

ORDINANCE NO. O-2023-49

**AN ORDINANCE GRANTING A SPECIAL USE PERMIT TO ALLOW THE CONSTRUCTION AND USE OF A NEW 1,350 SQUARE FOOT ENTRANCE VESTIBULE ADDITION TO THE EXISTING BETHEL ORTHODOX PRESBYTERIAN CHURCH BUILDING, ALL ON A CERTAIN PIECE OF PROPERTY COMMONLY KNOWN AS 1401 S. NAPERVILLE ROAD - BETHEL ORTHODOX PRESBYTERIAN CHURCH**

**WHEREAS**, written application has been made requesting a special use permit pursuant to Article 7.1.6 of the Wheaton Zoning Ordinance to allow the construction and use of a new 1,350 square foot entrance vestibule addition to the existing Bethel Orthodox Presbyterian Church building, all on certain property legally described herein and commonly known as 1401 S. Naperville Road, Wheaton, Illinois 60189; and

**WHEREAS**, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on October 10, 2023 and November 14, 2023 to consider a special use permit to allow the construction and use of a new 1,350 square foot entrance vestibule addition to the existing Bethel Orthodox Presbyterian Church building; and the Planning and Zoning Board has recommended approval of the special use permit request.

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

**Section 1:** The following described property has been and continues to be zoned and classified in the R-1 Residential District zoning classification:

LOT 1 IN BETHEL ORTHODOX PRESBYTERIAN CHURCH CONSOLIDATION PLAT, A SUBDIVISION OF THE SOUTHEAST QUARTER OF SECTION 21, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DU PAGE COUNTY, ILLINOIS.

P.I.N. 05-21-400-022

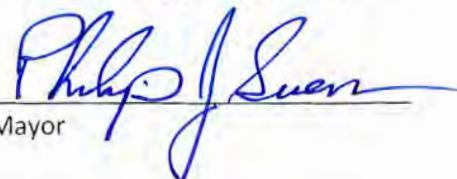
The subject property is commonly known as 1401 S. Naperville Road, Wheaton, IL 60189.

**Section 2:** Pursuant to the Findings of Fact made and determined by the Wheaton Planning and Zoning Board, a special use permit to allow the construction and use of a new 1,350 square foot entrance vestibule addition to the existing Bethel Orthodox Presbyterian Church building is granted, in full compliance with the following plans: "Bethel Presbyterian Church ADA Restroom and Elev. Addition", prepared by David A. Schaefer Architects, Lombard, IL, sheets C1, SK1, SK2, SK3, EL1, dated September 7, 2023, "Bethel Presbyterian Church Building Design", prepared by BONO Consulting, Park Ridge, IL, sheets C0 – C5, L1, dated November 1, 2023, and subject to the following conditions:

1. The revised engineering plan shall be subject to additional staff review prior to the issuance of a site development permit.
2. A taller privacy fence shall be installed along the north property line to adequately screen the headlights from the church parking lot, with the fence height to be determined based upon the finished grade of the improvements in this area.

**Section 3:** All ordinances or parts of ordinances in conflict with these provisions are repealed.

**Section 4:** This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.

  
Philip J. Suess  
Mayor

ATTEST:

  
Andrea Rosedale

City Clerk

**Roll Call Vote:**

Ayes:	Councilman Barbier Councilwoman Bray-Parker Councilman Brown Mayor Suess Councilman Clousing Councilwoman Robbins Councilman Weller
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Nays:	None
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Absent:	None
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Motion Carried Unanimously

Passed: December 4, 2023  
Published: December 5, 2023

**1 PROPOSED SITE PLAN**

SCALE: 1' = 60'-0"



BETHEL PRESBYTERIAN CHURCH  
ADA RESTROOM AND ELEV. ADDITION

DAVID A. SCHAEFER ARCHITECTS  
2500 S. HIGHLAND AVE., SUITE 340  
LOMBARD, ILLINOIS 60148  
PH: 630.261.9250 FAX: 630.261.9259

