hansen.

DUPAGE COUNTY HEALTH DEPARTMENT

Wight
Wight & Company
wightco.com
2500 North Frontage Road
Darien, IL 60561
P 630.969.7000
F 630.969.7979

REV	DESCRIPTION	DATE
	100% DD	10/30/2

CRISIS RECOVERY CENTER

115 N COUNTY FARM ROAD
WHEATON, IL 60187

EROSION CONTROL DETAIL

Project Number
230002
Drawn By
VL
Scale

C3.02

SEDIMENT AND EROSION CONTROL

1. SHADE CONTRACTOR SHALL ABIDE BY EROSION CONTROL MEASURES OUTLINED IN THE "ILLINOIS URBAN MANUAL, LATEST EDITION" BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY (IEPA).
2. SILT FENCING AND OTHER EROSION CONTROL MEASURES SHALL BE INSTALLED BY THE SHADE CONTRACTOR PRIOR TO THE BEGINNING OF CONSTRUCTION ACTIVITIES TO THE LIMITS DELINEATED ON THE PLANS. NO DISTURBANCE OF LAND IS ALLOWED OUTSIDE THE SILT FENCE AND PROJECT LIMITS AS INDICATED ON THE PLANS.
3. ALL REQUIRED EROSION CONTROL MEASURES, INCLUDING DETENTION BASIN CONSTRUCTION SHALL BE IN PLACE PRIOR TO ANY OTHER SITE DISTURBANCE.
4. ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL PRACTICES MUST BE INSPECTED WEEKLY AND MAINTAINED. INSPECTIONS SHALL ALSO BE MADE AFTER A RAINFALL EVENT OF 1/2 INCH OR GREATER OR EQUIVALENT SNOW FALL EVENT. IF NECESSARY, REPAIR OR REPLACEMENT MUST BE PERFORMED IMMEDIATELY TO ASSURE EFFECTIVE PERFORMANCE OF THEIR INTENDED FUNCTIONS.
5. IF DEWATERING DEVICES ARE USED, DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION. ALL PUMPED DISCHARGES SHALL BE ROUTED THROUGH APPROPRIATELY DESIGNED SEDIMENT TRAPS, BASINS, SEDIMENT FILTER BAGS OR EQUIVALENT MEASURES.
6. STABILIZATION OF DISTURBED AREAS MUST BE INITIATED WITHIN 1 WORKING DAY ON PERMANENT OR TEMPORARY CESSATION OF EARTH DISTURBING ACTIVITIES AND SHALL BE COMPLETED AS SOON AS POSSIBLE BUT NOT LATER THAN 14 DAYS FROM THE INITIATION OF STABILIZATION WORK IN AN AREA.
7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSED OF WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED WITH PERMANENT SOIL STABILIZATION MEASURES.
8. MAJOR AMENDMENTS OF THE SITE DEVELOPMENT OR EROSION AND SEDIMENTATION CONTROL PLANS SHALL BE SUBMITTED TO THE MUNICIPALITY TO BE APPROVED IN THE SAME MANNER AS THE ORIGINAL PLANS.
9. THE SHADE CONTRACTOR SHALL STABILIZE THE SIDE SLOPES GREATER THAN 10:1 OR WHERE SHOWN ON THE PLANS BY INSTALLING NORTH AMERICAN GREEN EROSION CONTROL BLANKETS, within 5 DAYS AFTER FINAL GRADE IS ACHIEVED AND FOLLOWING SEEDING WITH THE TEMPORARY SEED MATRIX. THE EROSION CONTROL BLANKET SHALL BE INSTALLED AS PRESCRIBED BY THE MANUFACTURER'S STANDARDS AND SPECIFICATIONS.
10. TEMPORARY EROSIONBELS SHALL HAVE A SILT FENCE ERECTED AROUND THE PERIMETER OF THE PILE, IF A PILE IS TO REMAIN IN PLACE FOR MORE THAN 14 DAYS, IT SHALL BE TEMPORARY SEEDED.
11. SOIL STOCKPILE LOCATIONS MAY BE LOCATED BY THE CONTRACTOR AS NECESSARY ONSITE AND DO NOT NEED TO MATCH EXACT LOCATION AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN. PROVIDE SILT FENCE AROUND ALL STOCKPILE LOCATIONS. ALL STOCKPILES SHALL BE PLACED IN THE PROPOSED DETENTION POND OR BE PLACED IN FLOOD PROTECTION AREAS ON THEIR BOTTOMS.
12. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY EXISTING STORM DRAINAGE SYSTEM BY THE USE OF STRAW BALES, WOOD CHIPS, FILTER BAGS OR OTHER APPROVED METHODS. THE SHADE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT RESULTING FROM THIS PROJECT FROM ALL SEWERS AND DRAINAGE STRUCTURES AND FLUSHING CONVENIENCE UNITS, SIDE OF INSTALLATION IS ESTABLISHED.
13. TEMPORARY SEDIMENT BARRIERS, STRAW BALTLE PROTECTION, FOR STORM SEWER GRATES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS WITHIN THE PLANS AND THE ILLINOIS URBAN MANUAL.
14. THE SHADE CONTRACTOR SHALL PRESCRIBE THE METHODS OUTLINED IN THE ILLINOIS URBAN MANUAL TO CONTROL DUST. ACCEPTABLE MEASURES INCLUDE VEGETATIVE COVER (TEMPORARY SEEDING), MULCH, IRRIGATION, STONE, AND PERMANENT VEGETATION (PERMANENT SEEDING). TEMPORARY DUST CONTROL MEASURES DIY MEANS ACCEPTABLE TO LOCAL AUTHORITIES SHALL BE APPLIED AS NEEDED TO ACCOMPLISH DUST CONTROL.
15. IF AN EXISTING ON-SITE ASPHALT ACCESS IS NOT PRESENT THEN, THE SHADE CONTRACTOR SHALL PROVIDE A CONSTRUCTION ENTRANCE OF DOT M-4.01 FOR THE FIRST 50 FEET IN LENGTH THE ROAD. THE SHADE CONTRACTOR SHALL MAINTAIN THE ADJACENT ROADS FREE OF MUD AND SEDIMENT AT ALL TIMES. REFER TO THE ILLINOIS URBAN MANUAL STANDARD DRAWING IL-630.
16. ALL ACCESS TO AND FROM THE CONSTRUCTION SITE IS TO BE RESTRICTED TO THE CONSTRUCTION ENTRANCE.
17. SHADE CONTRACTOR IS RESPONSIBLE FOR KEEPING PUBLIC STREETS CLEAN OF DIRT, DUST, DEBRIS AND MUD ON A DAILY BASIS FOR THE ENTIRE CONSTRUCTION PERIOD BY A MEANS ACCEPTABLE TO LOCAL AUTHORITIES.
18. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY SHOVELING OR STREET CLEANING (NOT FLUSHING) BEFORE THE END OF EACH WORKDAY AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL.
19. CONTRACTOR IS TO SUBMIT ALL REPORTS, CORRESPONDENCE AND DOCUMENTATION REQUIRED BY THE SWPPP AND IEPA PERMIT TO THE CIVIL ENGINEER FOR REVIEW AND RECORD.

DUST CONTROL MEASURES

ACTIVITY	DESCRIPTION
STABILIZED CONSTRUCTION ENTRANCE	A STABILIZED PAD OF EXISTING ASPHALT OR NEW AGGREGATE LOCATED WHERE TRAFFIC IS ENTERING OR LEAVING THE CONSTRUCTION SITE. ALSO USED AS A TEMPORARY PARKING FACILITY TO REDUCE TRAFFIC ON DISTURBED SOILS.
PERMANENT VEGETATION	ESTABLISHING PERMANENT VEGETATIVE COVER TO STABILIZE DISTURBED AREAS. APPROPRIATELY SELECTED PLANTS WILL BE ESTABLISHED TO REDUCE EROSION AND STABILIZE THE SITE IN A MANNER THAT ADAPTS TO SITE CONDITIONS.
WATERING TRUCK	A WATERING TRUCK SHALL BE PROVIDED BY THE CONTRACTOR. USAGE OF THE TRUCK WILL BE BASED ON THE MEDIUM OF THE OWNER, OWNER'S REPRESENTATIVE, ENGINEER AND/OR MUNICIPALITY TO KEEP THE DUST DOWN.

SEEDING INFORMATION AND SCHEDULE

STABILIZATION TYPE	JAN.	FEB.	MAR.	APR.	MAY	JUNE	JULY	AUG.	SEP.	OCT.	NOV.	DEC.
PERMANENT SEEDING												
SODDING												
TEMPORARY SEEDING												

SEEDING SPECS.

A. (1) STANDARD LAWN MIXTURE
KENTUCKY BLUE GRASS 100 LBS/ACRE
MIXED WITH PERENNIAL RYEGRASS 60 LBS/ACRE
CREEPING RED FESCUE 40 LBS/ACRE

B. (4a) SUN TOLERANT LAWN MIXTURE
TALL GRASS 68 LBS/ACRE
PERENNIAL RYEGRASS 20 LBS/ACRE
SHADOW RED FESCUE 20 LBS/ACRE
SEASIDE RANG FESCUE 20 LBS/ACRE
ITALIAN SALT GRASS 40 LBS/ACRE

C. (4d) LOW PROFILE NATIVE GRASS MIXTURE
ANDROPOGON SCOPARIUS (LITTLE BLUE STEM) 5 LBS/ACRE
BOUTELOUA CURTIPENDULA (SIDE OATS GRAMA) 5 LBS/ACRE
ELYMUS CANADENSIS (WILD RYE) 1LB/ACRE
SCHIZACHYRIUM SCOPARIUM (PRAIRIE DROPSEED) 0.5 LB/ACRE
ANNUAL RYE GRASS 25 LBS/ACRE
OATS, SPRING 25 LBS/ACRE
PERENNIAL RYE GRASS 50 LBS/ACRE

D. (4e) WETLAND GRASS AND SEDGE MIXTURE
ANNUAL RYE GRASS 25 LBS/ACRE
OATS, SPRING 25 LBS/ACRE
WETLAND GRASSES 6 LBS/ACRE

E. (7) TEMPORARY EROSION CONTROL MIXTURE PERENNIAL RYEGRASS 50LBS/ACRE
SPRING OATS 64 LBS/ACRE

F. SOD

IRRIGATION NEEDED DURING JUNE AND JULY

IRRIGATION NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOD

( ) USDA STANDARD

DO NOT SEED OR SOD IF GROUND IS FROZEN OR IF THERE IS THREAT

STORM WATER POLLUTION PREVENTION NOTES

THIS PLAN HAS BEEN PREPARED TO COMPLY WITH THE NPDES PERMIT NUMBER ILR10, ISSUED BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY (IEPA) FOR STORMWATER DISCHARGES FROM CONSTRUCTION SITE ACTIVITIES.

THE PERMITEE MUST COMPLY WITH ALL CONDITIONS OF THE GENERAL PERMIT. ANY NON-COMPLIANCE CONSTITUTES A VIOLATION OF THE IEPA ACT AND THE CLEAN WATER ACT AND CAN BE GROUNDS FOR ENFORCEMENT ACTION, PERMIT REVOCATION, MODIFICATION, RE-ISSUANCE, TERMINATION, OR DENIAL OF A PERMIT RENEWAL.

I. SITE DESCRIPTION

A. THE CONSTRUCTION ACTIVITY CONSISTS OF CLEARING AND GRUBBING, MASS GRADING, CONSTRUCTION OF UTILITIES, CONSTRUCTION OF PARKING LOTS, DRIVES AND SIDEWALKS, A PROPOSED BUILDING, AND SITE LANDSCAPING.

B. THE INTENDED SEQUENCE OF MAJOR ACTIVITIES WHICH DISTURB SOILS FOR MAJOR PORTIONS OF THE CONSTRUCTION IS TOPSOIL STRIPPING, MASS GRADING, UTILITY CONSTRUCTION, PROPOSED BUILDING FOUNDATIONS, HARD SURFACE CONSTRUCTION, FINE GRADING, PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATION.

C. THE TOTAL AREA OF THE SITE IS 14.01 ACRES. 2.86 ACRES ARE EXPECTED TO BE DISTURBED BY EXCAVATION, GRADING, OR OTHER ACTIVITIES. THE PROPOSED RUNOFF COEFFICIENT FOR THE DISTURBANCE AREA IS 0.44.

D. THE SOIL TYPES THAT ARE PREVALENT ON THE SITE ARE CLAYEY ORTHENTS. THE PROJECT CONSISTS OF DEVELOPMENT OF THIS SITE.

E. THIS PLAN INDICATES DRAINAGE PATTERNS AND APPROPRIATE SURFACE INTEGRATED MEASURES AND AFTER MAJOR GRADING ACTIVITIES, LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE AND CONTROLS TO PREVENT OFFSITE SEDIMENT TRACKING, AREAS OF SOIL DISTURBANCE, THE LOCATION OF AREAS WHERE STABILIZATION PRACTICES ARE EXPECTED TO OCCUR, SURFACE WATERS (INCLUDE WETLANDS), AND LOCATIONS WHERE STORM WATER IS DISCHARGED TO A SURFACE WATER.

F. THE RECEIVING WATER FOR THE STORMWATER DISCHARGE LOCATED AT THE NORTHEAST CORNER OF THE SITE UNDER PROPOSED PARKING LOT EXPANSION. THE ULTIMATE RECEIVING WATER IS THE WINFIELD CREEK.

II. SEQUENCE OF MAJOR CONSTRUCTION ACTIVITIES

PROVIDE AND INSPECT, ADEQUATE EROSION CONTROL MEASURES ON THE SITE. ALL EROSION CONTROL MEASURES SHALL BE IN COMPLIANCE WITH THE "STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION" (LATEST REVISION) BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION AND WITH THE ILLINOIS URBAN MANUAL.

1. ESTABLISH STABILIZED CONSTRUCTION ENTRANCE.
2. INSTALL SILT FENCE.
3. INSTALL SITE PROTECTION AS NOTED
4. INSTALL INLET/OUTLET PROTECTION MEASURES.
5. PERFORM SITE CLEARING AND DEMOLITION ACTIVITIES AS SHOWN ON PLANS.
7. PERFORM SITE GRADING AND EXCAVATION BASIN INSTALLATION AS SHOWN ON GRADING PLANS.
8. STOCK PILE TOP SOIL, PERIMETER SILT FENCE AROUND PILE.
9. INSTALL UTILITIES, WITH PERIMETER TEMPORARY AND PERMANENT INLET AND OUTLET PROTECTION.
10. TEMPORARILY STABILIZE ANY BARREN AREAS.
11. CONSTRUCTION OF BUILDING ADDITION, PARKING LOTS AND DRIVEWAYS.
12. INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES AS NECESSARY.
13. SWP INSTALLATION.
14. LANDSCAPE INSTALLATION.
15. ACHIEVE FINAL SITE STABILIZATION.
16. REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES UPON THE ESTABLISHMENT OF PERMANENT GROUND COVER.

III. CONTROLS

THIS PLAN ADDRESSES THE VARIOUS CONTROLS THAT WILL BE IMPLEMENTED FOR EACH OF THE MAJOR CONSTRUCTION ACTIVITIES DESCRIBED ABOVE. FOR EACH MEASURE, THE CONTRACTOR(S) WILL BE RESPONSIBLE FOR THE IMPLEMENTATION.

A. EROSION AND SEDIMENT CONTROLS - THE PERMITTEE SHALL INSTALL AND MAINTAIN EFFECTIVE EROSION CONTROLS AND SEDIMENT CONTROLS TO MINIMIZE THE DISCHARGE POLLUTANTS. AT A MINIMUM, SUCH CONTROLS WILL BE DESIGNED, INSTALLED AND MAINTAINED TO:
   a. CONTROL STORM WATER VOLUME AND VELOCITY WITHIN THE SITE TO MINIMIZE SOIL EROSION
   b. CONTROL STORM WATER DISCHARGES, INCLUDING BOTH PEAK FLOW RATES AND TOTAL STORM WATER VOLUME, TO MINIMIZE EROSION AT OUTLETS AND TO MINIMIZE EROSION IN CHANNEL AND STREAM BANK EROSION
   c. MINIMIZE THE AMOUNT OF SOIL EXPOSED DURING CONSTRUCTION ACTIVITY
   d. MINIMIZE THE DISTURBANCE OF STEEP SLOPES
   e. MINIMIZE SEDIMENT DISCHARGES FROM THE SITE. THE INSTALLATION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROLS MUST ADDRESS FACTORS INCLUDING THE RANGE OF SOIL PARTICLE SIZES EXPECTED TO BE PRESENT ON THE SITE.
   f. PROVIDE AND MAINTAIN NATURAL BUFFERS AROUND SURFACE WATER, DIRECT STORM WATER TO VEGETATED AREAS TO INCREASE SEDIMENT REMOVAL AND MAXIMIZE STORM WATER INFILTRATION, UNLESS PRECLUDED
   g. MINIMIZE SOIL COMPACTED AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL

B. STABILIZATION PRACTICES - STABILIZATION OF DISTURBED AREAS MUST, AT A MINIMUM, BE INITIATED IMMEDIATELY WHENEVER ANY CLEARING, GRADING, EXCAVATION OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED ON ANY PORTION OF THE SITE, OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. STABILIZATION OF DISTURBED AREAS MUST BE INITIATED WITHIN 1 WORKING DAY OF PERMANENT OR TEMPORARY CESSATION OF EARTH DISTURBING ACTIVITIES AND SHALL BE COMPLETED AS SOON AS POSSIBLE BUT NOT LATER THAN 14 DAYS FROM THE INITIATION OF STABILIZATION WORK IN AN AREA. STABILIZATION PRACTICES MAY INCLUDE: TEMPORARY SEEDING, PERMANENT SEEDING, MULCHING, GEOTEXTILES, SOD STABILIZATION, VEGETATIVE BUFFER STRIPS, PRESERVATION OF MATURE VEGETATION, PRESERVATION OF MATURE VEGETATION, STAGED OR STAGGERED DEVELOPMENT, AND OTHER APPROPRIATE MEASURES. A RECORD OF THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR, WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE, AND WHEN STABILIZATION MEASURES ARE INITIATED, SHALL BE INCLUDED IN THE PLAN. EXCEPTIONS TO THOSE TIME FRAMES ARE SPECIFIED PROVIDED IN PARAGRAPHS (a) AND (b) BELOW.
   a. WHERE THE INITIATION OF STABILIZATION MEASURES IS PRECLUDED BY SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.
   b. ON AREAS WHERE CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED AND WILL RESUME AFTER 14 DAYS, A TEMPORARY STABILIZATION METHOD CAN BE USED.

C. STRUCTURAL PRACTICES - PRACTICES INSTALLED TO DIVERT FLOWS FROM EXPOSED SOILS, STORE FLOWS OR REMOVE AND OTHERWISE FILTER OR LIMIT THE DISCHARGE OF POLLUTANTS FROM THE SITE. SUCH AS, BUT NOT LIMITED TO: FENCES, EARTH DIKES, DRAINAGE SWALES, SEDIMENT TRAPS, GREEN DAMS, BARRIER OR DRAINS, PIPE SLOPE DRAINS, LEVEL SPREADERS, STORM DRAIN INLET PROTECTION, WOOD CHIPS, SILT FENCE, STRAW BALES, VEGETATIVE BUFFER STRIPS, CHANNEL AND SHORELINE STABILIZATION, SEDIMENT BASINS, STRUCTURAL PRACTICES SHOULD BE ON UPLAND SOILS TO THE DEGREE PRACTICABLE.
   a. THE FOLLOWING REQUIREMENTS APPLY TO SEDIMENT BASINS. IF SUCH STRUCTURAL PRACTICES WILL BE INSTALLED TO ACCOMPLISH CONDITIONS IN STORM WATER DISCHARGES, THE WATER DISCHARGING FROM THE SEDIMENT BASIN, UTILIZE OUTLET STRUCTURES THAT WITHDRAW WATER FROM THE SURFACE TO MINIMIZE THE DISCHARGE OF PAST THE SEDIMENTS. ALL PROVISIONS OF THE SEDIMENT BASIN USING STABILIZATION CONTROLS (E.G., EROSION CONTROL BLANKETS), AT THE INLET AND OUTLET USING EROSION CONTROL AND ENERGY DISSIPATION DEVICES. THE SEDIMENT BASIN SHALL BE DESIGNED TO FACILITATE MAINTENANCE, INCLUDING SEDIMENT REMOVAL FROM THE BASINS, AS NECESSARY

D. USE OF TREATMENT CHEMICALS - THE USE OF ALL POLYMER FLOCCULANTS OR TREATMENT CHEMICALS AT THE SITE SHALL BE IDENTIFIED DOSAGE OF TREATMENT CHEMICALS SHALL BE IDENTIFIED ALONG WITH ANY INFORMATION FROM THE MANUFACTURER'S SPECIFICATIONS, MATERIAL SAFETY DATA SHEETS (MSDS) AND OTHER INFORMATION FROM THE MANUFACTURER'S SPECIFICATIONS SHALL BE PROVIDED. TREATMENT CHEMICALS MUST BE USED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