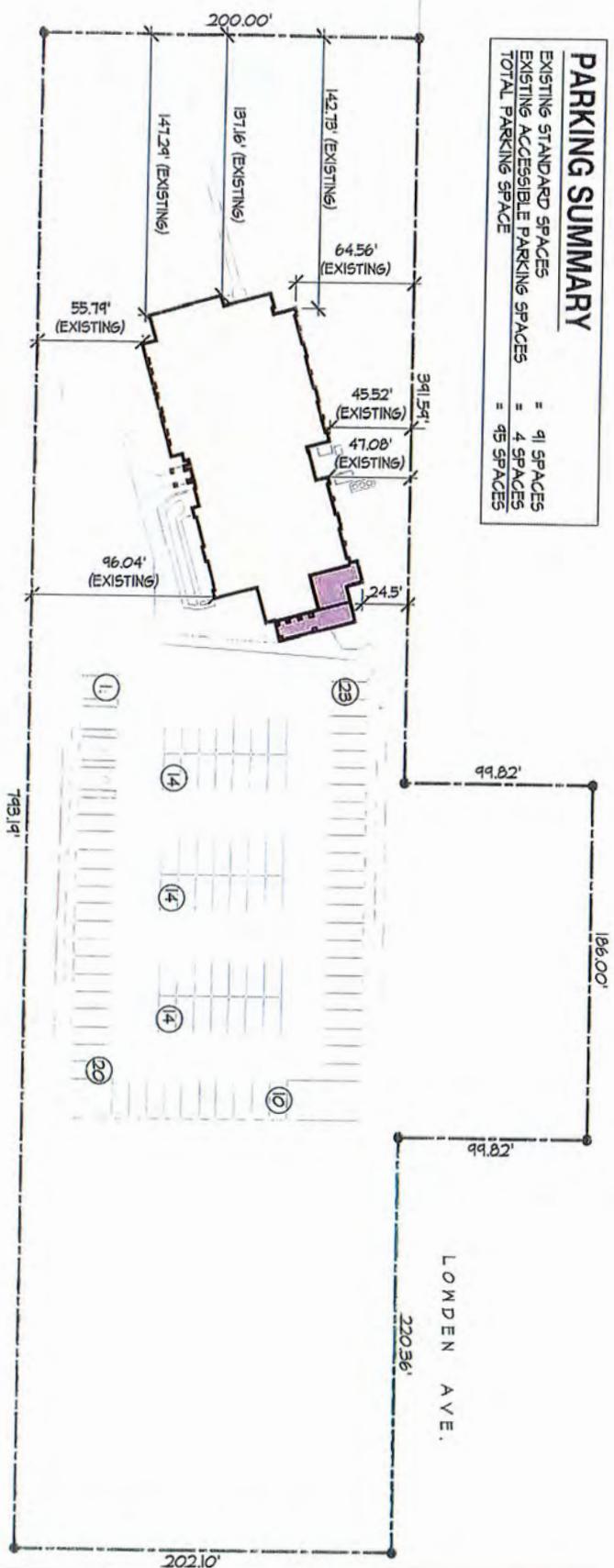
DRAWN BY:  
S.L.

PROJECT NO:  
21-105

ISSUE DATE:  
9-7-23

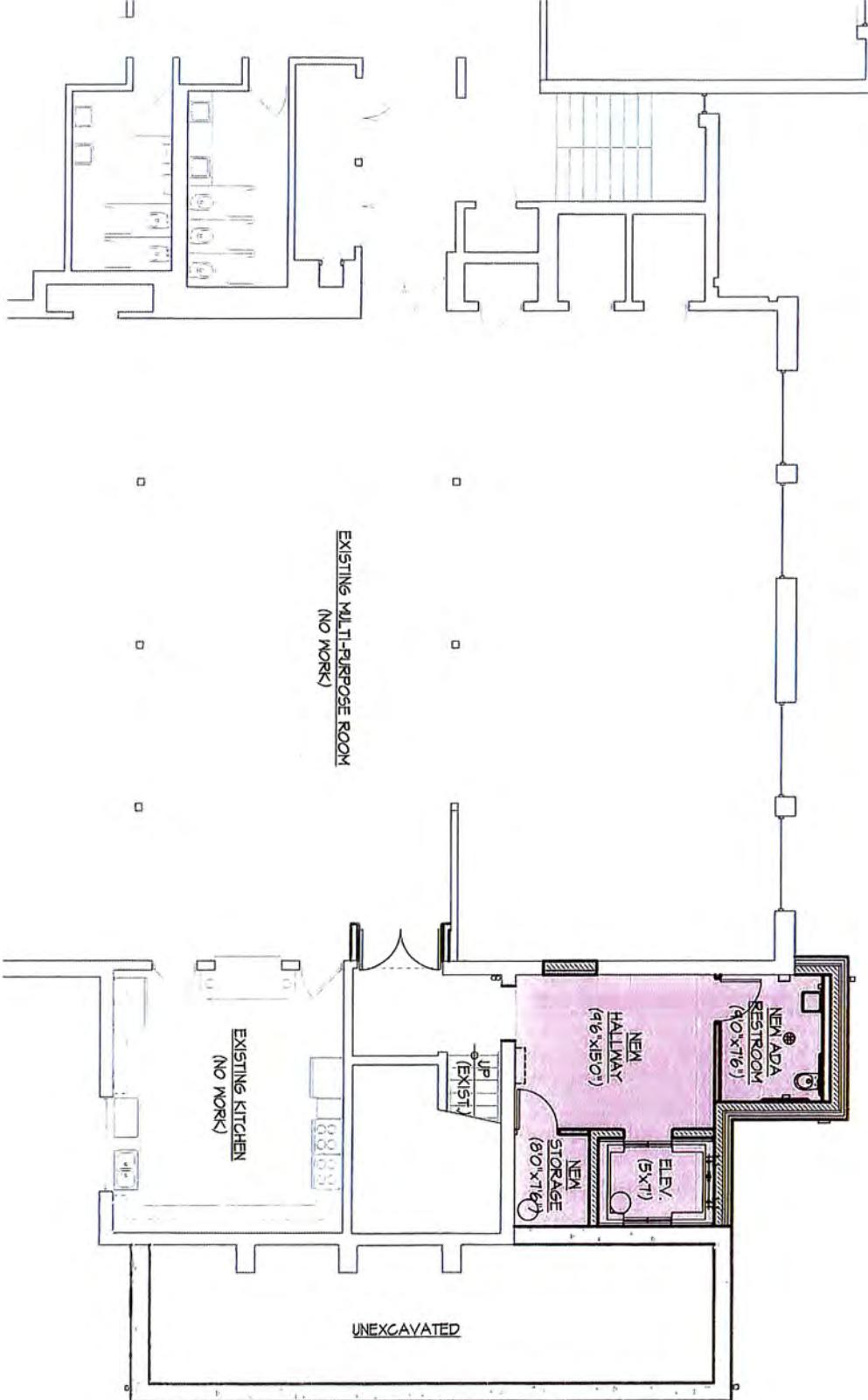
SHEET NO.