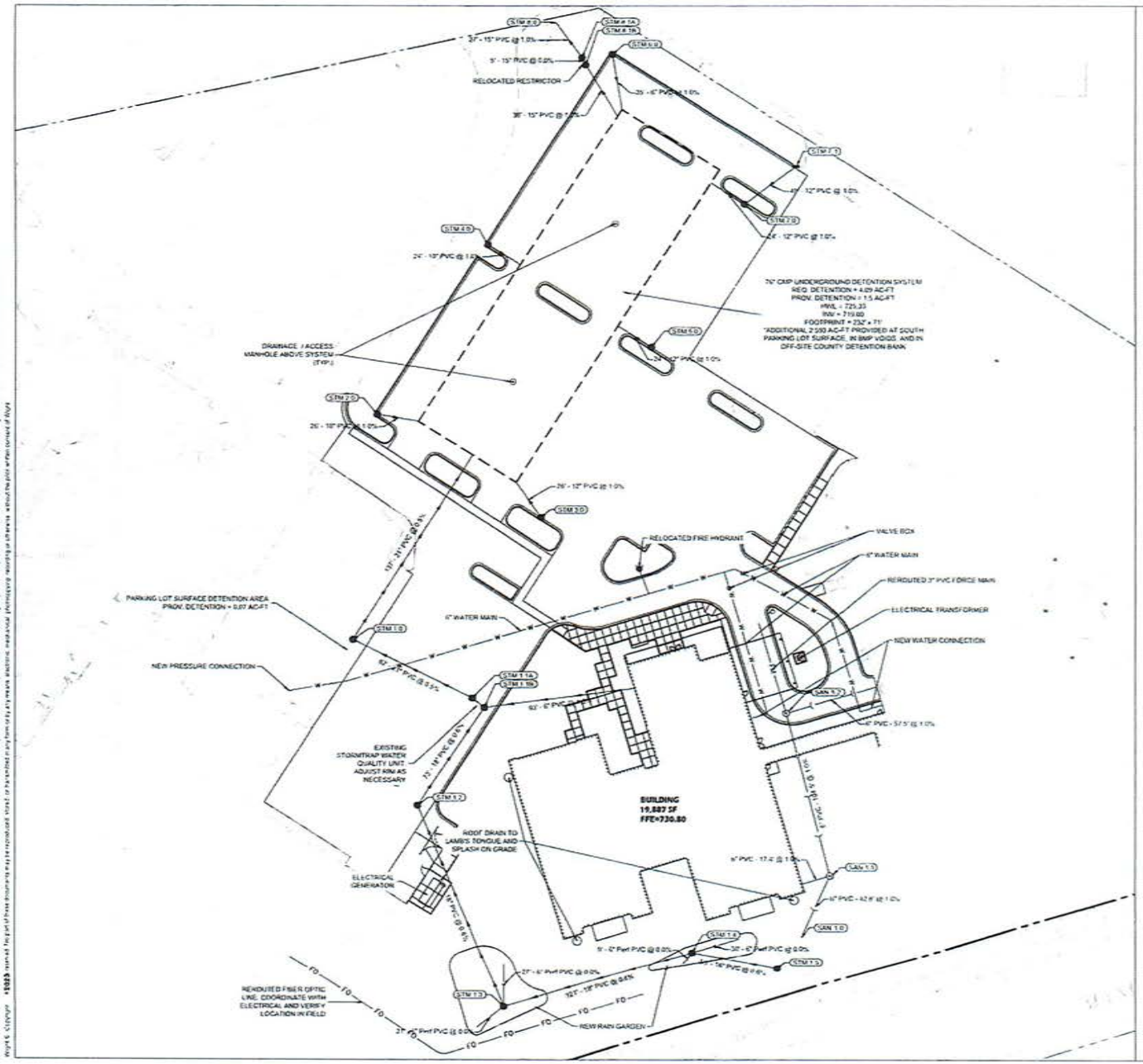
E. BEST MANAGEMENT PRACTICES FOR IMPAIRED WATERS - THIS SITE DOES NOT DISCHARGE DIRECTLY TO AN IMPAIRED WATER IDENTIFIED ON THE AGENCY'S REVISED FOR 303(d) LISTING FOR SUSPENDED SOLIDS, TURBIDITY, OR SELENIUM

F. POLLUTION PREVENTION - POLLUTION PREVENTION MEASURES SHALL BE DESIGNED, INSTALLED, IMPLEMENTED AND MAINTAINED TO MINIMIZE THE DISCHARGE OF POLLUTANTS. AT A MINIMUM, SUCH MEASURES MUST BE DESIGNED, INSTALLED, IMPLEMENTED AND MAINTAINED TO:
   a. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WELL WASH WATER, AND OTHER WASH WATERS. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE
   b. MINIMIZE THE EXPOSURE OF BUILDING MATERIALS, BUILDING PRODUCTS, CONSTRUCTION WASTES, TRASH, LANDSCAPE MATERIALS, FERTILIZERS, PESTICIDES, HERBICIDES, DETERGENTS, SANITARY WASTES AND OTHER MATERIALS PRESENT ON THE SITE TO PRECIPITATION AND TO STORM WATER MINIMIZE THE DISCHARGE OF POLLUTANTS FROM SPILLS AND LEAKS AND IMPLEMENT CHEMICAL SPILL AND LEAK PREVENTION AND RESPONSE PROCEDURES.

G. OTHER CONTROLS
   a. WASTE DISPOSAL. THE SOLID WASTE MATERIALS INCLUDING GRASS, CONSTRUCTION DEBRIS, LUCKS CONSTRUCTION MATERIALS, EQUIPMENT, TOOLS AND OTHER SOLID ITEMS WILL BE COLLECTED AND DISPOSED OFF-SITE BY THE CONTRACTOR.
   b. THE CONTRACTOR IS RESPONSIBLE FOR ACQUIRING THE NECESSARY PERMITS FOR SUCH DISPOSAL.
   c. BURNING ON THE SITE IS NOT ALLOWED.
   d. NO SOLID MATERIALS SHALL BE SHALL BE DISCHARGED TO WATERS OF THE STATE.
   e. THE CONTRACTOR IS RESPONSIBLE FOR ALL ASPECTS OF SOLID WASTE DISPOSAL AND SHALL ADHERE TO LOCAL WASTE DISPOSAL AND SANITARY SEWER OR SEPTIC SYSTEM REGULATIONS. SANITARY SEWERS SHALL BE CONNECTED TO THE PROVIDED SANITARY SEWER CONSTRUCTED PER IEPA AND LOCAL STANDARDS.
   f. APPROPRIATE CONTROLS AND MEASURES SHALL BE IN PLACE TO REDUCE OR ELIMINATE DISCHARGES FROM CONCRETE OR ASPHALT.
   g. CONTRACTOR TO INCLUDES SPILL RESPONSE PROCEDURES AND PROVISIONS FOR REPORTING IF THERE ARE RELEASES IN EXCESS OF REPORTABLE QUANTITIES.
   h. CONTRACTOR TO MINIMIZE THE DISCHARGE OF POLLUTANTS FROM ALL WASH WATERS. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR OTHER CONTROL.
   i. MINIMIZE THE EXPOSURE OF BUILDING MATERIAL, BUILDING PRODUCTS, CONSTRUCTION WASTE, TRASH, LANDSCAPE MATERIALS, FERTILIZERS, PESTICIDES, HERBICIDES, DETERGENTS, SANITARY WASTE, AND OTHER MATERIALS PRESENT ONSITE TO PRECIPITATION EXPOSURE.
   j. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM SPILLS AND LEAKS AND IMPLEMENT CHEMICAL SPILL AND LEAK PREVENTION AND RESPONSE MEASURES.

   k. SPILL PREVENTION AND RESPONSE PROCEDURES - THE CONTRACTOR WILL TRAIN ALL PERSONNEL IN THE PROPER HANDLING AND CLEANUP OF SPILLED HAZARDOUS SUBSTANCES ON SITE. NO SPILLED HAZARDOUS SUBSTANCES IN OIL WILL ALLOWED TO COME IN CONTACT WITH STORMWATER DISCHARGES. IF SUCH CONTACT OCCURS, THE STORM WATER DISCHARGE WILL BE CONTAINED ON SITE BY MEASURES SUCH AS, BUT NOT LIMITED TO, SANDBAGS, BERMS, PORTABLE TANKS, DIKES, PUMP SYSTEMS, AND OTHER CLEAN UP EQUIPMENT UNITS. APPROPRIATE MEASURES IN COMPLIANCE WITH STATE AND FEDERAL REGULATIONS ARE TAKEN TO DISPOSE OF SUCH CONTAMINATED STORM WATER. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR(S) TO IMPLEMENT TO BE PROPERLY TRAINED, AND TO TRAIN ALL PERSONNEL IN SPILL PREVENTION AND CLEAN UP PROCEDURES.
   a. IN ORDER TO PREVENT OR MINIMIZE THE POTENTIAL FOR A SPILL OF HAZARDOUS SUBSTANCES ON OIL TO COME INTO CONTACT WITH STORM WATER, THE FOLLOWING STEPS WILL BE IMPLEMENTED:
      1. ALL HAZARDOUS SUBSTANCES ON OIL, EXCEPT AS PROVIDED, PETROLEUM PRODUCTS, FERTILIZERS, DETERGENTS, CONSTRUCTION CHEMICALS, ADDES, PAINTS, PAINT SOLVENTS, CLEANING SOLVENTS, ADDITIVES FOR SOIL STABILIZATION, CONCRETE CURING COMPOUNDS AND ADDITIVES, ETC.) WILL BE STORED IN A SECURE LOCATION, WITH PROPER LIDS ON, PREFERABLY UNDER COVER, WHEN NOT IN USE.
      2. THE MINIMUM PRACTICAL QUANTITY OF ALL SUCH MATERIALS WILL BE KEPT AT THE PROJECT.
      3. A SPILL CONTROL AND CONTAINMENT KIT WILL BE PROVIDED AT THE STORAGE SITE.
      4. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED INSIDE THE JOB TRAILER WHERE ALL PERSONNEL WILL BE TRAINED REGARDING THESE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
      5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL HAZARDOUS WASTE, DISCOVERED OR BROUGHT ONTO THE PROJECT SITE IS DISPOSED OF PROPERLY BY A LICENSED HAZARDOUS WASTE DISPOSAL COMPANY. THE CONTRACTOR IS RESPONSIBLE FOR NOT EXCEEDING HAZARDOUS WASTE STORAGE REQUIREMENTS MANDATED BY THE EPA OR STATE AND LOCAL AUTHORITY.
   b. IN THE EVENT OF A SPILL OF HAZARDOUS SUBSTANCES ON OIL, THE FOLLOWING PROCEDURES MUST BE FOLLOWED:
      1. ALL MEASURES MUST BE TAKEN TO CONTAIN AND ABATE THE SPILL AND TO PREVENT THE DISCHARGE OF THE HAZARDOUS SUBSTANCE ON OIL TO STORM WATER ON OFF-SITE. OTHE SPILL AREA MUST BE KEPT WELL VENTILATED AND PERSONNEL MUST WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH THE HAZARDOUS SUBSTANCE(S)
      2. DETERMINE WHETHER THE SPILL IS REPORTABLE.
      3. IF THE SPILL IS DETERMINED TO BE REPORTABLE, THE EPA SHALL BE CONTACTED IMMEDIATELY.
      4. THE RELEASE OF EQUAL TO OR IN EXCESS OF A REPORTABLE QUANTITY, THE OWNER MUST BE NOTIFIED WITHIN SIXTY (7) CALENDAR DAYS OF KNOWLEDGE OF THE DISCHARGE TO PROVIDE A DESCRIPTION OF THE RELEASE, THE CIRCUMSTANCES LEADING TO THE RELEASE, AND THE DATE OF THE RELEASE. THE RELEASE OF EQUAL TO OR IN EXCESS OF A REPORTABLE QUANTITY, THE OWNER MUST BE NOTIFIED WITHIN SIXTY (7) CALENDAR DAYS OF KNOWLEDGE OF THE DISCHARGE TO PROVIDE A DESCRIPTION OF THE RELEASE, THE CIRCUMSTANCES LEADING TO THE RELEASE, AND THE DATE OF THE RELEASE. THE OWNER MUST IMPLEMENT MEASURES TO PREVENT THE RELEASE FROM RECURRING AND TO RESPOND TO SUCH RELEASES.
      5. IF THE RELEASE IS DETERMINED TO BE REPORTABLE (LESS THAN A REPORTABLE QUANTITY) IT SHALL BE NOTED ON AN INSPECTION REPORT AS AN UNSATISFACTORY ITEM AND THE CORRECTIVE ACTION TAKEN TO CORRECT THE PROBLEM.
   c. THE CONTRACTOR'S SUPERINTENDENT WILL BE THE SPILL PREVENTION AND RESPONSE COORDINATOR. HE WILL DESIGNATE THE INDIVIDUALS WHO WILL MANAGE SPILL PREVENTION AND RESPONSE TRAINING. THESE INDIVIDUALS WILL EACH HAVE AUTHORITY TO ACTIVATE THE SPILL PREVENTION AND RESPONSE PROCEDURES. THE NAMES OF THESE PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IN THE OFFICE TRAILER ONSITE.

I. BEST MANAGEMENT PRACTICES FOR POST-CONSTRUCTION STORM WATER MANAGEMENT - STRUCTURAL MEASURES SHOULD BE PLACED ON UPLAND SOILS TO THE DEGREE ATTAINABLE. THIS PERMIT ONLY ADDRESSES THE INSTALLATION AND MAINTENANCE OF STORM WATER MANAGEMENT MEASURES PRIOR TO FINAL STABILIZATION OF THE SITE, AND IS NOT RESPONSIBLE FOR MAINTENANCE AFTER STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY HAVE BEEN ELIMINATED FROM THE SITE.
   a. POST-CONSTRUCTION STORM WATER MANAGEMENT PRACTICES HAVE BEEN DESIGNED AND INCLUDED TO RETAIN THE GREATEST AMOUNT OF POST-DEVELOPMENT STORM WATER RUN-OFF PRACTICABLE GIVEN THE SITE AND PROJECT CONSTRAINTS. THREE INFILTRATION TECHNIQUES HAVE BEEN INCLUDED IN THE DESIGN. THE FIRST TECHNIQUE IS THE USE OF PERVIOUS PAVERS TO FILTER OUT POLLUTANTS BY INFILTRATION OF THE NON-DIT BRINGING AGGREGATE AND A DEFINITE FAIRNESS. POST-DEVELOPMENT FLOWS SHAE EXCEED PRE-DEVELOPMENT FLOWS WILL BE CONTROLLED BY THE INFILTRATION DEVICES. THE INFILTRATION DEVICES WILL CAPTURE AND INFILTRATE ON-SITE THE DIFFERENCE BETWEEN PRE AND POST DEVELOPMENT FLOW.
   b. VELOCITY DISSIPATION DEVICES SHALL BE PLACED AT DISCHARGE LOCATIONS AND ALONG THE LENGTH OF ANY OUTFALL CHANNEL AS NECESSARY TO PROVIDE A NON-EROSIVE VELOCITY FLOW FROM THE STRUCTURE, TO ENSURE EROSION AT OUTLETS AND TO MINIMIZE EROSION IN OUTFALL CHANNELS AND STREAM BANK EROSION.
   c. MAINTENANCE. THE CONTRACTOR SHALL MAINTAIN IN GOOD AND EFFECTIVE OPERATING CONDITIONS. THE SEDIMENT AND EROSION CONTROL MEASURES IDENTIFIED ON THIS PLAN UNTIL THE SITE IS STABILIZED. ITEMS IN NEED OF REPAIR SHALL BE ADDRESSED AS SOON AS PRACTICABLE.
      a. SILT FENCE - ALL DAMAGED SILT FENCE SHALL BE REDESIGNED TO MEET THE STANDARDS ON REMOVED AND REPLACED AS NEEDED. SEDIMENT SHALL BE REMOVED AND LEGALLY DISPOSED OF WHEN IT HAS REACHED 1/3 THE HEIGHT OF THE FABRIC.
      b. STABILIZED CONSTRUCTION ENTRANCE - THE ENTRANCE SHALL BE MAINTAINED TO PREVENT BUILDING OF SEDIMENT ONTO PUBLIC STREETS. THIS SHALL BE DONE BY TOP DRESSING WITH ADDITIONAL STONES, REMOVE AND REPLACED TOP LAYER OR WASHING THE ENTRANCE. THE SEDIMENT WASHED ON THE PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
      c. SEDIMENTATION BASINS/DAMS - THE SEDIMENTS SHALL BE REMOVED WHEN 50% OF THE TOTAL DESIGN CAPACITY IS OCCUPIED BY THE SEDIMENT. IN NO CASE SHALL THE SEDIMENT BE THAT TO THE DESIGN. THAT I FORT BELOW THE DIRECT ELEVATION. AT THIS STAGE, THE BASIN SHALL BE CLEANED OUT TO RESTORE ITS ORIGINAL VOLUME.
      d. INLET/OUTLET PROTECTION - SEDIMENT SHALL BE REMOVED WHEN 50% OF THE TOTAL ORIGINAL CAPACITY IS OCCUPIED BY THE SEDIMENT. ALL SEDIMENT SHALL BE REMOVED PRIOR TO LARGE RAIN EVENTS. FILTER MATERIAL FOR BASKET TYPE INLET PROTECTION SHALL BE PERIODICALLY REPLACED.
      e. HOOK DAMS/FILTERS - SEDIMENT SHALL BE REMOVED WHEN 50% OF THE TOTAL ORIGINAL CAPACITY IS OCCUPIED BY THE SEDIMENT. ADDITIONAL STONE SHALL BE ADDED OR DAM/FILTER STABILIZED AS NECESSARY.
      f. SEDIMENT FILTER BAG - SEDIMENT SHALL BE REMOVED WHEN 50% OF THE TOTAL ORIGINAL CAPACITY IS OCCUPIED BY THE SEDIMENT. ADDITIONAL STONE SHALL BE ADDED OR DAM/FILTER STABILIZED AS NECESSARY.
      g. VEGETATIVE EROSION CONTROL MEASURES - A REPORT OF THE EFFECTIVENESS OF TEMPORARY AND PERMANENT SEEDING, SODDING, VEGETATIVE CHANNELS, VEGETATIVE FILTERS, ETC SHALL BE MAINTAINED PERIODICALLY AND SUPPL



LEGEND

- STORM SEWER
- SANITARY SEWER
- UNDERDRAIN
- WATER SERVICE
- ELECTRIC
- OPEN LID STORM CATCH BASIN
- CLOSE LID MANHOLE
- CLEANOUT
- FIRE HYDRANT
- WATER B-BOX
- DETENTION FOOTPRINT
- LIGHT POLE

UTILITY NOTES:

1. CONTRACTOR TO VERIFY ALL EXISTING UTILITY LOCATIONS, SIZES, SLOPES, INVERTS, ETC. AND CONTACT ENGINEER IMMEDIATELY IF THERE ARE ANY CONFLICTS/DISCREPANCIES.
2. CONTRACTOR TO PROTECT ALL EXISTING UTILITIES.
3. ALL EXISTING UTILITY STRUCTURES SHALL BE ADJUSTED AS NECESSARY TO MATCH FINISH GRADE. ALL EXISTING UTILITY STRUCTURES REQUIRING ADJUSTMENT OR RECONSTRUCTION SHALL BE COMPLETED BY THE CONTRACTOR TO THE SATISFACTION OF THE UTILITY OWNER. ADJUSTMENTS AND/OR RECONSTRUCTIONS NOT CALLED FOR ON THE PLANS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. NO MORE THAN A TOTAL OF 12 INCHES OF ADJUSTING RINGS AND/OR 2 ADJUSTING RINGS SHALL BE ALLOWED.
4. CONTRACTOR TO COORDINATE ALL UTILITY CONNECTIONS AT THE BUILDING WITH THE MEP TO VERIFY CONNECTION LOCATION, PIPE SIZE, AND INVERT.
5. CONTRACTOR TO SEE MEP PLANS FOR ALL DETAILS, LOCATION, ROUTING, SIZE, ETC REGARDING GAS, TELEPHONE, ELECTRIC, AND LIGHTING DESIGN. FOLLOW ALL REQUIREMENTS OF UTILITY PROVIDERS.
6. ALL STORM SEWER SHOULD BE PVC SDR 26 OR STRONGER.

AS-BUILT NOTES:

THE CONTRACTOR IS RESPONSIBLE FOR ALL AS-BUILT SURVEYS. ALL AS-BUILT SURVEYS SHALL BE COMPLETED BY A PROFESSIONAL LAND SURVEYOR AND BE SIGNED AND SEALED. THE CONTRACTOR SHALL SUBMIT TWO SETS OF THE "AS-BUILT" FINAL ENGINEERING DRAWINGS (I.E. RECORD DRAWINGS) AND STORMWATER MANAGEMENT CALCULATIONS UPON COMPLETION OF IMPROVEMENTS AND INCLUDE ELECTRONIC CAD FILES. THE RECORD DRAWINGS SHOULD AT LEAST INCLUDE THE FOLLOWING INFORMATION: AS-BUILT DETENTION CONTOURS, ELEVATIONS (INCLUDING DETENTION BASIN TOP OF BERM AND OVERFLOW WEIR GRADES) AND VOLUME (VERIFIED, SIGNED, & SEALED BY A PROFESSIONAL ENGINEER (PE) OR PROFESSIONAL LAND SURVEYOR (PLS)), ELEVATION, AND LOCATION (TIES TO TWO POINTS) OF ALL NEW STRUCTURES INCLUDING FIRE HYDRANTS, VALVE BOXES AND VAULTS, LINESTOP SLEEVES, WATER SERVICE CORPORATION STOPS, WATER MAIN FITTINGS/BENDS, MANHOLES, SANITARY SERVICE WYES (MEASURED FROM DOWNSTREAM MANHOLE), ALL STORM/SANITARY SEWER STRUCTURES (INCLUDING INVERTS AND PIPE SIZES), ALL PIPES (LOCATIONS, SLOPES, LENGTHS, ETC.), OUTLET CONTROL STRUCTURES (INCLUDING RESTRICTOR SIZES AND ELEVATIONS PLUS TOP OF WALLS) AND ABANDONED WATER OR SANITARY SERVICE LINES. DETAILED TOPOGRAPHIC SURVEY OF ALL HIGH POINTS, LOW POINTS, CHANGE OF SLOPE INCLUDING GUTTER GRADES, TOP OF CURB GRADES, PAVEMENT GRADES, SIDEWALK GRADES, RAMP GRADES, ETC. TO VERIFY POSITIVE DRAINAGE. ALL ELEVATIONS SHOULD BE REFERENCED TO THE SAME BENCHMARK DATUM AS THE ORIGINAL DESIGN PLANS. HORIZONTAL TIES SHALL BE REFERENCED TO LOT LINES, BACK OF CURB, OR PROPERTY CORNERS. WITHIN DETENTION/RIMP AREAS, FOR VERIFICATION OF DETENTION VOLUME AND SUBBASE GRADES, PRIOR TO BACK FILLING WITH CA-7, THE CONTRACTOR SHALL PROVIDE ENGINEER WITH A CERTIFIED TOPO SURVEY OF AS-BUILT SUBBASE GRADES FOR ENGINEER APPROVAL AND ALSO A COPY OF RECEIPT OF THE CA-7 AGGREGATE

GRAPHIC SCALE

30 0 15 30 60

1 INCH = 30 FEET

DUPAGE COUNTY HEALTH DEPARTMENT

Wight

Wight & Company
wightco.com
2500 North Frontage Road
Darien, IL 60561
P 630.969.7000
F 630.969.7979

REV	DESCRIPTION	DATE
	100% DD	10/30

CRISIS RECOVERY CENTER

115 N COUNTY FARM ROAD
WHEATON, IL 60187

UTILITY PLAN

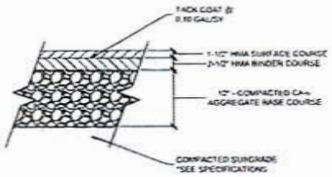
Project Number: 230002
Drawn By: VL
Sheet:

C4.00

S:\Darien\Dupage County Health Department\230002_Central Receiving Center Study\01\V1 Drawings\02 CD\230002 C4.00 UTILITY PLAN.dwg zmaltix Oct 31, 2023 7:32:15 am
Wight & Company #9828 reserves the right to reproduce, distribute or transmit in any form or by any means electronic, mechanical, photocopying, recording or otherwise without the prior written consent of Wight

1 HMA PAVEMENT - FULL DEPTH

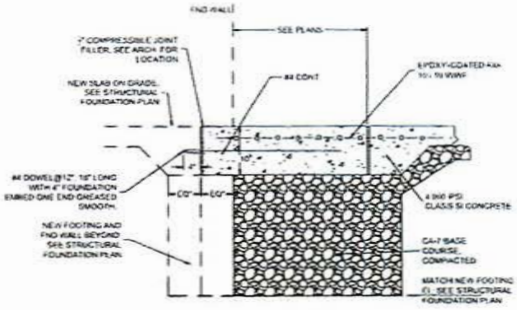
SCALE: NTS



NOTES:
1. FOR UNSUITABLE SUBGRADES UNDERCUT 2 ADDITIONAL FOOT MAXIMUM.

2 FROST STOOP

SCALE: 1"=1'-0"

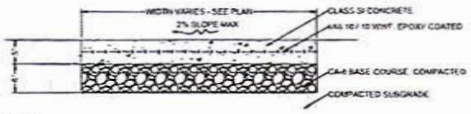


NOTES:
1. FROST STOOP TO EXTEND ENTIRE WIDTH OF ALL DOORS AT A MINIMUM
2. ALL DOWELS AND REBAR TO BE EPOXY COATED

3 PCC SIDEWALK

SCALE: NTS

WELDED WIRE IS NOT PERMITTED IN THE CITY RIGHT-OF-WAY

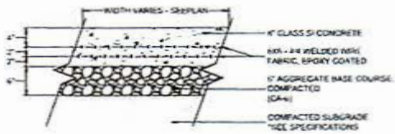


NOTES:
1. ALL SIDEWALKS SHALL BE CONSTRUCTED WITH IDOT CLASS SI CONCRETE. NOT LESS THAN 3500 P.S.I. CONCRETE AT 14 DAYS.
2. SIDEWALK THICKNESS CROSS DRIVEWAY SHALL BE A MINIMUM 8".
3. REFER TO EXPANSION JOINT DETAIL.
4. THE TRANSVERSE JOINTS SHALL EXTEND TO 1/4 THE DEPTH OF THE SIDEWALK. SHALL NOT BE MORE THAN 1/4" IN WIDTH, AND SHALL BE EDGED HAVING A 1/4 INCH RADIUS. NO SLAB SHALL BE LONGER THAN 5 FEET NOR LESS THAN 4 FEET ON ANY ONE SIDE.

4 HEAVY DUTY CONCRETE PAVEMENT

SCALE: 1"=1'-0"

WELDED WIRE IS NOT PERMITTED IN THE CITY RIGHT-OF-WAY

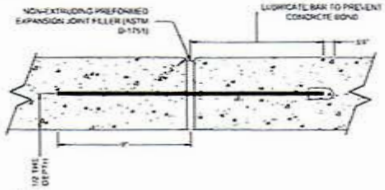


NOTES:
1. PROVIDE CONTRACTION JOINT EVERY 10' O.C.
2. PROVIDE EXPANSION JOINT AT LOCATIONS WHERE NEW CONCRETE POURS BEGIN/END.

5 JOINT DETAILS

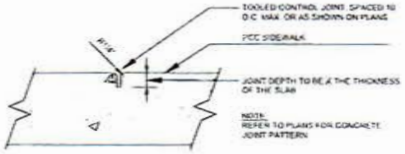
SCALE: NTS

EXPANSION JOINT



NOTES:
1. PREFORMED FLEXIBLE FOAM EXPANSION JOINT FILLER NOT ACCEPTED.
2. EACH EXPANSION JOINT SHALL HAVE (2)-2" DOWEL BARS, 18" LONG AND PROPERLY LUBRICATED, PLACED AT MID DEPTH.
3. EXPANSION JOINTS 2" THICK SHALL BE WHERE PROPOSED CONCRETE MEETS EXISTING CONCRETE, AT 50 FT INTERVALS FOR HAND POURS AND 100 FT INTERVALS FOR SLIP OR MONOLITHIC POURS.
4. EXPANSION JOINTS, 2" THICK SHALL BE AT EVERY P.C. & P.T. OF CURVATURE, 5 FT EACH SIDE OF STRUCTURES, AND AT END OF POURS.
5. PREFORMED EXPANSION JOINT 1/2" THICK SHALL BE PLACED BETWEEN THE SIDEWALK AND ALL STRUCTURES.
6. EXPANSION JOINTS SHALL ALSO BE PLACED WHERE THE SIDEWALK ABUTS EXISTING SIDEWALKS AND WHERE THE SIDEWALK ABUTS A CURB.

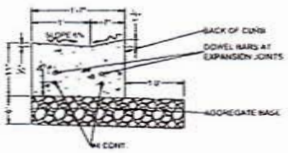
CONTROL JOINT



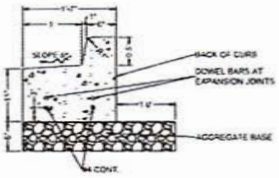
6 B6.12 CURB AND GUTTER

SCALE: 1"=1'-0"

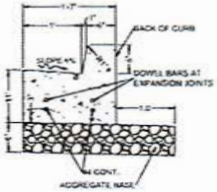
DEPRESSED CURB



B-6.12 W/ REVERSE PITCH FLAG



B-6.12



NOTES:
1. ALL CURB AND GUTTER SHALL BE CONSTRUCTED W/ IDOT CLASS SI CONCRETE.
2. REFER TO EXPANSION JOINT DETAIL.
3. CONSTRUCTION JOINTS SHALL BE AT 25 OR 25 FT. INTERVALS DEPENDING ON TYPE OF POUR. REFER TO EXPANSION JOINT DETAIL.
4. JOINTS SHALL BE CONSTRUCTED IN COMPLIANCE WITH IDOT STANDARDS & DETAILS.
5. ALL CURB AND GUTTER SHALL BE DOWELED INTO EXISTING CURB AND GUTTER THAT HAS BEEN SAWCUT AND REMOVED.
6. ALL DOWELS AND REBAR TO BE EPOXY COATED.

DUPAGE COUNTY HEALTH DEPARTMENT

Wight

Wight & Company
wightco.com
2500 North Frontage Road
Darien, IL 60561
P 630.969.7000
F 630.969.7979

REV	DESCRIPTION	DATE
	100% DD	10/30/

CRISIS RECOVERY CENTER

115 N COUNTY FARM ROAD
WHEATON, IL 60187

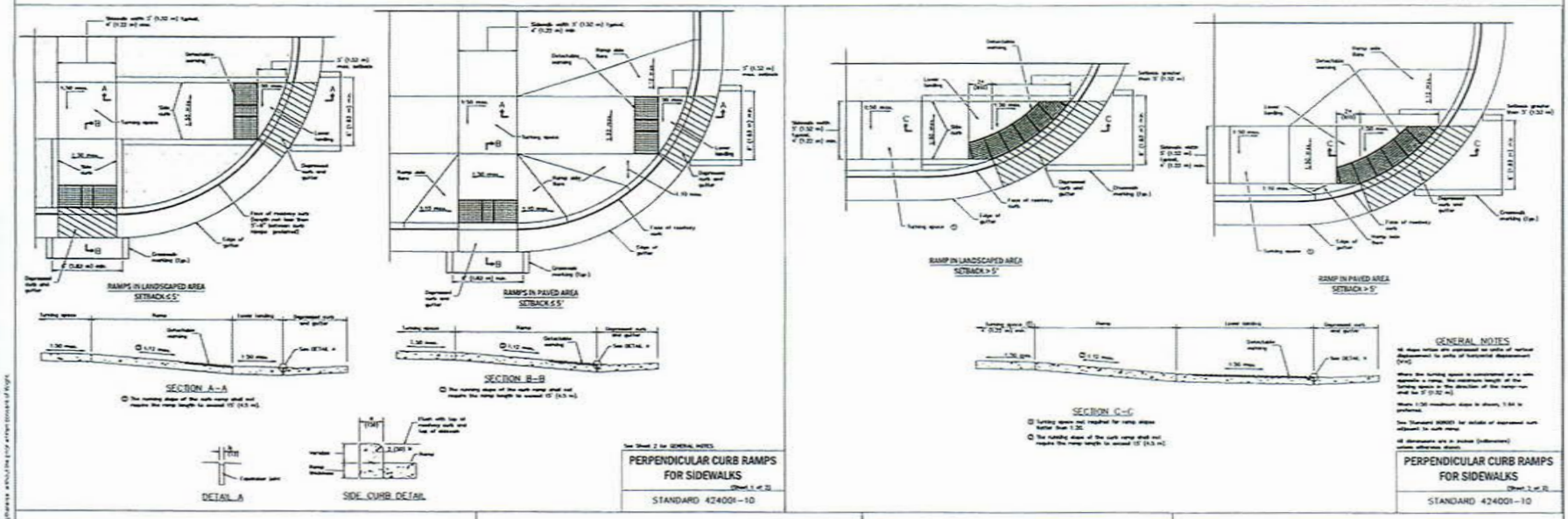
CIVIL DETAILS

Project Number
230002
Drawn By
IL
Sheet

C5.00

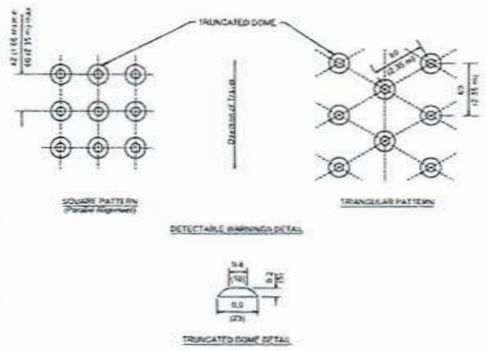
S:\Darien\Dupage County Health Department\230002_Central Receiving Center Study\01\11 Drawings\02 CD\230002 C5.00 CIVIL DETAILS.dwg zmattix Oct 31, 2023 7:32:24 am

1 IDOT PERPENDICULAR CURB RAMPS FOR SIDEWALKS



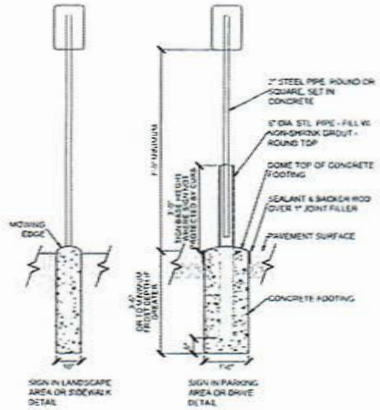
2 DETECTABLE WARNING

SCALE: NTS



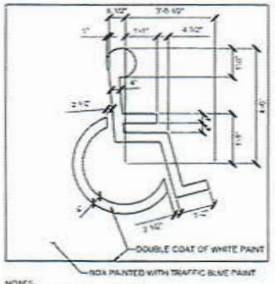
3 SIGN POST FOOTING

SCALE: 1/2" = 1'-0"



4 ADA PARKING SYMBOL

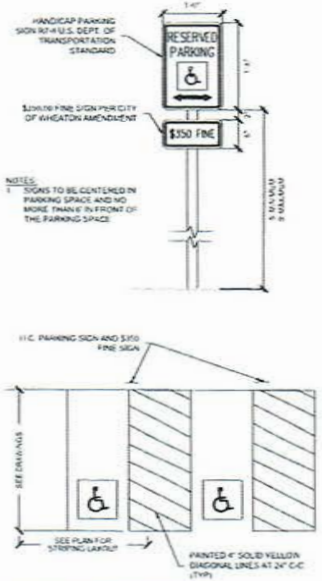
SCALE: 1"=1'-0"



NOTES:
1. CENTER SYMBOL ON STALL
2. SYMBOLS SHALL BE PAINTED WITH WHITE TRAFFIC PAINT

5 TYPICAL ADA PARKING SPACE AND SIGNAGE

SCALE: 1"=1'-0"



DUPAGE COUNTY HEALTH DEPARTMENT

Wight

Wight & Company
wightco.com
2500 North Frontage Road
Darien, IL 60561
P 630.969.7000
F 630.969.7979

KEY	DESCRIPTION	DATE
	100% DD	10/30/2

CRISIS RECOVERY CENTER

115 N COUNTY FARM ROAD
WHEATON, IL 60187

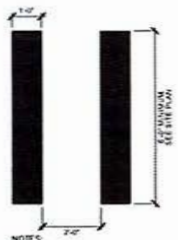
CIVIL DETAILS

Project Number: 230002
Drawn By: VL

C5.01

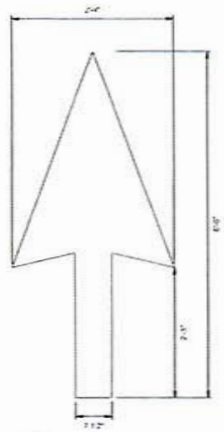
S:\Darien\Dupage County Health Department\230002_Central Receiving Center Study\01\11 Drawings\02 CD\230002 C5.00 CIVIL DETAILS.dwg zmattix Oct 31, 2023 7:32:31 am

1 CROSSWALK MARKING



NOTES:
1. MARKINGS SHALL BE PAINTED WITH WHITE TRAFFIC PAINT

2 PAVEMENT MARKING ARROW



NOTES:
1. ARROWS SHALL BE PAINTED WITH WHITE TRAFFIC PAINT
2. ALL OTHER DIRECTION ARROWS ARE SIMILAR.

DUPAGE COUNTY HEALTH DEPARTMENT

Wight

Wight & Company
wightco.com
2500 North Frontage Road
Darien, IL 60561
P 630.969.7000
F 630.969.7979

REV	DESCRIPTION	DATE
	100% DD	10/30/2

CRISIS RECOVERY CENTER

115 N COUNTY FARM ROAD
WHEATON, IL 60187

CIVIL DETAILS

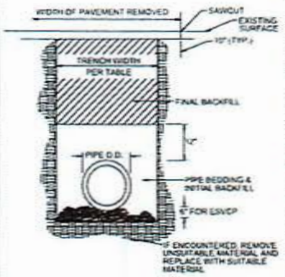
Project Number
230002
Drawn By
W.
Sheet

C5.02

S:\Darien\Dupage County Health Department\230002_Central Receiving Center Study\01\11 Drawings\02 CD\230002 C5.00 CIVIL DETAILS.dwg rmattix Oct 31, 2023 7:32:34 am
Rights & Copyright ©2023 Reserved. The part of these documents may be reproduced, stored, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording or otherwise, without the prior written consent of Wight.

1 UTILITY TRENCH

SCALE: NTS



TRENCH WIDTH MINIMUM TO COMPLY WITH OSHA SAFETY STANDARDS

ALLOWABLE TRENCH WIDTH	
PIPE SIZE	MAXIMUM TRENCH WIDTH
6"	3'-0"
8"	3'-2"
10"	3'-2"
12"	3'-4"
15"	3'-6"
18"	3'-8"
21"	4'-0"
24"	4'-8"

PIPE BEDDING AND INITIAL BACKFILL

FOR PVC AND HDPE, CRUSHED STONE (DOT CA-11) TO 1 FOOT OVER PIPE. FOR RCP & DIP, CA-11 TO SPRING LINE. PLACE IN MAXIMUM 6" LIFTS AND COMPACTED TO 95% STANDARD PROCTOR DENSITY PER AASHTO T-99.

FINAL BACKFILL

IN PAVEMENT AREAS AND WHERE TRENCH FALLS WITHIN A 1 TO 1 SLOPE EXTENDED FROM THE EDGE OF THE PAVEMENT, MATERIAL SHALL BE TRENCH-BACKFILL (FA-6 PER I.D.O.T. SPECS.) COMPACTED TO 95% STANDARD PROCTOR DENSITY PER AASHTO T-99.

IN AREAS WHERE GRASS IS REMOVED AND PARKWAY RESTORATION IS REQUIRED (LANDSCAPE FABRIC) SHALL BE PLACED BETWEEN THE BACKFILLED MATERIAL AND THE REQUIRED TOPSOIL AS DIRECTED BY THE MUNICIPAL DIRECTOR OF PUBLIC WORKS.

IN LANDSCAPE AREAS MATERIAL SHALL BE SELECT EXCAVATED MATERIAL FREE OF ROCKS AND DEBRIS COMPACTED TO 85% STANDARD PROCTOR DENSITY PER AASHTO T-99 (REFER TO SPECIFICATIONS FOR TYPE E FILL)

UTILITY CROSSINGS

AT UTILITY CROSSINGS, INSTALL TRENCH BACKFILL AS ABOVE FROM THE PIPE BEDDING TO 1 FOOT OVER THE HIGHER PIPE. SUCH A GRANULAR CRADLE SHALL BE CONSTRUCTED REGARDLESS OF WHETHER THE CROSSING OCCURS IN PAVED OR LANDSCAPED AREAS.

WHERE UTILITY CROSSINGS INCLUDE A WATER MAIN, USE CLASS IV COMPACTED SELECT EXCAVATED MATERIAL BETWEEN PIPES AS REQUIRED BY THE STANDARD SPECIFICATIONS FOR SEWER & WATER MAIN CONSTRUCTION IN ILLINOIS, STANDARD DRAWINGS 10 THROUGH 24.

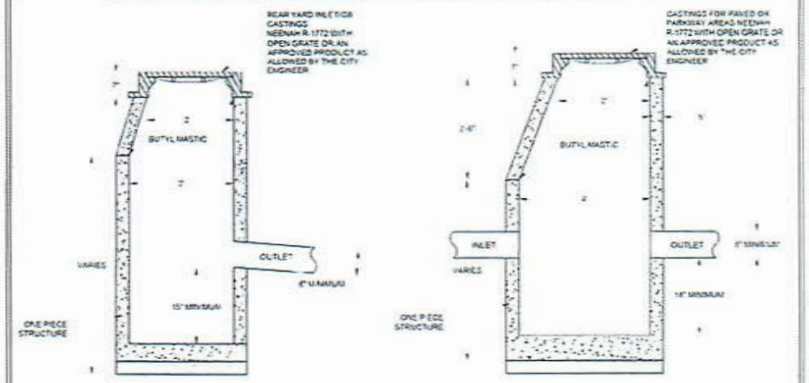
NOTES:

1. TRENCH WIDTH - MINIMUM TO COMPLY WITH OSHA SAFETY STANDARDS.
2. RESTORATION TO ORIGINAL SURFACE REQUIRED. NO CONCRETE PATCHES ON ASPHALT ROADS
3. CONTRACTORS SHALL ERECT AND MAINTAIN SUFFICIENT AND SUITABLE SIGNS AND BARRICADES DURING AND AFTER CONSTRUCTION FOR TRAFFIC CONTROL
4. STREETS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION WITHIN 72 HOURS FROM THE TIME THE WORK COMMENCED. STREET OPENINGS SHALL BE BACKFILLED WITH APPROVED GRANULAR MATERIAL AND A TEMPORARY PAVEMENT SURFACE OF COMPACTED COLD ASPHALT MATERIAL SHALL BE INSTALLED WITHIN 24 HOURS FROM THE TIME THE WORK COMMENCED.
5. A MINIMUM OF 24 HOURS NOTICE, MUST BE GIVEN TO THE MUNICIPALITY BEFORE BACKFILLING AND RESTORATION WORK ARE TO COMMENCE.