C1



# 1 PROPOSED LOWER LEVEL PLAN

SCALE: 1/8" = 1'-0"



**BETHEL PRESBYTERIAN CHURCH**  
**ADA RESTROOM AND ELEV. ADDITION**

DAVID A. SCHAEFER ARCHITECTS  
2500 S. HIGHLAND AVE., SUITE 340  
LOMBARD, ILLINOIS 60148  
PH: 630.261.9250 FAX: 630.261.9259

DRAWN BY:  
S.L.  
PROJECT NO:  
21-105  
ISSUE DATE:  
4-7-23

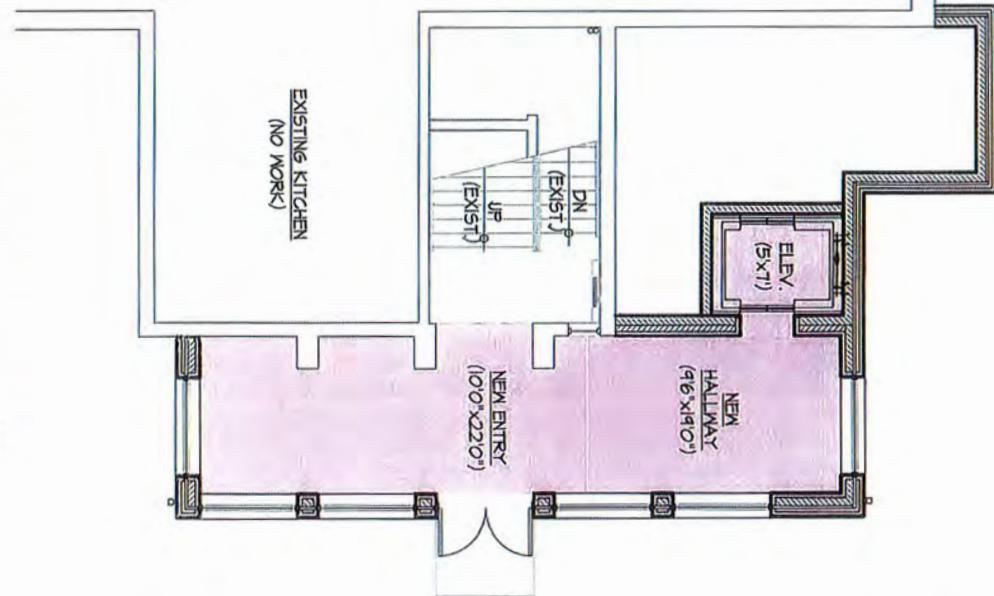
SHEET NO.  
**SK1**

# 1 PROPOSED GROUND FLOOR PLAN

SCALE: 1/8" = 1'-0"