2 STANDARD CATCH BASIN, TYPE A

SCALE: NTS

CATCH BASIN WITH FRAME AND GRATE FOR INLET



NOTES:

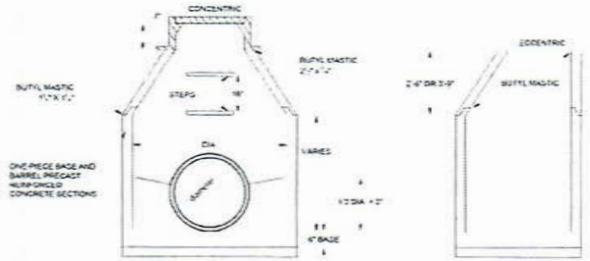
1. MAXIMUM ADJUSTMENT OF 8" USING 2 RISER RINGS. NO METAL RISER RINGS OR BRICK ALLOWED.
   A. CONCRETE ADJUSTING RINGS SHALL HAVE A MINIMUM THICKNESS OF 2"
   B. RUBBER ADJUSTING RINGS SHALL TOTAL NO MORE THAN 2"
2. ALL JOINTS BETWEEN BARREL SECTION, RISER, AND CASTINGS ARE TO BE SEALED WITH FLEXIBLE BUTYL GASKET MATERIAL TWO AND ONE QUARTER (2-1/4) INCHES WIDE AND THREE-EIGHTS (3/8) INCHES THICK OR APPROVED EQUAL
3. FOUR (4) FOOT DIAMETER CATCH BASIN STRUCTURES WHICH EXCEED A DEPTH OF FOUR (4) FEET SHALL HAVE POLYPROPYLENE PLASTIC COATED "PRESS FIT" MANHOLE STEPS INSTALLED
4. FLEXIBLE BUTYL MASTIC MATERIAL SHALL BE PLACED BETWEEN ALL BARREL SECTIONS, RISER RINGS AND FRAMES
5. ALL CATCH BASINS MUST BE 5' INSIDE DIAMETER UNLESS 2 OR MORE PIPES ENTER OR EXIT THE STRUCTURE. IF TWO OR MORE PIPES ENTER OR EXIT THE CATCH BASIN, THE MINIMUM STRUCTURE DIAMETER IS 4'. SUBSTITUTIONS MUST BE APPROVED BY THE CITY ENGINEER

CITY OF WHEATON	
DESIGN DETAILS AND STANDARDS	
FIGURE # 25	
DATE: 12-07-20	FILE NAME: CATCH-BASIN-FOR-INLET.dwg

3 STORM SEWER MANHOLE, TYPE A

SCALE: NTS

TYPE "A" STORM SEWER MANHOLE



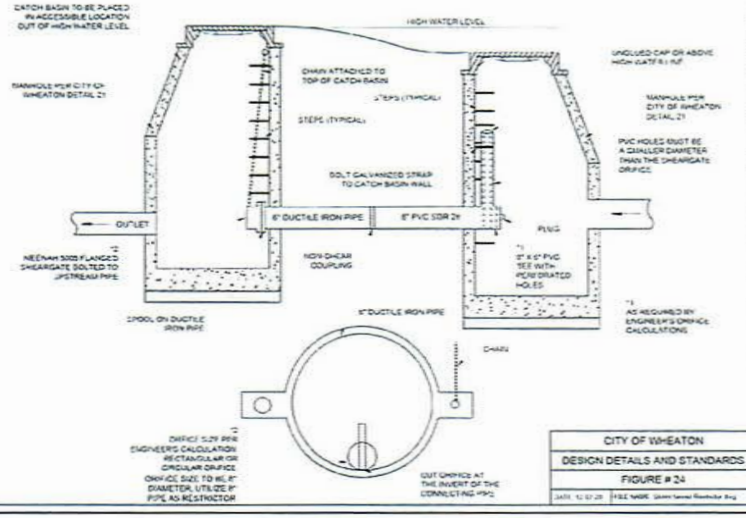
NOTES:

1. Manhole castings
   A. In paved and parkway areas Neenah R-1772 (280 lbs.) or an approved equal product with a solid lid as allowed by the City Engineer. (Lids "B22.3 (273 lbs.) will not be accepted
   B. In back lot areas Neenah R-1772 or an approved equal product with a solid lid as allowed by the City Engineer
2. Manholes to have ONE piece marginal base and barrel section
3. Manholes to be a minimum 4' diameter for sewers 18" diameter or less, and 5' diameter for sewers larger than 18" diameter and less than 48" diameter
4. Manholes 4' in diameter which exceed a depth of 4' shall have steps to be coated with polypropylene plastic. "Press Fit" type installation. Steps shall be 16" apart on center
5. All Manholes to have chimney seal collars
6. All joints between barrel sections shall be sealed with flexible butyl mastic material 1½" wide by 1½" thick. All joints between riser rings and frames to be sealed with flexible butyl mastic material 2½" wide and ½" thick
7. When adjusting is required in street areas, beveled rubber riser rings shall be used. BRICK SHIMMING OR MORTAR IS NOT ALLOWED
8. The 4" base shall be made of poured in place Class "A" concrete or precast with 4" aggregate cushion
9. The maximum amount of adjustment for frame elevation is 8" with 2 rings
   A. Concrete adjusting rings shall have a minimum thickness of 2"
   B. Rubber adjusting rings shall total no more than 2"
10. When an eccentric cone is used
    A. If the Manhole is 4'-0" dia. then the cone shall be 2'-4" in height
    B. If the Manhole is 5'-0" dia. then the cone shall be 2'-0" in height

CITY OF WHEATON	
DESIGN DETAILS AND STANDARDS	
FIGURE # 21	
DATE: 12-07-20	FILE NAME: Type-A-Storm-Sewer.dwg

4 RESTRICTOR STRUCTURE

TYPICAL INSTALLATION STORM SEWER RESTRICTOR



CITY OF WHEATON	
DESIGN DETAILS AND STANDARDS	
FIGURE # 24	
DATE: 12-07-20	FILE NAME: Storm-Sewer-Restrictor.dwg

DUPAGE COUNTY HEALTH DEPARTMENT

Wight

Wight & Company
wightco.com
2500 North Frontage Road
Darien, IL 60561
P 630.969.7000
F 630.969.7979

REV	DESCRIPTION	DATE
	100% DD	10/30/2

CRISIS RECOVERY CENTER

115 N COUNTY FARM ROAD
WHEATON, IL 60187

CIVIL DETAILS

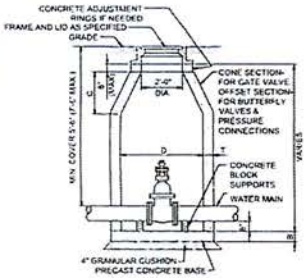
Project Number: 230002
Drawn By: IL
Sheet:

C5.03

S:\Darien\Dupage County Health Department\230002_Central Receiving Center Study\01\11 Drawings\02 CD\230002 C5.03 CIVIL DETAILS.dwg zmattix Oct 31, 2023 7:32:40 am
Wight Copyright 2023 wightco.com

1 VALVE VAULT
SCALE: NTS

WC2006



USE 5'-0" DIA. VAULT FOR ALL PRESSURE CONNECTIONS UNLESS OTHERWISE NOTED ON THE PLANS

DIAMETER OF WATER MAIN	D
8 INCHES AND UNDER	4'-0"
10 INCHES AND OVER	5'-0"

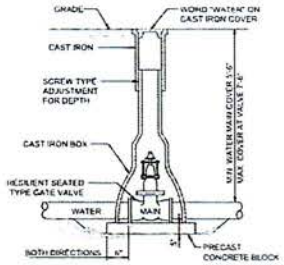
NOTES:

1. VALVE VAULTS SHALL BE OF PRECAST CONCRETE SECTIONS UNLESS OTHERWISE SPECIFIED
2. PIPE OPENINGS SHALL BE CAST INTO THE WALL SECTION
3. DIMENSION "C" FOR PRECAST RISERS MAY VARY FROM THAT GIVEN TO PLUS 6 INCHES
4. ALL JOINTS BETWEEN PRECAST RISERS AND TOP SLAB SECTIONS, ADJUSTMENT RINGS AND CASTINGS SHALL BE SEALED WITH A BITUMASTIC MATERIAL
5. A FLAT SLAB TOP SHALL BE USED ONLY WHEN FIELD CONDITIONS PREVENT THE USE OF A CONE AND ONLY WHEN AUTHORIZED BY THE ENGINEER
6. FRAME AND LID CASTING TO BE PROVIDED, SHALL BE AS SPECIFIED ON THE PLANS OR IN THE SPECIAL PROVISIONS. THE WORD "WATER" SHALL BE CAST IN THE LID.
7. THE CONTRACT UNIT PRICE FOR VALVE VAULT SHALL INCLUDE THE FRAME AND LID SPECIFIED AND THE GRANULAR CUSHION.

	C	1 MIN.	B
ALTERNATIVE MATERIALS FOR WALLS	D		
PRECAST REINFORCED CONCRETE RISERS	4'-0" 2'-4" 4" 4"		
	5'-0" 3'-0" 5" 4"		

2 VALVE BOX
SCALE: NTS

WC2004



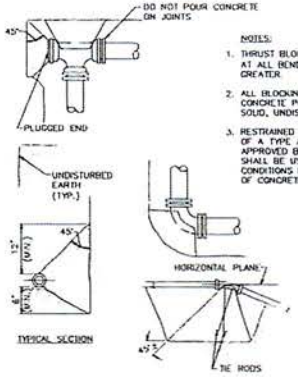
NOTES:

1. VALVE BOXES SHALL BE USED FOR 6", 8", 10", & 12" WATER MAIN ONLY.

CAST IRON BOXES SHALL BE USED

3 THRUST BLOCK
SCALE: NTS

WC2008

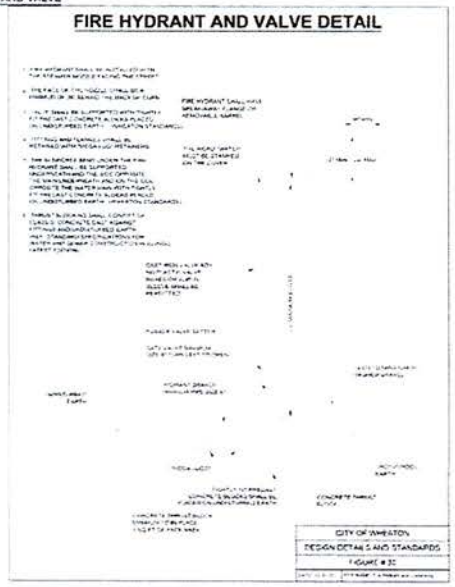


NOTES:

1. THRUST BLOCKS SHALL BE USED AT ALL BENDS 22 1/2° OR GREATER
2. ALL BLOCKING SHALL BE OF P.C. CONCRETE POURED AGAINST SOLID, UNDISTURBED EARTH.
3. RESTRAINED JOINTS OR TIE RODS OF A TYPE AND DESIGN APPROVED BY THE ENGINEER SHALL BE USED WHERE CONDITIONS PREVENT THE USE OF CONCRETE THRUST BLOCKS.

4 FIRE HYDRANT AND VALVE
SCALE: NTS

FIRE HYDRANT AND VALVE DETAIL

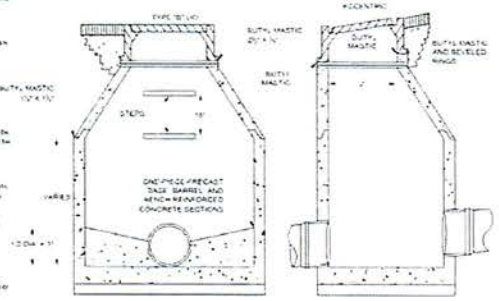


CITY OF WHEATON
DESIGN DETAILS AND STANDARDS
FIGURE # 32

5 SANITARY SEWER MANHOLE
SCALE: NTS

SANITARY MANHOLE

NOTES:



CITY OF WHEATON
DESIGN DETAILS AND STANDARDS
FIGURE # 16

DUPAGE COUNTY HEALTH DEPARTMENT

Wight

Wight & Company
wightco.com
2500 North Frontage Road
Darien, IL 60561
P 630.969.7000
F 630.969.7979

REV	DESCRIPTION	DATE
	100% DD	10/30/2

CRISIS RECOVERY CENTER

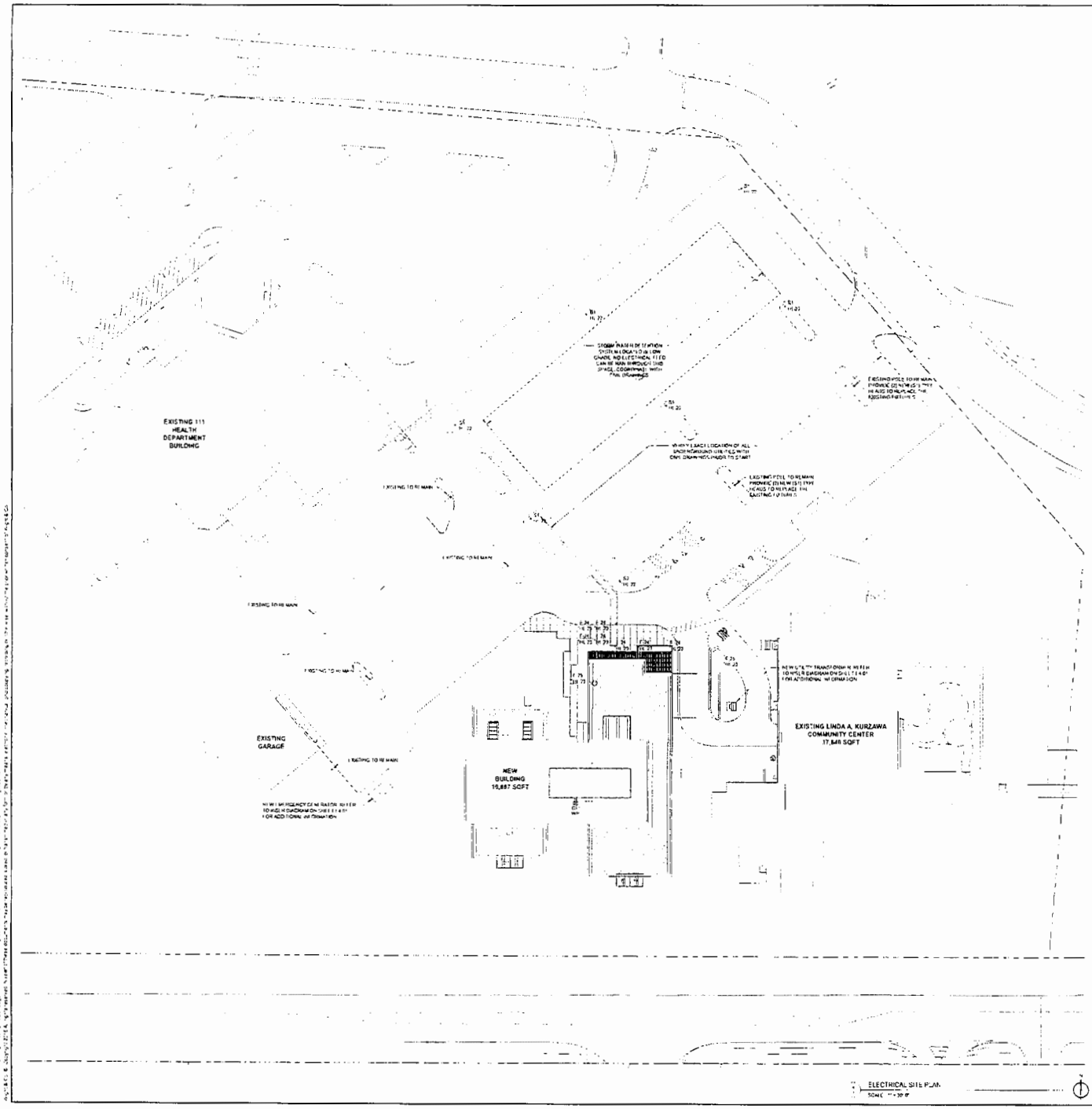
115 N COUNTY FARM ROAD
WHEATON, IL 60187

CIVIL DETAILS

Project Number: 230002
Drawn By: VL
Sheet:

C5.04

S:\Darien\Dupage County Health Department\230002_Central Receiving Center Study\01\11 Drawings\02 CD\230002 C5.00 CIVIL DETAILS.dwg zmattix Oct 31, 2023 7:32:45 am
Wight & Company Copyright - 2023 Wight & Company



ELECTRICAL SITE PLAN GENERAL NOTES

NEW ELEVATED UTILITY WORK NOTES

1. COORDINATE LINE HOOKING OF SECONDARY SERVICE WITH COMED WITH THE ARCHITECT AND GENERAL CONTRACTOR. CONTRACTOR SHALL MEET WITH COMED REPRESENTATIVE AND INCLUDE ALL CONTRACTOR COSTS FOR SERVICE INSTALLED.
2. VISIT AND EXAMINE SITE FULLY THE SITE SO AS TO BE COMPLIANCE WITH CONDITIONS AND SITE FACILITIES THAT WILL BE ENCOUNTERED DURING THE EXECUTION OF THE WORK BEFORE SUBMITTING PROPOSALS. SUBMISSION OF A PROPOSAL WILL BE CONSIDERED THAT SUCH EXAMINATION HAS BEEN MADE AND LATER CLAIMS FOR MORE EQUIPMENT OR MATERIALS THAN CALLED FOR IN THE SPECIFICATIONS WILL NOT BE RECOGNIZED.
3. INCLUDE COSTS IN THE PROPOSAL TO LOCATE AND MARK EXISTING UNDERGROUND UTILITIES WHERE NEW UNDERGROUND WORK IS INDICATED PRIOR TO ANY CONSTRUCTION AT SITE'S FOR LOCATION OF UTILITIES CALL JULIE AT 1-800-892-0123.
4. UNDERGROUND INSTALLATION OF ANY ELECTRICAL SERVICE CANNOT BE LOCATED IN THE SAME TRENCH WITH PLUMBING OR GAS SERVICES. BUT THE MINIMUM DISTANCE BETWEEN UTILITY SERVICES LOCATED IN THE SAME TRENCH SHALL BE A MINIMUM OF TWELVE (12) INCHES MEASURED IN A HORIZONTAL DIRECTION. UTILITY SERVICES LOCATED ONTO PARALLEL TRENCHES SHALL BE LOCATED A MINIMUM OF TWELVE (12) INCHES APART HORIZONTALLY.

CONCRETE PAD NOTES

1. VERIFY PAD OPENING FOR PRIMARY AND SECONDARY CONDUIT. CONDUIT SHALL NOT BE PROJECTED ABOVE THE SURFACE OF THE PAD.
2. NOTIFY THE UTILITY COMPANY IN ADVANCE BEFORE POURING CONCRETE TO MAKE ARRANGEMENT FOR INSPECTION OF PAD. TRANSFORMER FOUNDATIONS AND INSTALLATION MUST BE IN ACCORDANCE WITH COMED STANDARDS.
3. WORKING CLEARANCE SHALL BE KEPT OPEN ON FRONT SIDE OF THE TRANSFORMER AND METER SUBPANEL TO COMPLY WITH NEC.
4. CONCRETE PAD SHALL BE 6" THICK AND FROM CHECK SWITCH DRAWING NO. AND STEEL REINFORCEMENT AT 12" MAX. SPACING WITH MINIMUM SPACING OF 3000 PSI AT 14 DAYS. COORDINATE DRAWINGS WITH COMED.
5. ALL WORK SHALL BE IN COMPLIANCE WITH COMED STANDARDS AND NATIONAL ELECTRICAL CODE.

SITE LIGHTING PLAN GENERAL NOTES

1. UNLESS OTHERWISE NOTED, ALL EXTERIOR LIGHTING WIRING SHALL BE #10 AWG, COPPER. ALL EXTERIOR LIGHTING WIRING SHALL BE ROUTED IN PVC SCH 40 UG CONDUIT, MINIMUM 36" BELOW GRADE. VERIFY EXACT LOCATION OF ALL OUTDOOR LIGHTING WITH GENERAL CONTRACTOR, LANDSCAPE ENGINEER, CIVIL ENGINEER AND ARCHITECT.
2. ALL PENETRATIONS THROUGH BUILDING SHALL BE SEALED WATER TIGHT PER ARCHITECTS REQUIREMENTS. SECONDARY HOUSE CONDUIT TO WALL AS REQUIRED.
3. PROVIDE ALL TRENCHING AND BACKFILL AS REQUIRED PER ARCHITECTS REQUIREMENTS. SURFACE SUITABLE FOR FINAL PAVEMENT LAYER FINAL PAVEMENT BY OTHERS. THE CONTRACTOR TO COORDINATE WORK WITH ALL OTHER TRADES PRIOR TO ANY EXCAVATION.
4. SITE LIGHTING PLAN PROVIDING TYPES AND DESIGN INFORMATION SHALL BE SUBMITTED TO THE AUTHORITY PRIOR TO START OF WORK.
5. MINIMUM REQUIREMENT FOR FOR LOCATION SHALL BE (3) SETS OF (3) #10 AWG - GROUND CABLE TYPE LABELED #THWN THWN-2 THWN. CONDUITS AND WIRE NEATLY TRAINED AND LABELED IN LIGHT FIXTURE HANDHOLE.
6. EACH HEAD OF THE FIXTURE MUST BE WIRED DOWN TO THE HANDHOLE. HOWEVER ONLY ALL LIGHTING CIRCUITS MUST BE PRESENT AT THE BATCH HANDHOLE SO THAT WIRING CAN BE ACCESSED FOR FUTURE CIRCUIT MODIFICATIONS OR WIRING AS REQUIRED.
7. PROVIDE ALL CONTACTORS, RELAYS, TIMECLOCK SHALL BE PROVIDED FOR A COMPLETE LIGHTING CONTROL INSTALLATION. COORDINATE WITH BUILDING AUTOMATION SYSTEMS CONTRACTOR FOR ADDITIONAL INFORMATION. TIMECLOCK SHALL BE PROVIDED WITH ALL CONTACTORS AND RELAYS SHALL BE PROVIDED WITH ALL OTHER