**BETHEL PRESBYTERIAN CHURCH**  
**ADA RESTROOM AND ELEV. ADDITION**



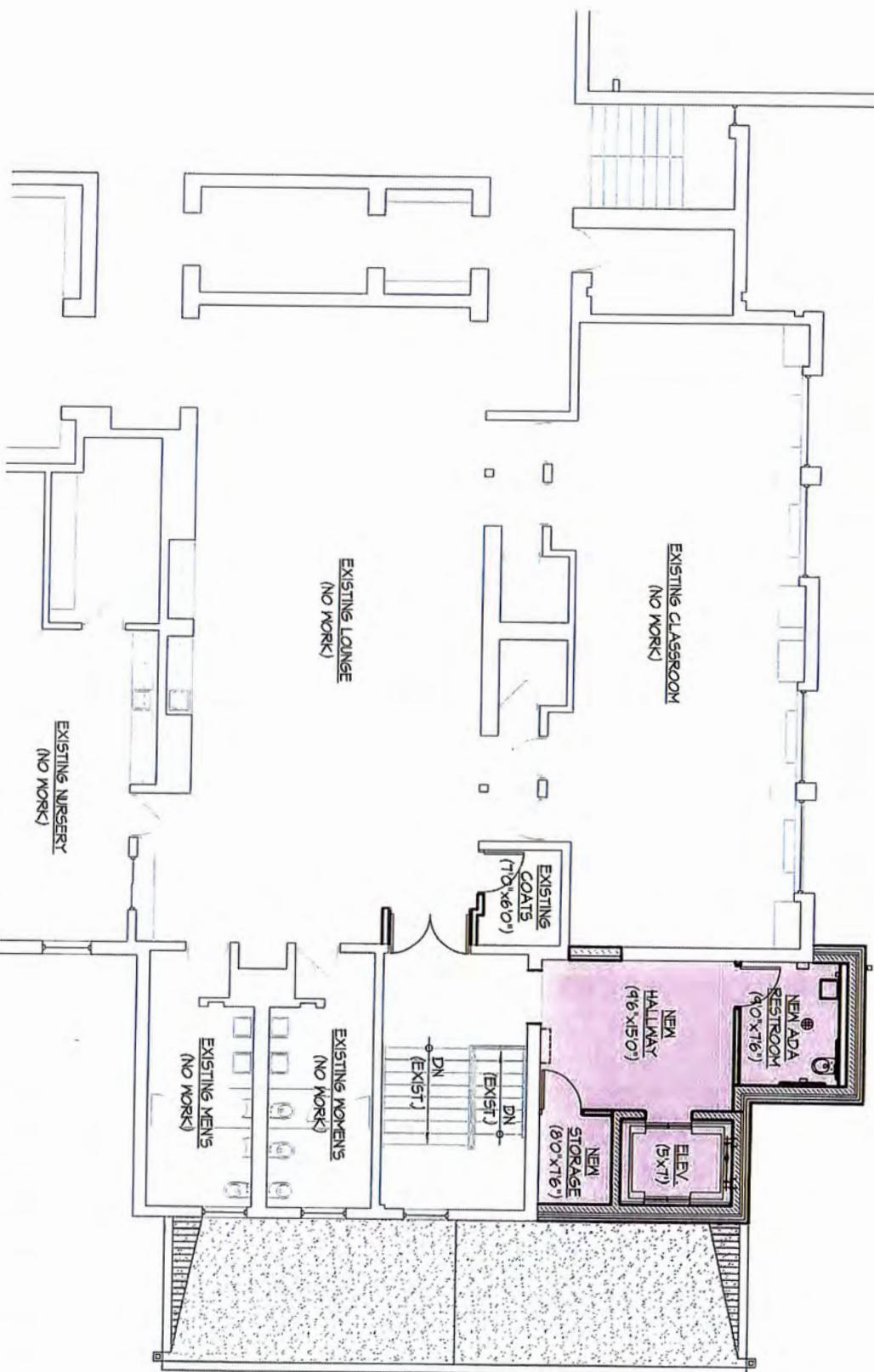
**DAVID A. SCHAEFER ARCHITECTS**  
2500 S. HIGHLAND AVE., SUITE 340  
LOMBARD, ILLINOIS 60148  
PH: 630.261.9250 FAX: 630.261.9259

DRAWN BY:  
S.L.  
PROJECT NO:  
21-105  
ISSUE DATE:  
9-7-23

SHEET NO.  
**SK2**

# 1 PROPOSED UPPER LEVEL PLAN

SCALE 1/8" = 1'-0"



BETHEL PRESBYTERIAN CHURCH  
ADA RESTROOM AND ELEV. ADDITION

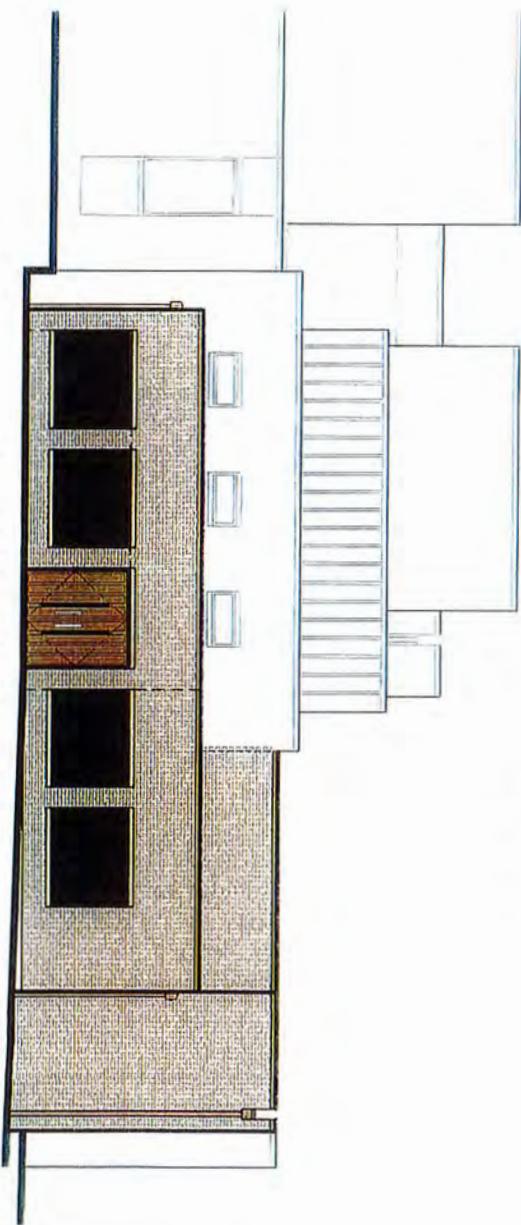
DAVID A. SCHAEFER ARCHITECTS  
2500 S. HIGHLAND AVE., SUITE 340  
LOMBARD, ILLINOIS 60148  
PH: 630.261.9250 FAX: 630.261.9259

DRAWN BY:  
S.L.  
PROJECT NO:  
21-105  
ISSUE DATE:  
9-7-23

SK3

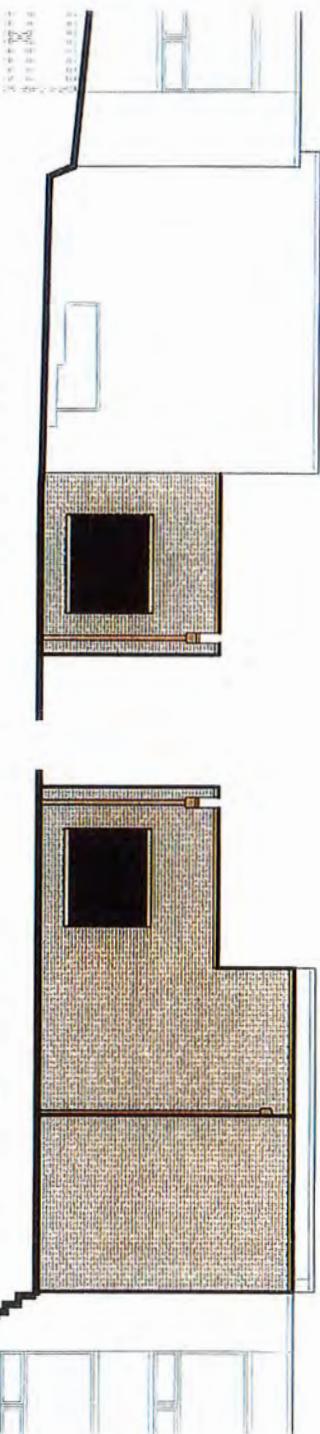
# 1 FRONT ELEVATION

SCALE: 1/8" = 1'-0"



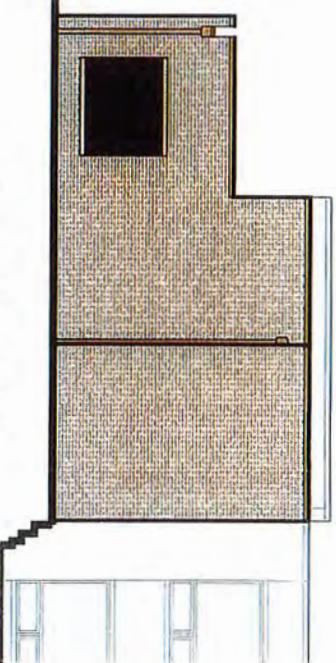
# 3 SIDE ELEVATION

SCALE: 1/8" = 1'-0"



# 2 SIDE ELEVATION

SCALE: 1/8" = 1'-0"



BETHEL PRESBYTERIAN CHURCH  
ADA RESTROOM AND ELEV. ADDITION

DAVID A. SCHAEFER ARCHITECTS  
2500 S. HIGHLAND AVE., SUITE 340  
LOMBARD, ILLINOIS 60148  
PH: 630.261.9250 FAX: 630.261.9259