DUPAGE COUNTY HEA
DEPARTMENT

Wight

Wight & Company
wightco.com

2500 North Frontage Road
Darien, IL 60561

P 630.969.7000
F 630.969.7979

REV	DESCRIPTION
	50% DD
	90% CD REVIEW
	100% DD UPDATE

CRISIS RECOVERY CENTER

111 N County Farm Road,
Wheaton, IL

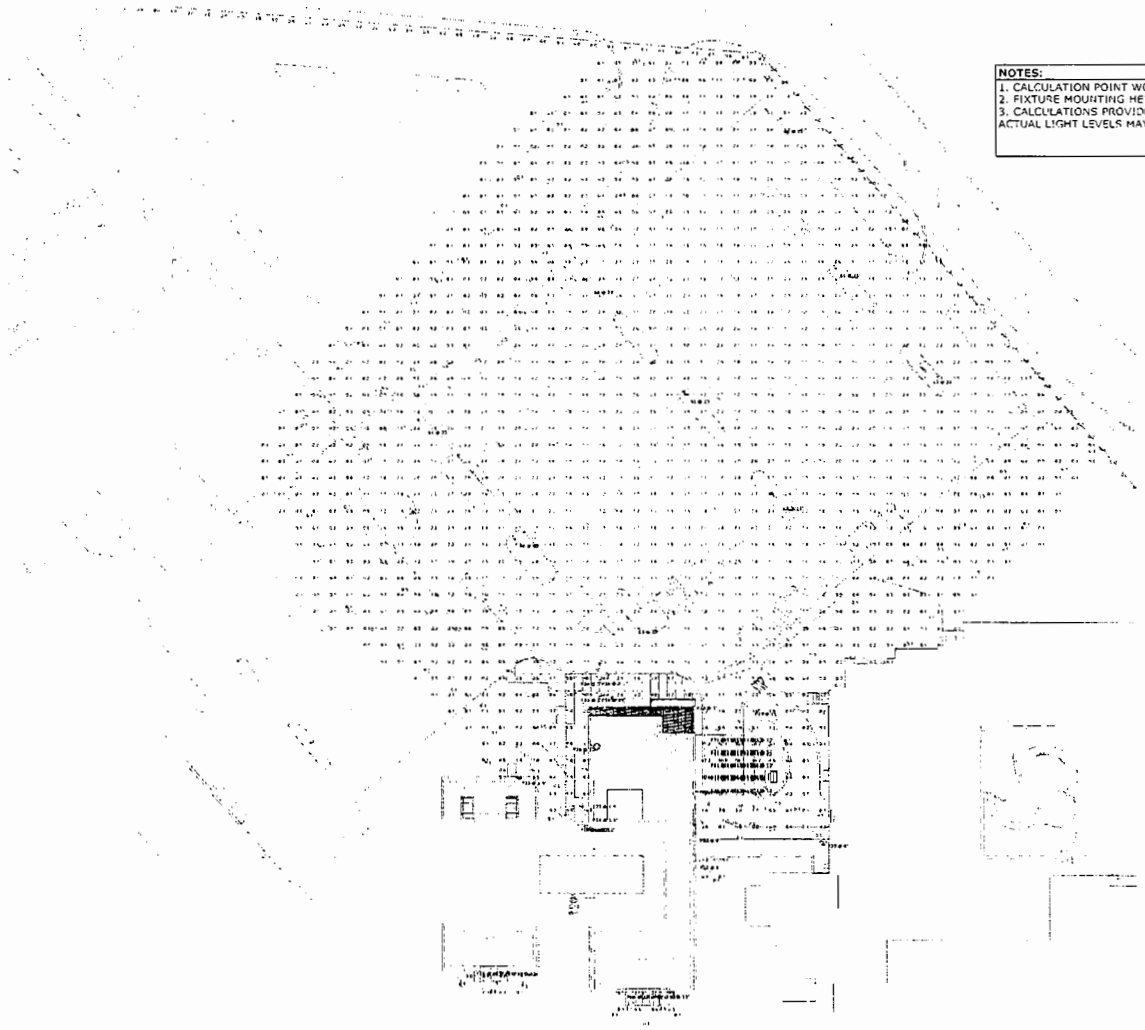
ELECTRICAL SITE PLA

Project Number
220067
Drawn By
EGD
Sheet

E1.0

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
1. PARKING LOT - NEW POLES	✕	2.0 fc	4.3 fc	0.4 fc	10.8:1	5.0:1
2. FULL SITE	+	0.5 fc	86.3 fc	0.0 fc	N/A	N/A
3. PROPERTY LINE	·	0.1 fc	2.2 fc	0.0 fc	N/A	N/A

NOTES:
1. CALCULATION POINT WORK PLANE: GRADE LEVEL
2. FIXTURE MOUNTING HEIGHT: REFER TO FIXTURE LABELS NOTED ON PLAN
3. CALCULATIONS PROVIDED BY KSA ARE NOT A GUARANTEE OF PERFORMANCE. ACTUAL LIGHT LEVELS MAY VARY.**



Plan View
Scale - 1" = 30ft

1 PHOTOMETRICS
SCALE 1" = 30'-0"

DUPAGE COUNTY HEAL
DEPARTMENT

Wight

Wight & Company
wight.com
7500 North Harlem Avenue
Harwood Heights, IL 60706
P 630 969 7000
F 630 969 7979

CRISIS RECOVERY CENTER

111 S. County Farm Road,
Wheaton, IL

SITE PHOTOMETRICS

Project Number
235987
Drawn By
EDP
Sheet

E1.0

ADVANCE LIGHTING CONTROL SEQUENCE OF OPERATION

ROOM TYPE	SEQUENCE OF OPERATION
OFFICES, SMALL GROUP ROOMS	A. OCCUPANCY OPERATION (ON OCCUPANCY MODE (AUTO ON/AUTO OFF) TO 50% LUMEN OUTPUT) B. OCCUPANCY SENSORS (ON TO 10% TO 90 % AT 15 MIN. (0.5 - 1 MIN. TO ON TO 50% (SAT 15 MIN. C. DAYLIGHT HARVESTING TO MAINTAIN LIGHT LEVEL TO 40% QUALITY (MINIMUM THE SPACE IN DAYLIGHTING ZONES, WHERE DAYLIGHTING IS AVAILABLE) D. MANUAL ON/OFF - SINGLE SWITCH TYPE E. SWITCH-PACK WITH LED AT TEMPERANCY DIMMING F. ENABLE LUMEN COMPENSATION AT 80% (WHERE AND CONTROL) G. ALL INTERFACING LIGHTING TO BE CONTROLLED FROM A POWER PACK (SO THE FIXTURES SHALL BYPASS ANY ON/OFF OR DIMMING LEVEL TO 100% FUNCTION
CONFERENCE ROOMS	A. OCCUPANCY OPERATION (ON OCCUPANCY MODE (AUTO ON/AUTO OFF) TO 50% LUMEN OUTPUT) B. OCCUPANCY SENSORS (ON TO 10% TO 90 % AT 15 MIN. (0.5 - 1 MIN. TO ON TO 50% (SAT 15 MIN. C. DAYLIGHT HARVESTING TO MAINTAIN LIGHT LEVEL TO 40% QUALITY (MINIMUM THE SPACE IN DAYLIGHTING ZONES, WHERE DAYLIGHTING IS AVAILABLE) D. MANUAL ON/OFF - WALL SWITCH TYPE (ON HIGH LEVEL OFF AND HIGH AT 50% ZONE OFF AND ROOM AT 0% E. SWITCH-PACK WITH LED AT TEMPERANCY DIMMING F. ENABLE LUMEN COMPENSATION AT 80% (WHERE AND CONTROL) G. ALL INTERFACING LIGHTING TO BE CONTROLLED FROM A POWER PACK (SO THE FIXTURES SHALL BYPASS ANY ON/OFF OR DIMMING LEVEL TO 100% FUNCTION
TRAINING ROOM	A. OCCUPANCY OPERATION (ON OCCUPANCY MODE (AUTO ON/AUTO OFF) TO 50% LUMEN OUTPUT) B. OCCUPANCY SENSORS (ON TO 10% TO 90% (0.5 - 1 MIN. TO ON TO 50% (SAT 15 MIN. C. DAYLIGHT HARVESTING TO MAINTAIN LIGHT LEVEL TO 40% QUALITY (MINIMUM THE SPACE IN DAYLIGHTING ZONES, WHERE DAYLIGHTING IS AVAILABLE) D. MANUAL ON/OFF - WALL SWITCH TYPE (ON HIGH LEVEL OFF AND HIGH AT 50% ZONE OFF AND ROOM AT 0% E. SWITCH-PACK WITH LED AT TEMPERANCY DIMMING F. ENABLE LUMEN COMPENSATION AT 80% (WHERE AND CONTROL) G. ALL INTERFACING LIGHTING TO BE CONTROLLED FROM A POWER PACK (SO THE FIXTURES SHALL BYPASS ANY ON/OFF OR DIMMING LEVEL TO 100% FUNCTION
OFFICE	A. OCCUPANCY OPERATION (ON OCCUPANCY MODE (AUTO ON/AUTO OFF) TO 50% LUMEN OUTPUT) B. OCCUPANCY SENSORS (ON TO 10% TO 90 % AT 15 MIN. (0.5 - 1 MIN. TO ON TO 50% (SAT 15 MIN. C. DAYLIGHT HARVESTING TO MAINTAIN LIGHT LEVEL TO 40% QUALITY (MINIMUM THE SPACE IN DAYLIGHTING ZONES, WHERE DAYLIGHTING IS AVAILABLE) D. MANUAL ON/OFF - WALL SWITCH TYPE (ON HIGH LEVEL OFF AND HIGH AT 50% ZONE OFF AND ROOM AT 0% E. SWITCH-PACK WITH LED AT TEMPERANCY DIMMING F. ENABLE LUMEN COMPENSATION AT 80% (WHERE AND CONTROL) G. ALL INTERFACING LIGHTING TO BE CONTROLLED FROM A POWER PACK (SO THE FIXTURES SHALL BYPASS ANY ON/OFF OR DIMMING LEVEL TO 100% FUNCTION
LOBBY CORRIDORS STAIRWAYS	A. OCCUPANCY OPERATION (ON OCCUPANCY MODE (AUTO ON/AUTO OFF)) B. OCCUPANCY SENSORS (ON TO 10% - 1 MIN. TO ON TO 50% (SAT 15 MIN. (0.5 MIN. (0.5 MIN. TO ON TO 50% (SAT 15 MIN. C. ON AT NIGHT (ALL - STAY ON AFTER SCHEDULE HOURS AT 50% LUMEN AS QUALITY AT NIGHT - 10 AM D. DAYLIGHT HARVESTING TO MAINTAIN LIGHT LEVEL TO 40% QUALITY (MINIMUM THE SPACE IN DAYLIGHTING ZONES, WHERE DAYLIGHTING IS AVAILABLE) E. MASTER CONTROL TO OVERRIDE (ON & HIGH) (ON TO 50% DIMMING - LIGHTS LOW NOT DIMMING) (SAT TO 100% FUNCTION FOR REMOTE DIMMING) F. SWITCH-PACK WITH LED AT TEMPERANCY DIMMING G. ENABLE LUMEN COMPENSATION AT 80% (WHERE AND CONTROL) H. ALL INTERFACING LIGHTING TO BE CONTROLLED FROM A POWER PACK (SO THE FIXTURES SHALL BYPASS ANY ON/OFF OR DIMMING LEVEL TO 100% FUNCTION
MULTI USE RECREATION	A. OCCUPANCY OPERATION (ON OCCUPANCY MODE (AUTO ON/AUTO OFF) TO 50% LUMEN OUTPUT) B. OCCUPANCY SENSORS (ON TO 10% - 1 MIN. TO ON TO 50% (SAT 15 MIN. (0.5 MIN. TO ON TO 50% (SAT 15 MIN. (0.5 MIN. TO ON TO 50% (SAT 15 MIN. C. MANUAL ON/OFF OCCUPANCY SWITCH TYPE (ON HIGH D. SWITCH-PACK WITH LED AT TEMPERANCY DIMMING E. ENABLE LUMEN COMPENSATION AT 80% (WHERE AND CONTROL) F. ALL INTERFACING LIGHTING TO BE CONTROLLED FROM A POWER PACK (SO THE FIXTURES SHALL BYPASS ANY ON/OFF OR DIMMING LEVEL TO 100% FUNCTION
SINGLE USER RESTROOMS, SINGLE UNISEX STALL	A. OCCUPANCY OPERATION (ON OCCUPANCY MODE (AUTO ON/AUTO OFF) TO 50% LUMEN OUTPUT) B. OCCUPANCY SENSORS (ON TO 10% TO 90 % AT 15 MIN. C. MANUAL ON/OFF - OCCUPANCY SWITCH TYPE (ON HIGH D. SWITCH-PACK WITH LED AT DISABLE USE ONLY OCCUPANCY SENSOR E. ENABLE LUMEN COMPENSATION AT 80% (WHERE AND CONTROL) F. ALL INTERFACING LIGHTING TO BE CONTROLLED FROM A POWER PACK (SO THE FIXTURES SHALL BYPASS ANY ON/OFF OR DIMMING LEVEL TO 100% FUNCTION G. CONTROL ADJUSTMENT PRESENT
LARGE RESTROOMS	A. OCCUPANCY OPERATION (ON OCCUPANCY MODE (AUTO ON/AUTO OFF) TO 50% LUMEN OUTPUT) B. OCCUPANCY SENSORS (ON TO 10% TO 90 % AT 15 MIN. C. MANUAL ON/OFF OCCUPANCY SWITCH TYPE (ON HIGH D. SWITCH-PACK WITH LED AT DISABLE USE ONLY OCCUPANCY SENSOR E. ENABLE LUMEN COMPENSATION AT 80% (WHERE AND CONTROL) F. ALL INTERFACING LIGHTING TO BE CONTROLLED FROM A POWER PACK (SO THE FIXTURES SHALL BYPASS ANY ON/OFF OR DIMMING LEVEL TO 100% FUNCTION G. CONTROL ADJUSTMENT PRESENT

ALL ROOMS WITH ON/OFF WALL SWITCHES, TURN THE LIGHT ON AT 100% (FOR NO PATRONS LEVEL)

SWITCH SHALL BE CAPABLE OF DISCONNECTING ALL OF THE LIGHTING OF ON OCCUPANCY SENSOR. (SWITCHES WHERE DIMMING SWITCHES.

NO CONTROL PROGRAMMING AND SEQUENCE OF OPERATION ON LIGHTING (EXCLUDING DIMMING TO SENSORS

LIGHTING FIXTURE TO BE PROVIDED WITH DIMMING WHEN THE LIGHTING IS ON AT 100% (FULL LIGHT OUTPUT)

THE SEQUENCING MAY NOT SHOWN ALL REQUIRED HARDWARE OR CONDUIT, INTERFACE SYSTEM, CONTRACTOR SHALL PROVIDE SHOP DRAWINGS PRIOR TO FABRICATION AND QUOTE IN

LIGHT DRAWINGS SHALL INCLUDE: OCCUPANCY AND DAYLIGHT ZONE ESTIMATED WATTS TO BE ON WHEN ON OR NATURAL CONTRACTOR SHALL INCLUDE ALL NECESSARY CONTROLS, WIRING, SYSTEM TO MEET NEC 2010 AND THE 2015 IECC TO THE HIGH SHOWN IN THE SEQUENCE DRAWINGS

ALL FIXTURES SHALL BE ZONE OFF OR THE LIGHTS ARE SHOWN SHOWN WITH WATTS
- ACCORDING DIMMING WITH HIGHER AND LOW LEVEL WITH DIMMING (SEE LIGHTING ZONES) 2 ZONES
- ACCUNT TO 10 TO ON DIMMING
- DIMMING
- LIGHT WITH LEVELS
- DIMMING 10 LEVELS
- DIMMING
- DAYLIGHT SENSOR SENSING
- DAYLIGHT SENSOR
- PENDANT LIGHTS IN SEQUENT COMMON AREA

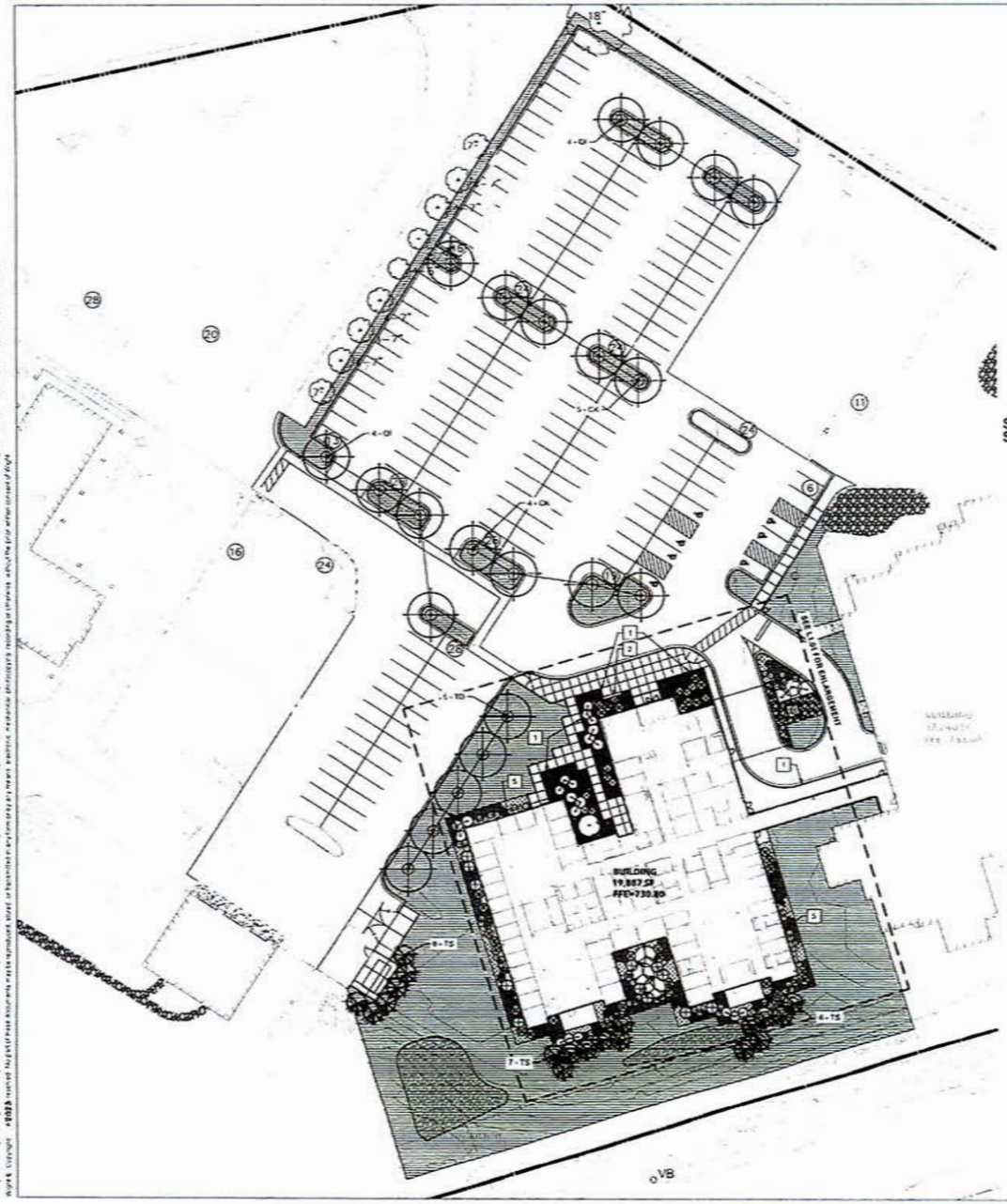
(2) PARKING LOT LIGHTING POLE DETAIL

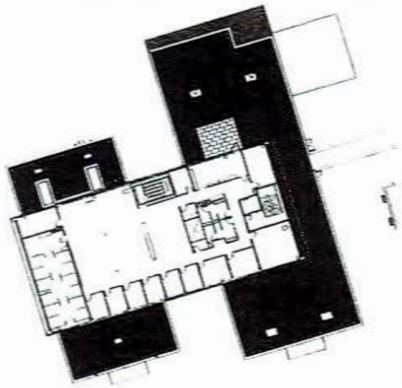
(3) BOLLARD LIGHTING POLE BASE DETAIL

(1) EXTERIOR LIGHTING CONTROL

LIGHTING CONTROL SYMBOL LEGEND

	WALL SWITCH (2 SENSATION SENSOR, PASSIVE INFRARED) (LOW VOLTAGE)
	WALL SWITCH (2 SENSATION SENSOR, DUAL TECHNOLOGY (DIMMING, LOW VOLTAGE)
	WALL SWITCH (DIMMING, ON/OFF) (





SECOND FLOOR GREEN ROOF
SEE SHEET L1.02 FOR ENLARGEMENT

LEGEND

- 4" MIN. DEPTH TOPSOIL AND KENTUCKY BLUE GRASS SOD
- GRAVEL BALLAST (2" WIDTH)
- GREEN ROOF PLANTING AREA MIX

PLANT GROUP TYPE

- TYPE "A"
- TYPE "B"
- TYPE "C"
- TYPE "D"
- TYPE "E"
- TYPE "F"

NOTE:
1. IN GROUPS OF 3 OR 5 OR 7 HANDOMLY, BUT EVENLY MIXED THROUGH OUT
2. DO NOT PLANT IN A REGULAR PATTERN OR IN STRAIGHT LINES.

LANDSCAPE KEY NOTES

1	PLANTER CURB / 6 INCH HT
2	CIP CONCRETE SEATWALL / 12" WD X 16" HT
3	PEDESTAL PAVER / 24 INCH SQUARE
4	GREEN ROOF PATIO TO HAVE CAFE TABLES AND CHAIRS
5	18" CLEARANCE ALONG BUILDING FOUNDATION FOR MAINTENANCE ACCESS. TYP
6	GREEN ROOF TRAY - STANDARD SYSTEM
7	GREEN ROOF TRAY - DEEP SYSTEM

LANDSCAPE NOTES

1. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED WITH TOPSOIL (MIN. 4" DEPTH) AND KENTUCKY BLUEGRASS SOD
2. ALL AREAS DISTURBED IN THE RIGHT-OF-WAY SHALL BE RESTORED WITH TOPSOIL (MIN. 5" DEPTH) AND KENTUCKY BLUEGRASS SOD.
3. RESTORE ALL AREAS DISTURBED BY CONSTRUCTION OUTSIDE SCOPE LIMIT TO EXISTING CONDITIONS.
4. ALL PROPOSED PLANTING BED AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED WITH TOPSOIL (MIN. 10" DEPTH) PRIOR TO PERENNIAL AND SHRUB INSTALLATION.
5. THE CONTRACTOR SHALL PROTECT ANY AND ALL TREES NOT SHOWN ON THE PLANS TO BE SAVED FROM DAMAGE DUE TO OPERATIONS. MINIMUM PROTECTION FOR TREES SHALL BE 4' SNOW FENCE, INSTALL ALONG THE DRIP LINE OF TREES.
6. ALL PLANTING TECHNIQUES AND METHODS SHALL BE CONSISTENT WITH THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" AND AS DETAILED ON THESE DRAWINGS. DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT
7. TREES SHALL BE INSTALLED A MINIMUM OF 5' HORIZONTALLY FROM UNDERGROUND ELECTRICAL FEEDERS, SANITARY SEWERS, SANITARY SERVICES, WATER MAINS, AND WATER SERVICES
8. TREES SHALL BE INSTALLED A MINIMUM OF 10' HORIZONTALLY FROM NEAREST LIGHT POLE
9. TREES SHALL BE INSTALLED A MINIMUM OF 10' HORIZONTALLY FROM UTILITY STRUCTURES AND APPURTENANCES, INCLUDING, BUT NOT LIMITED TO MANHOLES, VALVE VAULTS, VALVE BOXES AND FIRE HYDRANTS.
10. ALL SHRUB BEDS AND INDIVIDUAL TREES WILL RECEIVE A MINIMUM OF 4" PREMIUM SHREDDED HARDWOOD BARK (MAXIMUM 5"). ALL PERENNIAL BEDS WILL RECEIVE A MINIMUM OF 2" SHREDDED HARDWOOD BARK MULCH. REFER TO PLANTING DETAILS
11. ALL PERENNIAL & SHRUB BEDS TO HAVE AMENDED TOPSOIL. 2" MINIMUM ORGANIC MATTER SHALL BE TILLED INTO THE TOP 12" OF TOPSOIL. THOROUGHLY TILL TO BREAK UP CLUMPS AND SPREAD EVENLY OVER SURFACE
12. CONTRACTOR TO PROVIDE SCHEDULE OF MAINTENANCE ACTIVITIES TO OWNER AND LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. SCHEDULE TO INCLUDE SPECIFIC DATES AND TASKS TO BE PERFORMED BY THE CONTRACTOR THROUGHOUT WARRANTY PERIOD
13. THE CONTRACTOR WILL MAKE NO SUBSTITUTIONS WITHOUT PRIOR WRITTEN CONSENT BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR WILL SUBMIT ANY SUBSTITUTIONS IN WRITING TO THE LANDSCAPE ARCHITECT

SEE SHEET L2.00 FOR PLANT MATERIAL LIST.

DUPAGE COUNTY HEALTH DEPARTMENT

Wight

Wight & Company
wightco.com

2500 North Frontage Road
Darien, IL 60561

P 630.969.7000
F 630.969.7979

REV	DESCRIPTION	DATE
	100% DD	10/30/2

CRISIS RECOVERY CENTER

115 N COUNTY FARM ROAD
WHEATON, IL 60187

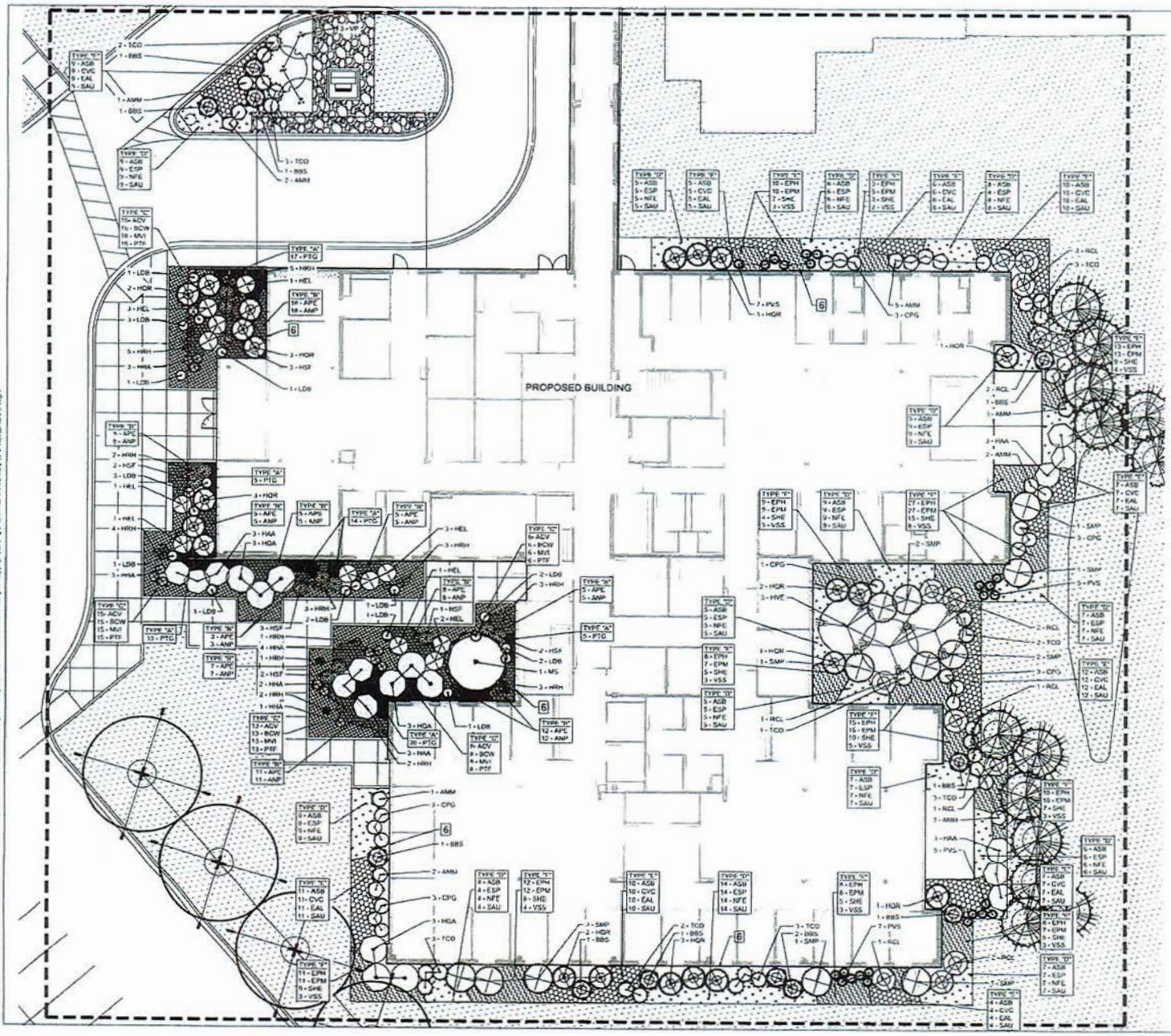
LANDSCAPE PLAN – OVERALL

Project Number: 230002
Scale: 1" = 30'
Drawn By: PN/VD

NORTH

L1.00

S:\Darien\Dupage County Health Department\230002_Central Receiving Center Study\01\11 Drawings\02 CD\230002 L1.00 LANDSCAPE PLAN.dwg zmattix Oct 31, 2023 7:33:26 am



LEGEND

- 6" MIN. DEPTH TOPSOIL AND KENTUCKY BLUE GRASS SOD
- GRAVEL BALLAST (3" WIDTH)
- GREEN ROOF PLANTING AREA MIX

PLANT GROUP TYPE

- TYPE "A"
- TYPE "B"
- TYPE "C"
- TYPE "D"
- TYPE "E"
- TYPE "F"

NOTE:
1. IN GROUPS OF 3 OR 5 OR 7 RANDOMLY, BUT EVENLY MIXED THROUGH OUT
2. DO NOT PLANT IN A REGULAR PATTERN OR IN STRAIGHT LINES.

LANDSCAPE KEY NOTES

1	PLANTER CURB / 6 INCH HT
2	CIP CONCRETE SEATWALL / 12" WD X 18" HT
3	PEDESTAL PAVER / 24 INCH SQUARE
4	GREEN ROOF PATIO TO HAVE CAFE TABLES AND CHAIRS.
5	18" CLEARANCE ALONG BUILDING FOUNDATION FOR MAINTENANCE ACCESS. TYP.
6	GREEN ROOF TRAY - STANDARD SYSTEM
7	GREEN ROOF TRAY - DEEP SYSTEM

LANDSCAPE NOTES

1. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED WITH TOPSOIL (MIN. 6" DEPTH) AND KENTUCKY BLUEGRASS SOD.
2. ALL AREAS DISTURBED IN THE RIGHT-OF-WAY SHALL BE RESTORED WITH TOPSOIL (MIN. 6" DEPTH) AND KENTUCKY BLUEGRASS SOD.
3. RESTORE ALL AREAS DISTURBED BY CONSTRUCTION OUTSIDE SCOPE LIMIT TO EXISTING CONDITIONS.
4. ALL PROPOSED PLANTING BED AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED WITH TOPSOIL (MIN. 12" DEPTH) PRIOR TO PERENNIAL AND SHRUB INSTALLATION.
5. THE CONTRACTOR SHALL PROTECT ANY AND ALL TREES NOT SHOWN ON THE PLANS TO BE SAVED FROM DAMAGE DUE TO OPERATIONS. MINIMUM PROTECTION FOR TREES SHALL BE 4' SNOW FENCE, INSTALL ALONG THE DRIP LINE OF TREES.
6. ALL PLANTING TECHNIQUES AND METHODS SHALL BE CONSISTENT WITH THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" AND AS DETAILED ON THESE DRAWINGS. DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT.
7. TREES SHALL BE INSTALLED A MINIMUM OF 5' HORIZONTALLY FROM UNDERGROUND ELECTRICAL FEEDERS, SANITARY SEWERS, SANITARY SERVICES, WATER MAINS, AND WATER SERVICES.
8. TREES SHALL BE INSTALLED A MINIMUM OF 10' HORIZONTALLY FROM NEAREST LIGHT POLE.
9. TREES SHALL BE INSTALLED A MINIMUM OF 10' HORIZONTALLY FROM UTILITY STRUCTURES AND APPURTENANCES, INCLUDING, BUT NOT LIMITED TO MANHOLES, VALVE VAULTS, VALVE BOXES AND FIRE HYDRANTS.
10. ALL SHRUB BEDS AND INDIVIDUAL TREES WILL RECEIVE A MINIMUM OF 4" PREMIUM SHREDDED HARDWOOD BARK (MAXIMUM 5"). ALL PERENNIAL BEDS WILL RECEIVE A MINIMUM OF 2" SHREDDED HARDWOOD BARK MULCH. REFER TO PLANTING DETAILS.
11. ALL PERENNIAL & SHRUB BEDS TO HAVE AMENDED TOPSOIL. 2" MINIMUM ORGANIC MATTER SHALL BE TILLED INTO THE TOP 12" OF TOPSOIL THOROUGHLY TILL TO BREAK UP CLUMPS AND SPREAD EVENLY OVER SURFACE.
12. CONTRACTOR TO PROVIDE SCHEDULE OF MAINTENANCE ACTIVITIES TO OWNER AND LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. SCHEDULE TO INCLUDE SPECIFIC DATES AND TASKS TO BE PERFORMED BY THE CONTRACTOR THROUGHOUT WARRANTY PERIOD.
13. THE CONTRACTOR WILL MAKE NO SUBSTITUTIONS WITHOUT PRIOR WRITTEN CONSENT BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR WILL SUBMIT ANY SUBSTITUTIONS IN WRITING TO THE LANDSCAPE ARCHITECT.

DUPAGE COUNTY HEALTH DEPARTMEN

Wight

Wight & Company
wightco.com
2500 North Frontage Road
Darien, IL 60561
P 630.969.7000
F 630.969.7979

REV	DESCRIPTION	DATE
	100% DD	10/30/

CRISIS RECOVERY CENTER

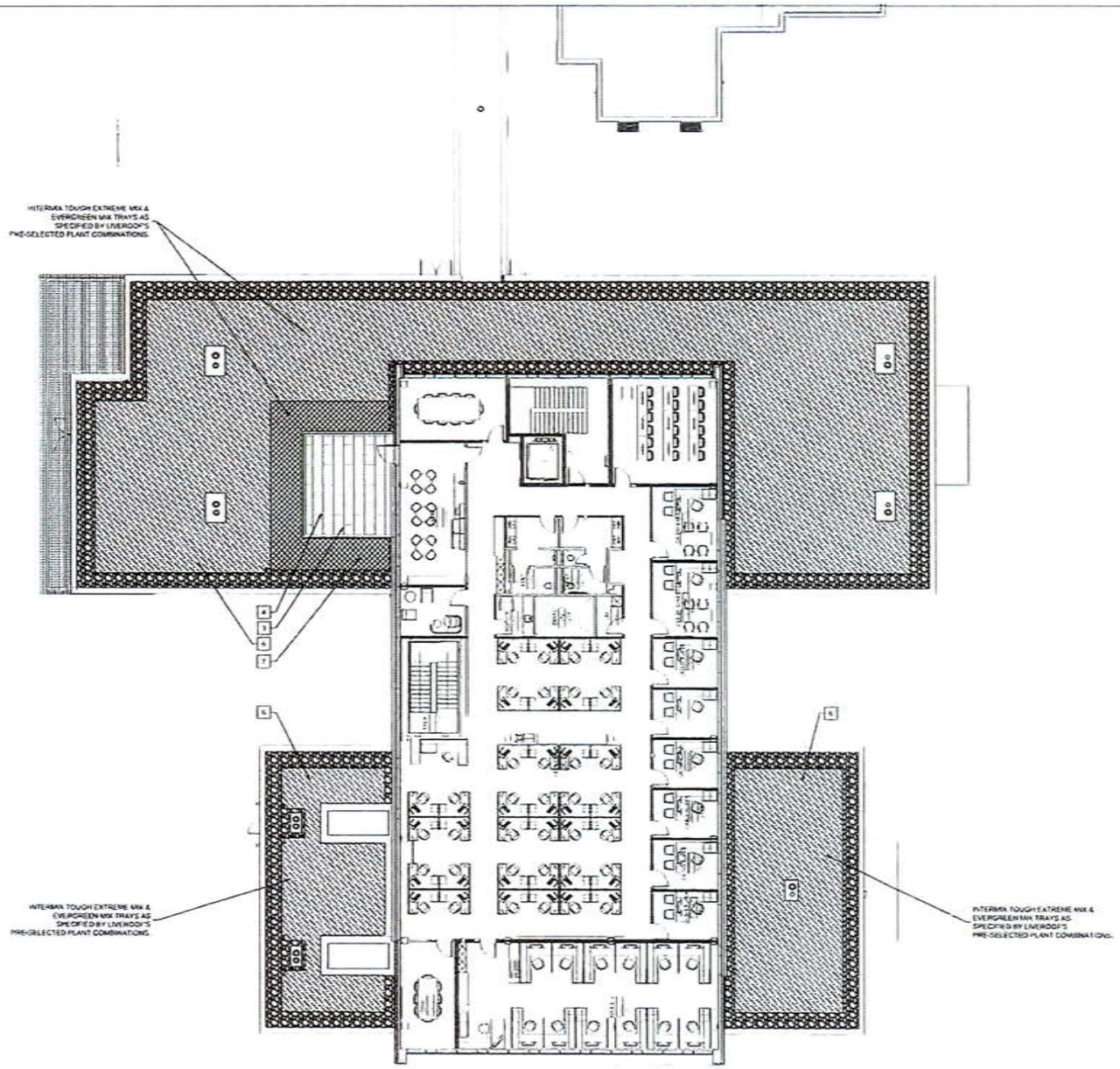
115 N COUNTY FARM ROAD
WHEATON, IL 60187

LANDSCAPE PLAN – ENLARGEMENT

Project Number: 230002
Drawn By: PM/VD
Sheet:
Scale: 1" = 1

L1.01

S:\Darien\Dupage County Health Department\230002_Central Receiving Center Study\01\11 Drawings\02 CD\230002 L1.00 LANDSCAPE PLAN.dwg zmattix Oct 31, 2023 7:33:41 pm
Wight & Company 630.969.7000 Darien, Illinois 60561 www.wightco.com
Wight & Company assumes no liability for any reuse of this document or any part thereof without written consent of Wight & Company.



LEGEND

- 6" MIN. DEPTH TOPSOIL AND KENTUCKY BLUE GRASS SOD
- GRAVEL BALLAST OF WIDTH
- GREEN ROOF PLANTING AREA MIX

PLANT GROUP TYPE

- TYPE "A"
- TYPE "B"
- TYPE "C"
- TYPE "D"
- TYPE "E"
- TYPE "F"

NOTE
1. NO GROUPS OF 3 OR 5 OR 7 RANDOMLY, BUT EVENLY MIXED THROUGH OUT
2. DO NOT PLANT IN A REGULAR PATTERN OR IN STRAIGHT LINES

LANDSCAPE KEY NOTES

1	PLANTER CURB / 6 INCH HT
2	CIP CONCRETE SEATWALL / 12" WD X 18" HT
3	PEDESTAL PAVER / 24 INCH SQUARE
4	GREEN ROOF PATIO TO HAVE CAFE TABLES AND CHAIRS
5	18" CLEARANCE ALONG BUILDING FOUNDATION FOR MAINTENANCE ACCESS. TYP
6	GREEN ROOF TRAY - STANDARD SYSTEM
7	GREEN ROOF TRAY - DEEP SYSTEM

LANDSCAPE NOTES

1. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED WITH TOPSOIL (MIN. 6" DEPTH) AND KENTUCKY BLUEGRASS SOD
2. ALL AREAS DISTURBED IN THE RIGHT-OF-WAY SHALL BE RESTORED WITH TOPSOIL (MIN. 6" DEPTH) AND KENTUCKY BLUEGRASS SOD
3. RESTORE ALL AREAS DISTURBED BY CONSTRUCTION OUTSIDE SCOPE LINE TO EXISTING CONDITIONS.
4. ALL PROPOSED PLANTING BED AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED WITH TOPSOIL (MIN. 10" DEPTH) PRIOR TO PERENNIAL AND SHRUB INSTALLATION
5. THE CONTRACTOR SHALL PROTECT ANY AND ALL TREES NOT SHOWN ON THE PLANS TO BE SAVED FROM DAMAGE DUE TO OPERATIONS. MINIMUM PROTECTION FOR TREES SHALL BE 4' SNOW FENCE. INSTALL ALONG THE DRIPLINE OF TREES.
6. ALL PLANTING TECHNIQUES AND METHODS SHALL BE CONSISTENT WITH THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" AND AS DETAILED ON THESE DRAWINGS. DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT
7. TREES SHALL BE INSTALLED A MINIMUM OF 5' HORIZONTALLY FROM UNDERGROUND ELECTRICAL FEEDERS, SANITARY SEWERS, SANITARY SERVICES, WATER MAINS, AND WATER SERVICES
8. TREES SHALL BE INSTALLED A MINIMUM OF 10' HORIZONTALLY FROM NEAREST LIGHT POLE
9. TREES SHALL BE INSTALLED A MINIMUM OF 10' HORIZONTALLY FROM UTILITY STRUCTURES AND APPURTENANCES, INCLUDING, BUT NOT LIMITED TO MANHOLES, VALVE VAULTS, VALVE BOXES AND FIRE HYDRANTS
10. ALL SHRUB BEDS AND INDIVIDUAL TREES WILL RECEIVE A MINIMUM OF 4" PREMIUM SHREDDED HARDWOOD BARK (MAXIMUM 1"). ALL PERENNIAL BEDS WILL RECEIVE A MINIMUM OF 2" SHREDDED HARDWOOD BARK MULCH. REFER TO PLANTING DETAILS
11. ALL PERENNIAL & SHRUB BEDS TO HAVE AMENDED TOPSOIL (2" MINIMUM ORGANIC MATTER SHALL BE TILLED INTO THE TOP 10" OF TOPSOIL. THOROUGHLY TILL TO BREAK UP CLUMPS AND SPREAD EVENLY OVER SURFACE
12. CONTRACTOR TO PROVIDE SCHEDULE OF MAINTENANCE ACTIVITIES TO OWNER AND LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. SCHEDULE TO INCLUDE SPECIFIC DATES AND TASKS TO BE PERFORMED BY THE CONTRACTOR THROUGHOUT WARRANTY PERIOD
13. THE CONTRACTOR WILL MAKE NO SUBSTITUTIONS WITHOUT PRIOR WRITTEN CONSENT BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR WILL SUBMIT ANY SUBSTITUTIONS IN WRITING TO THE LANDSCAPE ARCHITECT

DUPAGE COUNTY HEALTH DEPARTMENT

Wight

Wight & Company
wightco.com
2500 North Frontage Road
Darien, IL 60561
P 630.969.7000
F 630.969.7979

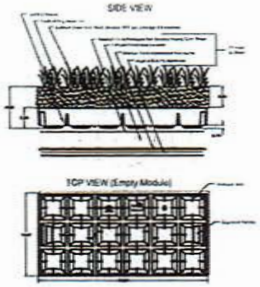
REV	DESCRIPTION	DATE
	100% DD	10/30/2

CRISIS RECOVERY CENTER

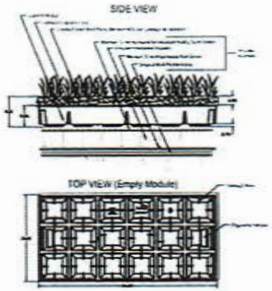
115 N COUNTY FARM ROAD
WHEATON, IL 60187

GREEN ROOF – ENLARGEMENT

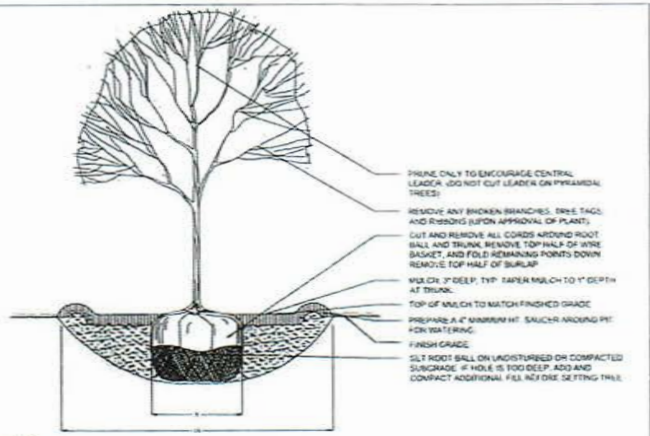
Project Number: 230060
Drawn By: PM/VD
Sheet: L1.02