DRAWN BY:  
S.L.  
PROJECT NO:  
21-105  
ISSUE DATE:  
9-7-23

SHEET NO.  
**EL1**

BETHEL PRESBYTERIAN  
CHURCH, BUILDING ADDITION  
1401 S NAPERVILLE RD.  
WHEATON, IL 60189



**LOCATION MAP** 

INDEX TO SHEETS	
FIG.	DESCRIPTION
C-0	NAME SHEET, LEGEND, SITE LOCATION & AERIAL MAP
C-1	EXISTING TOPOGRAPHY, DEMOLITION PLAN, SOIL EROSION & SEDIMENTATION CONTROL PLAN
C-2	PROPOSED BUILDING ADDITION PLAN
C-3	EVICTION ROUTE DRAWING PLAN
C-4	EVACUATION BASE PLAN
C-5	DETAILS

SECTION: 21  
TOWNSHIP: 39N  
RANGE: 10E

PROPERTY IDENTIFICATION NUMBER (PIN)

**LEGAL DESCRIPTION**

OF LOT 2 IN JOHN NELSON'S PLAT OF SURVEY OF PART OF THE NORTH HALF OF SECTION 21, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 30, 1949 AS DOCUMENT 577306, IN DUPAGE COUNTY, ILLINOIS.  
AND

THE WEST 797.36 FEET OF THE NORTH 200.0 FEET OF THAT PART  
OF THE SOUTHEAST QUARTER OF SECTION 21, TOWNSHIP 39  
NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN,  
LYING EAST OF THE EAST LINE OF STATE AID ROAD 4  
(NAPERVILLE ROAD) AS DEDICATED BY DEED AND PLAT  
RECORDED JULY 24, 1940, AS DOCUMENT 413216, IN DU PAGE  
COUNTY, ILLINOIS.

COMMONLY KNOWN AS: 1401 S. NAPERVILLE ROAD, WHEATON, ILLINOIS.

SITE BENCHMARK IS CUT CROSS ON THE WEST TOP OF CURB NEAR THE NORTHWEST CORNER OF THE PARKING LOT, JUST WEST OF CB-1, ELEV 759.931, TRANSFERRED FROM DUPAGE COUNTY BENCHMARKS DK3172, ELEV 755.19 NAVD 88 AND DK3256, ELEV 754.28 NAVD 88

NOTE  
EXISTING CONDITIONS ARE BASED UPON A TOPOGRAPHIC SURVEY.  
THIS IS NOT A BOUNDARY SURVEY. PROPERTY LINES SHOWN ARE  
FOR INFORMATIONAL PURPOSES ONLY AND SHALL NOT BE USED AS  
A BASIS FOR CONSTRUCTION LAYOUT. PROPERTY LINE INFORMATION  
SHOWN IS BASED ON THE PLAT OF SURVEY RECEIVED FROM THE  
OWNER AND ANY IRON PIPES (AS INDICATED) FOUND BY BCI'S  
SURVEY CREW.

PROPERTY BOUNDARY INFORMATION SHOWN HEREON  
IS TAKEN FROM OFFICIAL PLATS AND RECORDS.

NOTE

The location of existing underground utilities, such as water mains, sewers, gas lines, etc., as shown on the plans, has been determined from the best available information and is given for the convenience of the Contractor. However, the Owner and the Engineer do not assume responsibility in the event that during construction, other utilities than those shown may be encountered, and that the actual location of these which are shown may be different from the location as shown on the plans.

Bono Consulting, Inc. is not responsible for the safety of any party at or on the construction site. Safety is the sole responsibility of the contractor and any other person or entity performing work or services. Neither the owner nor engineer assumes any responsibility for the job site safety of persons engaged in the work or the means or methods of construction.

Current Standard Specifications of the Judicial Authority shall apply to the construction on this project.

Note: The exact location of all utilities shall be verified by the contractor prior to construction activities. For utility locations call:  
J.U.L.I.E. 1 (800) 892-0123