1 GREEN ROOF TRAY - DEEP SYSTEM
SCALE: 1 1/2" = 1'-0"



2 GREEN ROOF TRAY - STANDARD SYSTEM
SCALE: 1 1/2" = 1'-0"

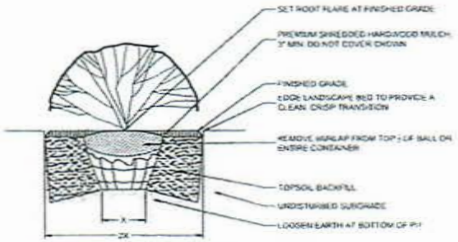


NOTES
1. PRUNE TO THIN AND SHAPE TREE CANOPY PER SPECIFICATIONS
2. APPLY STAKES AND OR GUYS ONLY AS INDICATED IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT
3. AVOID PLACING SOIL ON TOP OF THE ROOT BALL. MAINTAIN EXPOSURE OF ROOT FLARE. IF ROOT FLARE IS NOT EXPOSED, CAREFULLY REMOVE EXCESS SOIL. SET ROOT BALL SO THAT BASE OF ROOT FLARE IS 3"-6" HIGHER THAN ADJACENT FINISH GRADE. (ROOT FLARE IS TYPICALLY 6" BELOW BUD GRAFT UNION ON GRAFTED TREES)
4. FLARE PLANTING HOLE EDGE SIZE TO BE TWICE AS WIDE AS ROOT BALL. BACKFILL PIT WITH 1/3 AMENDED TOPSOIL AND 2/3 EXCAVATED MATERIAL. REMOVE EXCESS EXCAVATED MATERIAL FROM SITE AND DISPOSE OF LEGALLY
5. SET ROOT FLARE AND TOP OF ROOT BALL 2-3" ABOVE FINISHED GRADE - DO NOT BURY WITH MULCH OR TOPSOIL
6. EDGE TREE MULCH RING TO PROVIDE A CLEAN, CRISP TRANSITION FOR TREES LOCATED OUTSIDE OF LANDSCAPE BEDS. 5' Ø MIN. MULCH RING. DO NOT VOLCANO MULCH OR MOUND IN A SAUCER

3 TREE PLANTING
SCALE: 1/2" = 1'-0"

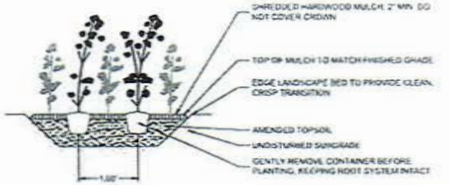
PLANT MATERIAL LIST

ID	Quantity	Botanic Name	Common Name	Size	Root	Spacing	Remark
SHADE / EVERGREEN / ORNAMENTAL TREES							
CK	9	*Gladiatsia kentukea*	Yellowwood	2" cal	B&B	As shown	
MS	1	*Magnolia stellata 'Royal Star'*	Royal Star Magnolia	2" cal	B&B	As shown	multi-stem
QI	8	*Quercus imbricaria*	Shingle Oak	2" cal	B&B	As shown	
TD	5	*Taxodium distichum 'Shawnee Brave'*	Shawnee Brave Bald Cypress	2" cal	B&B	As shown	
TS	19	*Thuja standishii x plicata*	Green Giant Arborvitae	2" cal	B&B	As shown	
VP	3	*Viburnum prunifolium*	Blackhaw Viburnum	2" cal	B&B	4' O.C.	multi-stem
SHRUBS							
AMM	19	*Aronia melanocarpa 'Morton'*	Iroquois Beauty Black Chokeberry	#3	Cont.	36" O.C. / As Shown	
CPG	16	*Chamaecyparis pisifera 'Golden Mop'*	Japanese False Cypress	#3	Cont.	36" O.C. / As Shown	
HVE	3	*Hamamelis vernalis*	Spring Blooming Witchhazel	#3	Cont.	10' O.C.	
HAA	12	*Hydrangea arborescens 'Abetwo'*	Incredibal Hydrangea	#3	Cont.	60" O.C. / As shown	
HQA	9	*Hydrangea quercifolia 'Alice'*	Alice Oakleaf Hydrangea	#3	Cont.	72" O.C. / As shown	
HQR	21	*Hydrangea quercifolia 'Ruby Slippers'*	Ruby Slippers Oakleaf Hydrangea	#3	Cont.	60" O.C. / As shown	
RGL	12	*Rhus copallina x latifolia*	Shining Sumac Prairie Flame	#3	Cont.	60" O.C. / As shown	
SMP	12	*Syringa meyeri 'Palibin'*	Dwarf Korean Lilac	#3	Cont.	72" O.C. / As shown	
TCD	22	*Thuja 'Congabe'*	Fire Chief Arborvitae	#3	Cont.	36" O.C. / As Shown	
PERENNIALS / ORNAMENTAL GRASSES / GROUNDCOVERS							
APE	67	*Adiantum pedatum*	Northern Maidenhair Fern	#1	Cont.	18" O.C.	
ASB	151	*Allium 'Summer Beauty'*	Summer Beauty Onion	#1	Cont.	12-18" O.C. / As shown	
ACV	58	*Astilbe chinensis 'Visions in White'*	Visions in White Astilbe	#1	Cont.	18" O.C.	
ANP	87	*Athyrium nipponicum 'Pictum'*	Japanese Painted Fern	#1	Cont.	18" O.C.	
BBS	11	*Baptisia x bicolor 'Starlite'*	Starlite Prairieblues False Indigo	#1	Cont.	48" O.C. / As shown	
BGW	58	*Bergenia cordifolia 'Winter Glow'*	Winter Glow Pigsqueak	#1	Cont.	18" O.C.	
CVC	81	*Coreopsis verticillata 'Creme Brulee'*	Creme Brulee Coreopsis	#1	Cont.	18" O.C.	
EAL	81	*Echinacea 'Alba'*	White Coneflower	#1	Cont.	18" O.C.	
EPH	136	*Echinacea purpurea 'Hot Papaya'*	Hot Papaya Coneflower	#1	Cont.	18" O.C.	
EPM	134	*Echinacea purpurea 'Magnus'*	Magnus Coneflower	#1	Cont.	18" O.C.	
ESP	110	*Eragrostis spectabilis*	Purple Lovegrass	#1	Cont.	12" O.C.	
HRH	34	*Helleborus 'Royal Heritage'*	Royal Heritage Lenten Rose	#1	Cont.	18" O.C. / As shown	
HEL	12	*Hosta 'Elegans'*	Elegans Hosta	#1	Cont.	48" O.C. / As shown	
HHA	13	*Hosta 'Halcyon'*	Halcyon Hosta	#1	Cont.	24" O.C. / As shown	
HSF	13	*Hosta sieboldiana 'Frances Williams'*	Frances Williams Hosta	#1	Cont.	36" O.C. / As shown	
LDB	20	*Ligularia dentata 'Britt-Marie Crawford'*	Britt-Marie Crawford Bigleaf Ligularia	#1	Cont.	24" O.C. / As shown	
MVI	56	*Mertensia virginica*	Virginia Blue Bells	#1	Cont.	18" O.C.	
NWL	0	*Nepeta 'Walker's Low'*	Walker's Low Catmint	#1	Cont.	18" O.C.	
NFE	119	*Nepeta x faassenii 'Early Bird'*	Early Bird Catmint	#1	Cont.	12" O.C.	
PTG	0	*Pachysandra terminalis 'Green Carpet'*	Green Carpet Japanese Spurge	#1	Cont.	12" O.C.	
PVS	24	*Panicum virgatum 'Shenandoah'*	Shenandoah Red Switch Grass	#1	Cont.	24" O.C.	
PTT	58	*Pulmonaria 'Trevi Fountain'*	Trevi Fountain Lungwort / Fetmarch	#1	Cont.	18" O.C.	
SAU	191	*Sinilrotia autumnalis*	Autumn Moor Grass	#1	Cont.	12-18" O.C. / As shown	
SHE	67	*Sporobolus heterolepis*	Prairie Dropseed	#1	Cont.	24" O.C.	
SOH	0	*Stachys officinalis 'Hummelo'*	Alpine Betony	#1	Cont.	12" O.C.	
VSS	44	*Vernonia x 'Summer's Swan Song' PP#28,556*	Summer's Swan Song Ironweed	#1	Cont.	36" O.C.	



NOTE: TAKE CARE WHEN PLACING HARDWOOD MULCH NOT TO COVER WEEP HOLES

4 SHRUB PLANTING
SCALE: 1/2" = 1'-0"



NOTE: TAKE CARE WHEN PLACING HARDWOOD MULCH NOT TO COVER WEEP HOLES

5 PERENNIAL PLANTING
SCALE: 1/2" = 1'-0"

DUPAGE COUNTY HEALTH DEPARTMENT

Wight
Wight & Company
wight.com
2500 North Frontage Road
Darien, IL 60561
P 630.969.7000
F 630.969.7979

REV	DESCRIPTION	DATE
	100% DD	10/30/2

CRISIS RECOVERY CENTER

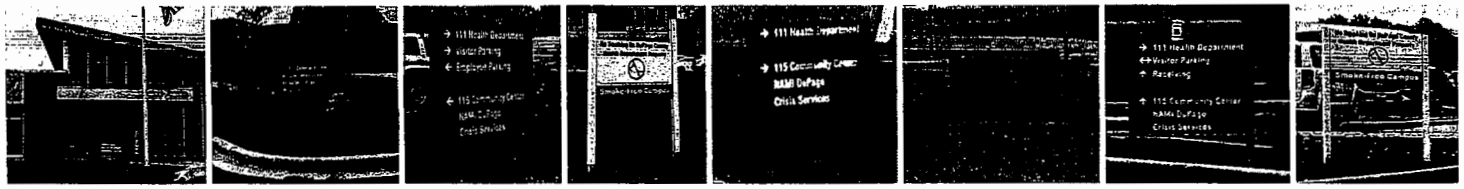
115 N COUNTY FARM ROAD
WHEATON, IL 60187

LANDSCAPE DETAILS

Project Number: 230002
Drawn By: JDI
Scale

L2.00

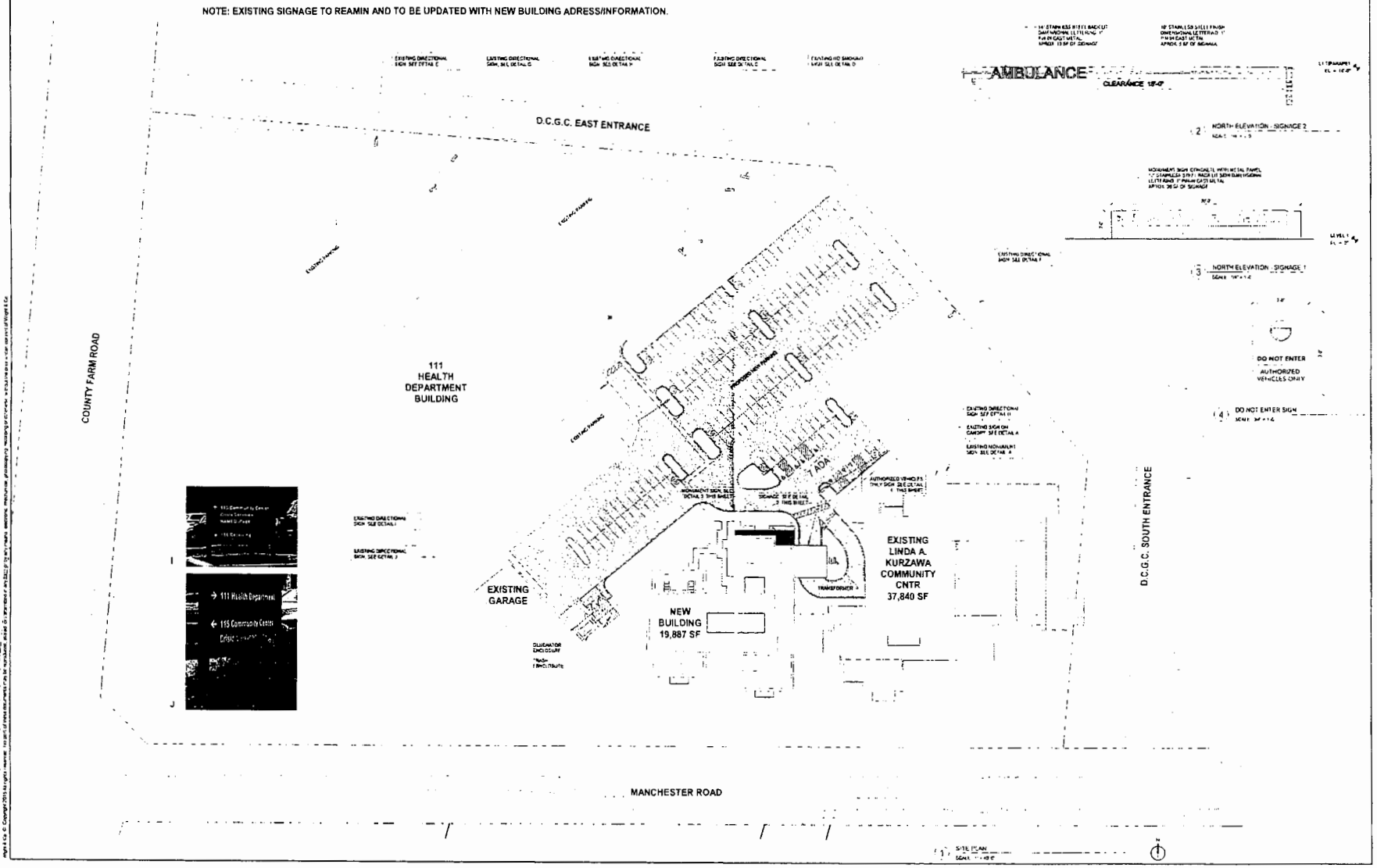
S:\Darien\Dupage County Health Department\230002_Central Receiving Center Study\01\11 Drawings\02 CD\230002 L2.00 LANDSCAPE DETAILS.dwg zmattix Oct 31, 2023 7:34:22 am
WIGHT Copyright 2023



NOTE: EXISTING SIGNAGE TO REAMIN AND TO BE UPDATED WITH NEW BUILDING ADRESS/INFORMATION.

GENERAL NOTES

1. ALL EXISTING CURB TO REMAIN UNLESS OTHERWISE SPECIFIED. ANY CURB DAMAGED DURING DEMOLITION SHALL BE REPLACED IN KIND.
2. ALL DISTURBED AREAS ON-SITE AND IN THE RIGHT-OF-WAY SHALL BE RESTORED TO EXISTING CONDITION. ALL TREES DISTURBED SHALL BE REPLACED INCLUDING ALL LANDSCAPING, SWALE, SIDEWALK, PAVEMENT, ETC.
3. CONTRACTOR TO PROTECT ALL EXISTING UTILITIES DURING DEMOLITION & CONSTRUCTION ACTIVITIES UNLESS OTHERWISE SPECIFIED.
4. ALL EXISTING MEDIUM & LIGHT POLES TO REMAIN AND BE PROTECTED UNLESS OTHERWISE SPECIFIED.
5. ANY UTILITY ADJUSTMENTS, CONFLICTS, RELOCATIONS, ETC. REQUIRED SHALL BE COORDINATED WITH ENGINEER AND UTILITY COMPANY/OWNER.
6. ALL EXISTING TREES TO REMAIN AND TO BE PROTECTED UNLESS OTHERWISE SPECIFIED.



DUPAGE COUNTY HEALTH DEPARTMENT

Wight

Wight & Company
wightco.com
2500 North Frontage Road
Darien, IL 60561
P 630.969.7000
F 630.969.7979

NOT FOR CONSTRUCTION

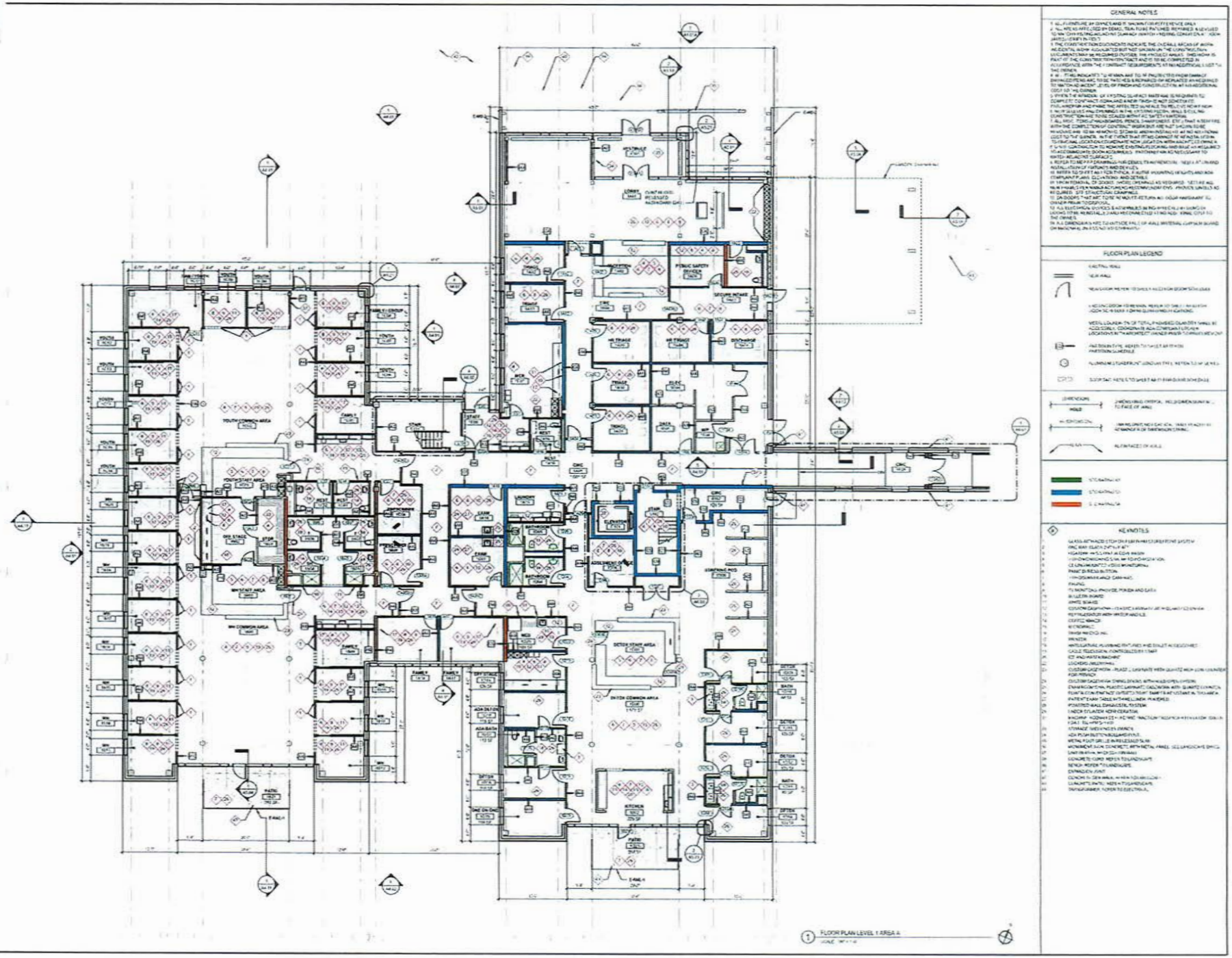
REV	DESCRIPTION	DATE
	ISSUED FOR REVIEW	06/01/23
	ISSUED FOR MN DO	06/07/23
	ISSUED FOR BID	06/13/23

CRISIS RECOVERY CENTER

111 N County Farm Road,
Wheaton, IL

OVERALL SITE SIGNAGE PLAN

Project Number
23060
Drawn By
Sheet
A1.01A



DUPAGE COUNTY HEALTH DEPARTMENT

Wight

Wight & Company
wight-c.com
2500 North Frontage Road
Darien, IL 60561
P 630.969.7000
F 630.969.7979

NOT FOR CONSTRUCTION

REV	DESCRIPTION	DATE

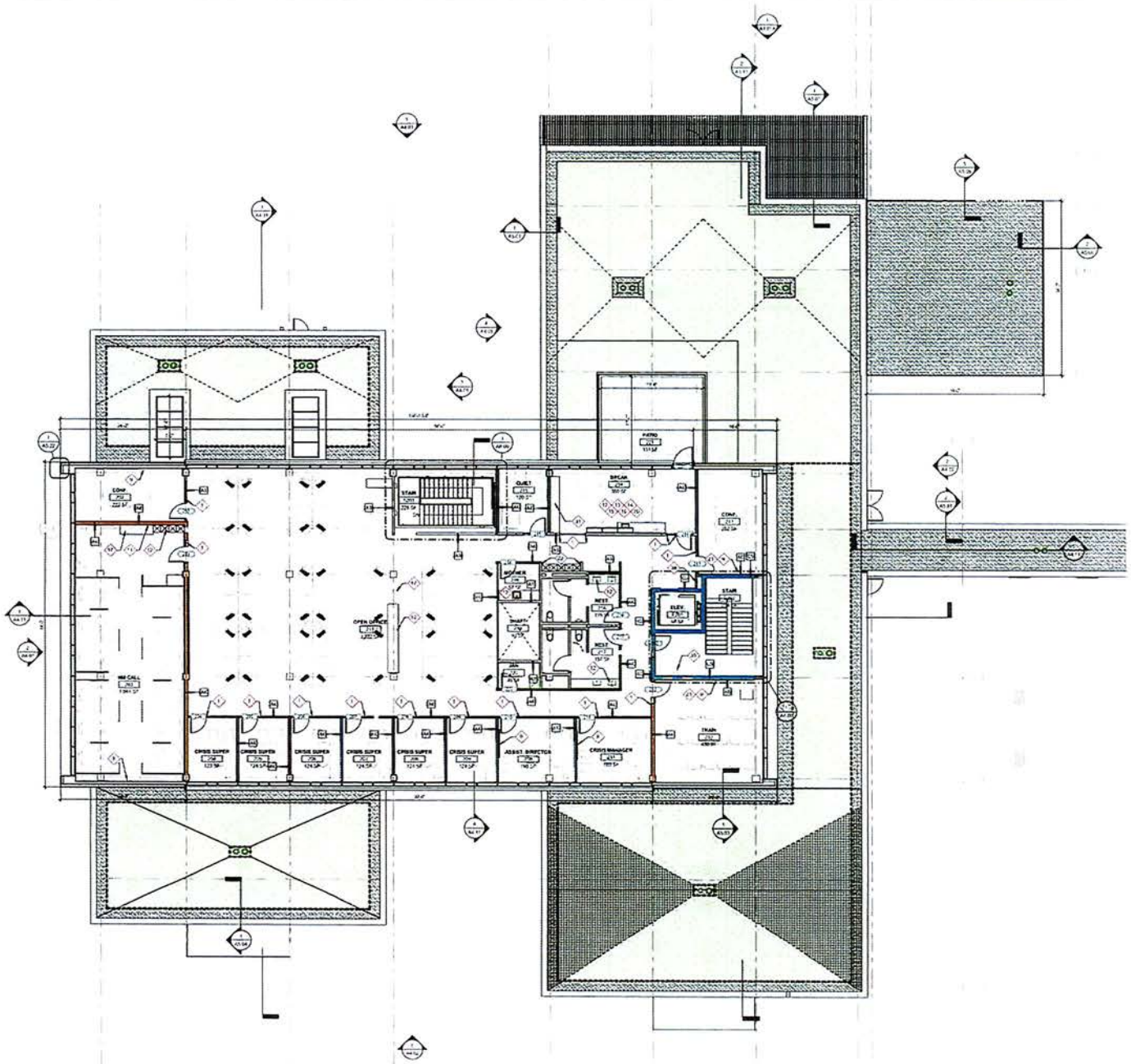
CRISIS RECOVERY CENTER

111 N County Farm Road
Wheaton, IL

LEVEL 1 FLOOR PLAN AREA A

Project Number: 23002
Drawn By:

A2.01A



1 FLOOR PLAN LEVEL 2 AREA A

GENERAL NOTES

1. ALL PARTITIONS SHOWN AND DESIGNED FOR REFERENCE ONLY.
2. ALL AREAS AFFECTED BY DEMOLITION, REPAIRS AND REPAIRED AND FIXED TO MATCH EXISTING ADJACENT SURFACES WHICH EXISTING CONDITIONS ARE SUBJECT TO VERIFY IN FIELD.
3. THE CONSTRUCTION DOCUMENTS INDICATE THE OVERALL AREAS OF WORK. NEGLIGIBLE WORK ASSOCIATED WITH SHOWING THE EXISTING WORK ON DOCUMENTS MAY BE REQUIRED OUTSIDE THE PROJECT AREAS. THIS WORK IS PART OF THE CONSTRUCTION CONTRACT AND IS TO BE COMPLETED IN ACCORDANCE WITH THE CONTRACT REQUIREMENTS AT NO ADDITIONAL COST TO THE OWNER.
4. ALL ITEMS INDICATED TO REMAIN ARE TO BE PROTECTED FROM DAMAGE. DAMAGED ITEMS ARE TO BE PATCHED & REPAIRED OR REPLACED AS REQUIRED TO MATCH ADJACENT LEVELS OF FINISH AND CONDITION AT NO ADDITIONAL COST TO THE OWNER.
5. PRIOR TO ATTENDING OR PROCEEDING WITH ANY WORK, THE CONTRACTOR SHALL COMPLETE CONTRACT PLAN AND NEW FINISH IS NOT SUBJECT TO PATCH REPAIR AND PAINT THE AFFECTED SURFACE TO REMOVE NEW WORK.
6. NEW SLEEVES AND OPENINGS IN THE EXISTING FLOOR, WALLS & CEILING CONSTRUCTION ARE TO BE SEALED WITH NON SAFETY MATERIAL.
7. ALL MISC. ITEMS (HANGARDOTS, PENCIL SHARPENERS, ETC.) THAT ATTENDED WITH THE COMPLETION OF CONTRACT WORK BUT ARE NOT SHOWN TO BE REMOVED AND TO BE REMOVED, STORED AND REINSTALLED AND ADDITIONAL COST TO THE OWNER. IN THE EVENT THAT ITEMS CANNOT BE REINSTALLED IN THE ORIGINAL LOCATION COORDINATE NEW LOCATION WITH ARCHITECT OWNER.
8. VOID CONTRACTOR TO REMOVE EXISTING FLOORING AND WALL AS REQUIRED TO ACCOMMODATE DOOR ASSEMBLIES. PATCH REPAIR AS NECESSARY TO MATCH ADJACENT SURFACES.
9. REFER TO MEP DRAWINGS FOR DEMOLITION AND REMOVAL OF MECHANICAL AND ELECTRICAL EQUIPMENT AND DEVICES.
10. REFER TO SHEET A0.1 FOR TYPICAL FIXTURE MOUNTING HEIGHTS AND ADA COMPLIANT PLANS, ELEVATIONS AND DETAILS.
11. UPON REMOVAL OF DOORS, SHORE OPENINGS AS REQUIRED. SECURE ALL NEW PARTS IN MANNER ACCEPTABLE TO CONDITIONS. PROVIDE UNITS AS REQUIRED. SEE STRUCTURAL DRAWINGS.
12. DOORS THAT ARE TO BE REMOVED RETURN ALL DOOR HARDWARE TO OWNER PRIOR TO DISPOSAL.
13. ALL ELECTRICAL DEVICES & ASSEMBLIES BEING AFFECTED BY WORK OF SECTION TO BE REINSTALLED AND RECONNECTED AT NO ADDITIONAL COST TO THE OWNER.
14. ALL DIMENSIONS ARE TO OUTSIDE FACE OF WALL MATERIAL (GYPSUM BOARD OR MASONRY) UNLESS NOTED OTHERWISE.

FLOOR PLAN LEGEND

EXISTING WALL

NEW WALL

NEW DOOR. REFER TO SHEET A0.1 FOR DOOR SCHEDULE

EXISTING DOOR. REFER TO SHEET A0.1 FOR DOOR SCHEDULE

WALL LOCATION. ALL DIMENSIONS SHALL BE ADJUSTABLE. COORDINATE NEW LOCATIONS WITH ARCHITECT OWNER. PROVIDE FOR ROUGH IN

PARTITION TYPE. REFER TO SHEET A0.1 FOR PARTITION SCHEDULE

NUMBER SCHEME FOR GROUP TYPE. REFER TO A0.1 SERIES

EXISTING DOOR. REFER TO SHEET A0.1 FOR DOOR SCHEDULE

DIMENSION HOLD — DIMENSION FROM FINAL WALL DIMENSION TO THE FACE OF WALL

DIMENSION — DIMENSION BASED ON FINAL WALL FINISH AT REMAINDER OF THE NEW CONSTRUCTION

FACE OF WALL

SEE RATING A

SEE RATING B

SEE RATING C

KEYNOTES

1. SEARS WITH ACCESS FOR ON FURNITURE WALL SYSTEM
2. FIX MOUNTING, PROVIDE POWER AND DATA
3. [illegible]
4. EXISTING CABINETRY. UPDATE LAMINATE WITH QUARTZ COUNTER
5. REFRIGERATOR WITH WATER LINE
6. COFFEE MAKER
7. MICROWAVE
8. DISHWASHER CHECKING
9. PRINTER
10. ICE AND WATER MACHINE
11. SPEAKERS
12. [illegible]
13. PAINTED STEEL ROOF LADDER AND ROOF PAINTED STEEL THERMALLY BROKEN ROOF HATCH. PROVIDE BLOCKING
14. STAND UP COUNTER SCHEME
15. 2 PLAY CHANNEL CATCH WALL AND SIGNAGE

NOT FOR CONSTRUCTION

REV	DESCRIPTION
	[illegible]
	[illegible]
	[illegible]

DUPAGE COUNTY HEALTH DEPARTMENT

Wight

Wight & Company
wightco.com
2500 North Frontage Road
Darien IL 60561
P 630.969.7000
F 630.969.7979

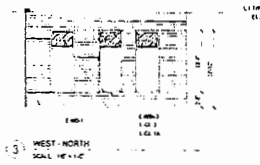
CRISIS RECOVERY CENTER

111 N County Farm Road
Wheaton, IL

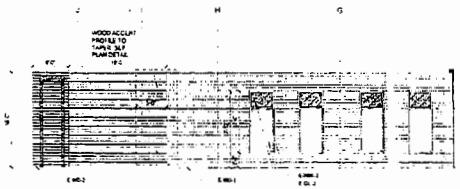
LEVEL 2 FLOOR PLAN AREA A

Project Number
23002
Drawn By

A2.02A

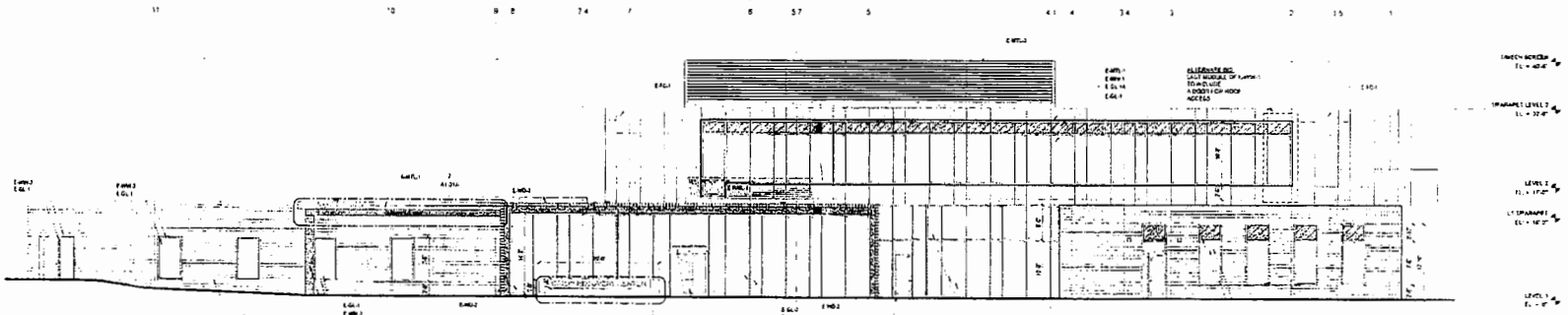


3 WEST - NORTH
SCALE: 1/8" = 1'-0"

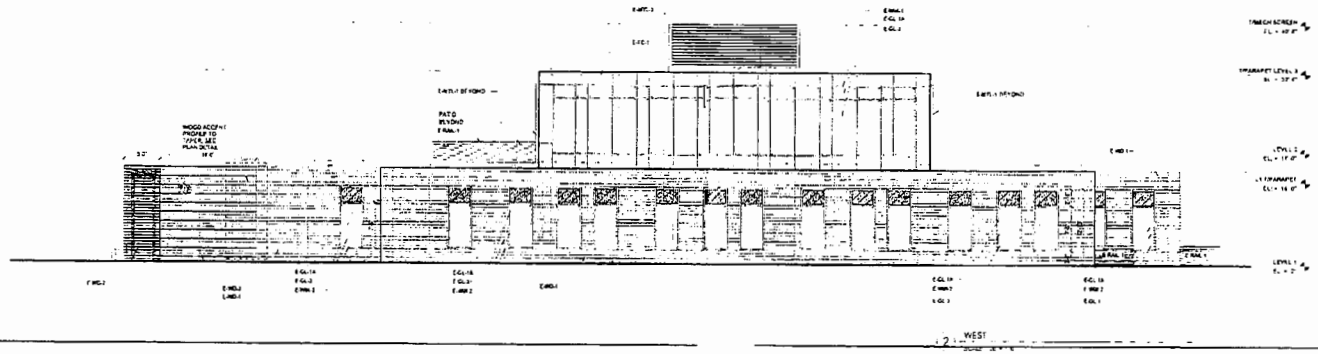


4 EAST - NORTH
SCALE: 1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE		
SYMBOL	MATERIAL	DESCRIPTION
[illegible]	FIBER CEMENT BOARD RAINSCREEN	[illegible]
EGL-1	1" INSULATING CLEAR GLASS	[illegible]
EGL-1A	1" INSULATING SPANDREL GLASS	[illegible]
EGL-2	1" INSULATING CLEAR GLASS WITH CUSTOM PATTERN	[illegible]
EGL-3	1" INSULATING FRIT GLASS CUSTOM PATTERN	[illegible]
EGL-4	1" INSULATING FRIT GLASS CUSTOM PATTERN	[illegible]
EMS-1	1" FACED MINERAL WOOL INSULATION	[illegible]
EMS-2	2" EDGE INSULATION	[illegible]
EMS-3	UNFACED RIGID POLYISO INSULATION	[illegible]
EMS-4	UNFACED RIGID POLYISO INSULATION	[illegible]
EMT-1	ALUMINUM COMPOSITE METAL PANEL	[illegible]
EMT-2	ALUMINUM EXTRUSION TRIM	CUSTOM FLUOROPOLYMER COATING
EMT-3	ALUMINUM FLOATING SCREEN WALL	CUSTOM FLUOROPOLYMER COATING
EMW-1	STEEL CABLE RAILING SYSTEM	HORIZONTAL CABLE AND THIN STEEL POSTS AND TOP RAIL
EWO-1	WOOD PLANK RAINSCREEN	PREFINISHED WOOD CLADDING SYSTEM WITH CONCEALED FASTENERS
EWO-2	WOOD BLADED TRELLIS	PREFINISHED WOOD
EWO-3	WOOD PLANK RAINSCREEN	PREFINISHED WOOD CLADDING SYSTEM WITH CONCEALED FASTENERS
EWO-4	WOOD PLANK RAINSCREEN	PREFINISHED WOOD CLADDING SYSTEM WITH CONCEALED FASTENERS
EWW-1	PREFINISHED CURTAINWALL SYSTEM	CUSTOM FLUOROPOLYMER COATING WITH MICA FLECK
EWW-2	PREFINISHED CURTAINWALL SYSTEM	CUSTOM FLUOROPOLYMER COATING WITH MICA FLECK
EWW-3	PREFINISHED ALUMINUM SUNLIGHT SYSTEM	MODULAR SUNLIGHT SYSTEM STANDARD ALUMINUM FINISH



1 NORTH
SCALE: 1/8" = 1'-0"



2 WEST
SCALE: 1/8" = 1'-0"

DUPAGE COUNTY HEALTH DEPARTMENT

Wight

Wight & Company
wight.com

2500 North Frontage Road
Darien, IL 60561

P 630 969 7000
F 630 969 7919

NOT FOR CONSTRUCTION

REV.	DESCRIPTION	DATE
	ISSUED FOR 100% DD	06/01/23
	ISSUED FOR 50% DD	05/02/23
	ISSUED FOR SD	05/23/23

CRISIS RECOVERY CENTER

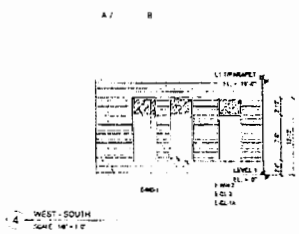
111 N County Farm Road,
Wheaton, IL

EXTERIOR ELEVATIONS

Project Number
23007
Drawn by
Drawn By
Check

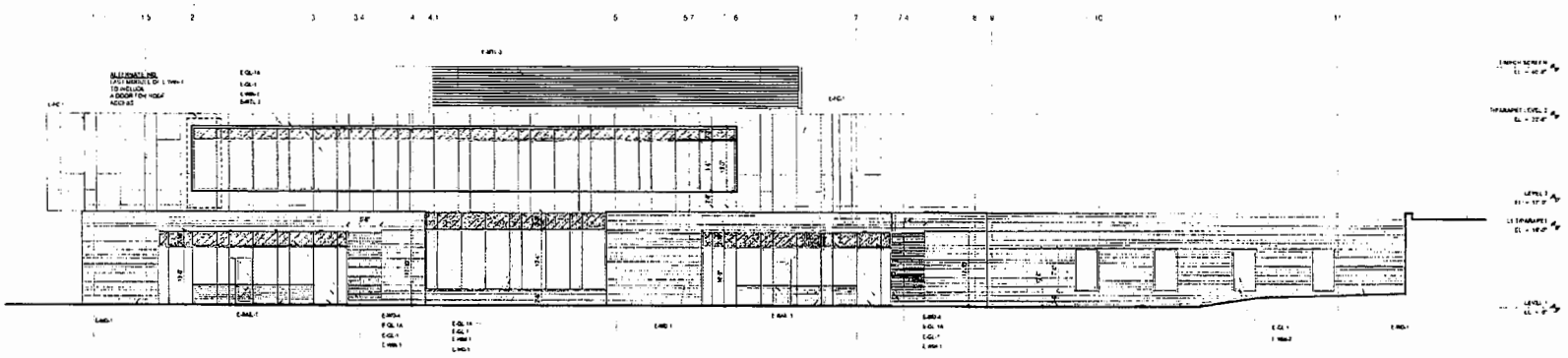
A4.01

Copyright © All rights reserved. Copies of these documents may be reproduced, distributed, or used for any purpose without the express written consent of Wight & Co.

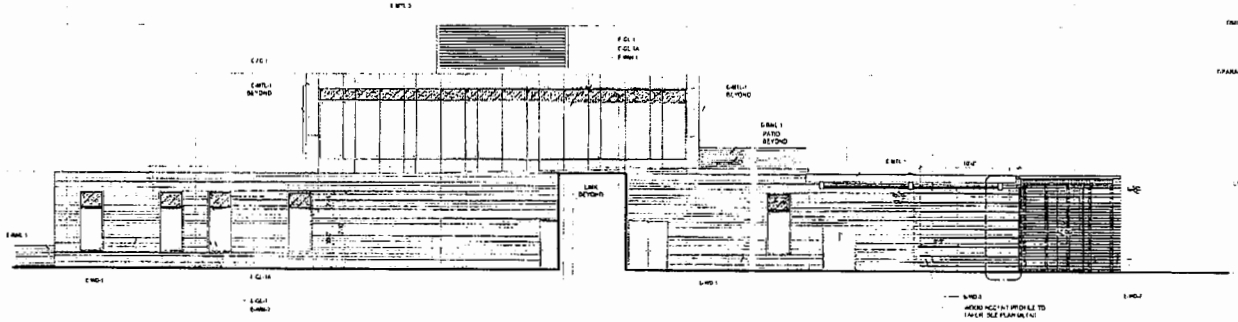


4 WEST - SOUTH
SCALE 1/8" = 1'-0"

3 EAST - SOUTH
SCALE 1/8" = 1'-0"



1 SOUTH
SCALE 1/8" = 1'-0"



2 EAST
SCALE 1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE

SYMBOL	MATERIAL	DESCRIPTION
E FC-1	FIBER CEMENT RAIN SCREEN	INCH DENSITY TILE FIBER MIX
E GL-1	1" INSULATING CLEAR GLASS	1/4" CLEAR, 1/2" AIR SPACE, WITH ARGON, 1/4" CLEAR WITH LOW-E COATING ON THE #2 SURFACE
E GL-1A	1" INSULATING SPANDREL GLASS	1/4" CLEAR, 1/2" AIR SPACE WITH ARGON, 1/4" CLEAR WITH LOW-E COATING ON THE #2 SURFACE AND 100% CLEARANCE FIT ON THE #4 SURFACE
E GL-2	1" INSULATING CLEAR GLASS WITH CUSTOM PATTERN	1/4" CLEAR, 1/2" AIR SPACE WITH ARGON, 1/4" CLEAR WITH LOW-E COATING ON THE #2 SURFACE. CUSTOM TRANSLUCENT DIGITAL PRINT PATTERN ON THE #3 SURFACE
E GL-3	1" INSULATING FIRE GLASS CUSTOM PATTERN	1/4" CLEAR, 1/2" AIR SPACE, WITH ARGON, 1/4" CLEAR WITH LOW-E COATING ON THE #2 SURFACE. CUSTOM DIGITAL PRINT PATTERN ON THE #3 SURFACE
E GL-4	1" INSULATING FIRE GLASS CUSTOM PATTERN	1/4" TEMPERED, 1/2" AIR SPACE WITH ARGON, 1/4" CLEAR WITH LOW-E COATING ON THE #2 SURFACE. CUSTOM DIGITAL PRINT PATTERN ON THE #3 SURFACE (SAFTGLASS)
E INS-1	2" FACED MINERAL WOOL INSULATION	
E INS-2	2" WOOD INSULATION	TIPS BELOW GARDEN
E INS-3	UNFACED RIGID POLYISO INSULATION	TAPERED TO 2% SLOPE, 3" MIN THICKNESS
E INS-4	UNFACED RIGID POLYISO INSULATION	3" THICK, MIN R20
E MTL-1	ALUMINUM COMPOSITE METAL PANEL	FLUOROPOLYMER COATING WITH MICA FLECK
E MTL-2	ALUMINUM EXTRUDED TRIM	CUSTOM FLUOROPOLYMER COATING
E MTL-3	ALUMINUM LOUVER HEAT SINK FIN WALL	CUSTOM FLUOROPOLYMER COATING
E RAIL-1	STEEL CABLE RAILING SYSTEM	HORIZONTAL CABLE RAIL WITH STEEL POSTS AND TOP RAIL
E WD-1	WOOD PLANK RAIN SCREEN	PREFINISHED WOOD CLADDING SYSTEM WITH CONCEALED FASTENERS
E WD-2	WOOD SLATTED TRELLIS	UNFINISHED WOOD
E WD-3	WOOD PLANK RAIN SCREEN	PREFINISHED WOOD CLADDING SYSTEM WITH CONCEALED FASTENERS
E WD-4	WOOD PLANK RAIN SCREEN	PREFINISHED WOOD CLADDING SYSTEM WITH CONCEALED FASTENERS
E WIN-1	PREFINISHED CURTAIN WALL SYSTEM	CUSTOM FLUOROPOLYMER COATING WITH MICA FLECK
E WIN-2	PREFINISHED CURTAIN WALL SYSTEM	CUSTOM FLUOROPOLYMER COATING WITH MICA FLECK
E WIN-3	PREFINISHED ALUMINUM SKYLIGHT SYSTEM	MODULAR SKYLIGHT SYSTEM, STANDARD ALUMINUM FINISH

DUPAGE COUNTY HEALTH DEPARTMENT

Wight

Wight & Company
wightuc.com
2500 North Farnsley Road
Danen, IL 60561
P 630 969 7000
F 630 969 7979

NOT FOR CONSTRUCTION

REV	DESCRIPTION	DATE
	ISSUED FOR 100% DD	06/16/23
	ISSUED FOR 90% DD	05/01/23
	ISSUED FOR GD	03/30/23

CRISIS RECOVERY CENTER

111 N County Farm Road
Wheaton, IL

EXTERIOR ELEVATIONS

Project Number 23002
Drawn By
Checked By
Scale

A4.02