#### GENERAL NOTES

1. ELEVATIONS ARE REFERENCED TO NAVO AND DATUM.
2. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING JUDGE, UTILITY LOCATORS A MINIMUM OF 48 HOURS IN ADVANCE OF COMMENCING CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY ON THE JOB SITE.
4. THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL NECESSARY PERMITS AS REQUIRED PRIOR TO COMMENCING CONSTRUCTION.
5. DREDGING AND EXCAVATION WORKS SHALL BE CONDUCTED IN SUCH A WAY AS TO PREVENT TRASHING OF MUD OR SOIL, DEBRIS, ASHTRAY AND CIGARETTE BUTTS INTO PUBLIC THOROUGHFARES. AT THE END OF EACH DAY, THE CONTRACTOR SHALL REMOVE MATERIALS DEPOSITED ON PUBLIC STREETS AND ALLEYS.
6. ALL STREETS AND ALLEYS SHALL BE REPAVED PROPERLY IN MEETING CITY OF WILMINGTON STANDARDS AND SPECIFICATIONS.
7. THE CONTRACTOR SHALL VERIFY IN FAIR ELDERLY HOMES AND LOCATION OF ALL EXISTING UTILITY LINES AND LOCATE THEM PRIOR TO CONSTRUCTION, 10 FEET FROM THE HOMES.
8. APPROPRIATE PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO NO TO NO EXISTING UTILITIES AND APPURTENANCES IN THE VICINITY OF WORK.
9. ALL BACK DIRT LAYERS SHALL BE CLEARED BY CONTRACTOR AND SURVEYED AFTER CONFIRMING THAT THE DIRT IS NOT CONTAMINATED. ALL DIRT AND SOLIDS SHOULD BE BURIED IN THE ATTENTION OF THE DESIGN ENGINEER PRIOR TO INITIATING CONSTRUCTION.

LOCATION OF UNDERGROUND UTILITIES WHERE NOT  
SUBSTANTIATED BY PHYSICAL EVIDENCE ARE TAKEN  
FROM RECORDS NORMALLY CONSIDERED RELIABLE  
NO RESPONSIBILITY FOR THEIR ACCURACY IS  
ASSUMED BY THE SURVEYOR.

FOR LOCATION OF BURIED CABLE CALL J.U.L.I.E. @  
1-800-892-0123 BEFORE DIGGING

LOCATIONS OF EXISTING UTILITY SERVICES  
ARE BASED ON VISUAL OBSERVATIONS.  
CONTRACTOR MUST CONFIRM LOCATION AND  
CONDITION OF ALL UTILITY SERVICES TO REMAIN

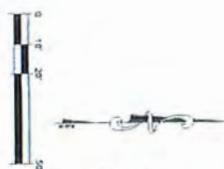
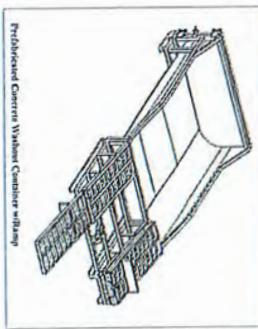


		I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF ILLINOIS.	
			11-01-2003
<b>SIGNATURE</b>		<b>DATE</b>	
<b>MY LICENSE EXPIRES ON NOVEMBER 30, 2023</b>			
PAGES OR SHEETS COVERED BY THIS SEAL: <b>C-0 THRU C-3</b>			

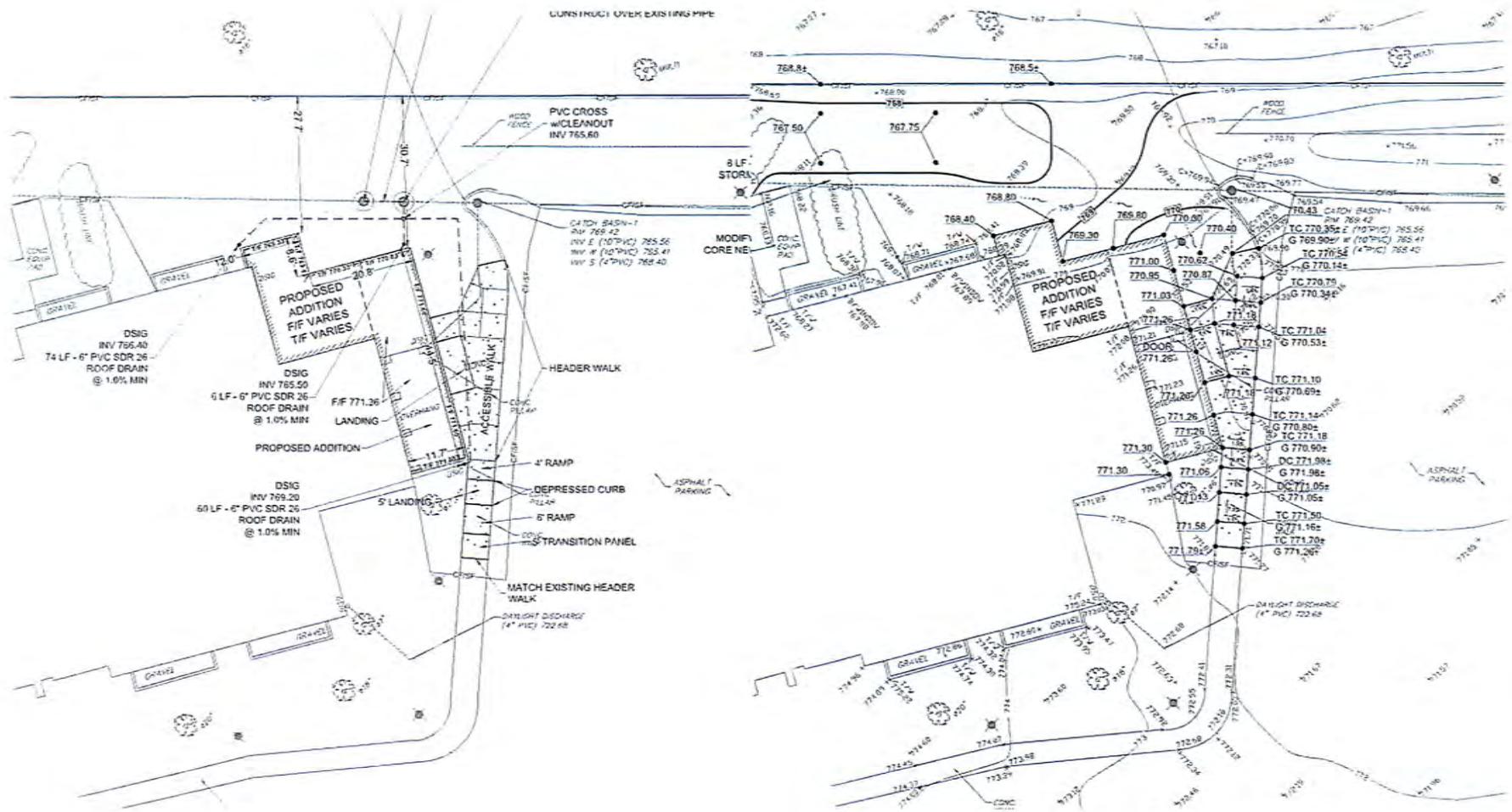
**TITLE SHEET, LEGEND, SITE LOCATION, & AERIAL MAP**  
**DETULI PRESBYTERIAN CHURCH BILINGUAL ADDITION**

**BCI** BON CONSULTING CIVIL ENGINEERS  
1000 BON AVENUE, SUITE 100, BIRMINGHAM, AL 35203 • 205.933.1111 • FAX 205.933.1112

C-0



EXIST. TOPOGRAPHY, DEMOLITION, EROSION AND  
SEDIMENTATION CONTROL PLAN  
BETHEL PRESBYTERIAN CHURCH, BUILDING ADDITION



## PROPOSED BUILDING ADDITION PLAN

NEW NET INCREASE IN IMPERVIOUS = 636 SF

## CONCRETE NOTES:

THE CONSTRUCTION OF CONCRETE PAD APPROACHES SHALL BEGIN NO SOONER THAN THE FIRST MONDAY IN APRIL, AND BE COMPLETED NO LATER THAN THE THIRD FRIDAY OF OCTOBER. ACTUAL DATES WILL BE DETERMINED EACH YEAR BY THE CITY ENGINEER, UNLESS AUTHORIZED IN WRITING BY THE CITY ENGINEER. CONCRETING OPERATIONS SHALL BE DISCONTINUED WHEN THE AIR TEMPERATURES IN THE DAY TIME IS BELOW 45°.

ALL CONCRETE PADS SHOULD BE DOWNTURNED OR CONCRETE HOLLOW TIE FOR A DURABLE AND DRY FLOOR.

ALL CONCRETE PADS SHALL BE CONSTRUCTED OF CONCRETE WITH THE FOLLOWING SPECIFICATIONS:

1. THE CONCRETE USED SHALL BE CLASS "F" CONCRETE. MEMBRANE CURING SHALL BE APPLIED AS SPECIFIED IN SECTION 220 OF THE STATE OF ILLINOIS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LAST EDITION, W. J. MCGOWAN, WOODCOCK & CURR, A SEAL, OR APPROVED SEAL, SHALL BE USED PER MANUFACTURER'S SPECIFICATIONS.
2. THE CONCRETE PADS SHALL BE PLACED ON A COMPACTED, DRY, CLEAN, DUST-FREE, SOIL BASE, OR ON A DRY, NATURAL OR COMPACTED SUBGRADE. IN NO CASE SHALL THE BASE BE PLACED ON A SURFACE OF TOPSOIL, GROWTH, OR OTHER UNSUITABLE MATERIAL.
3. THE SURFACE FINISH SHALL BE A LIGHT BRIGHT COLOR.
4. THE CONCRETE PADS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, WHICH SHALL BE USED ON ALL CIVIL WORKS. A RECEIPT FROM THE CONCRETE SUPPLIER WITH THIS INFORMATION AND THE LOCATION AND DATE OF THE PADS SHALL BE SUBMITTED TO THE CITY PRIOR TO ANY CITY APPROVALS OF SAID WORK.
5. THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER FORTY-EIGHT (48) HOURS PRIOR TO PLACING THE CONCRETE FOR AN INSPECTION OF THE BASE AND CFORMWORK.

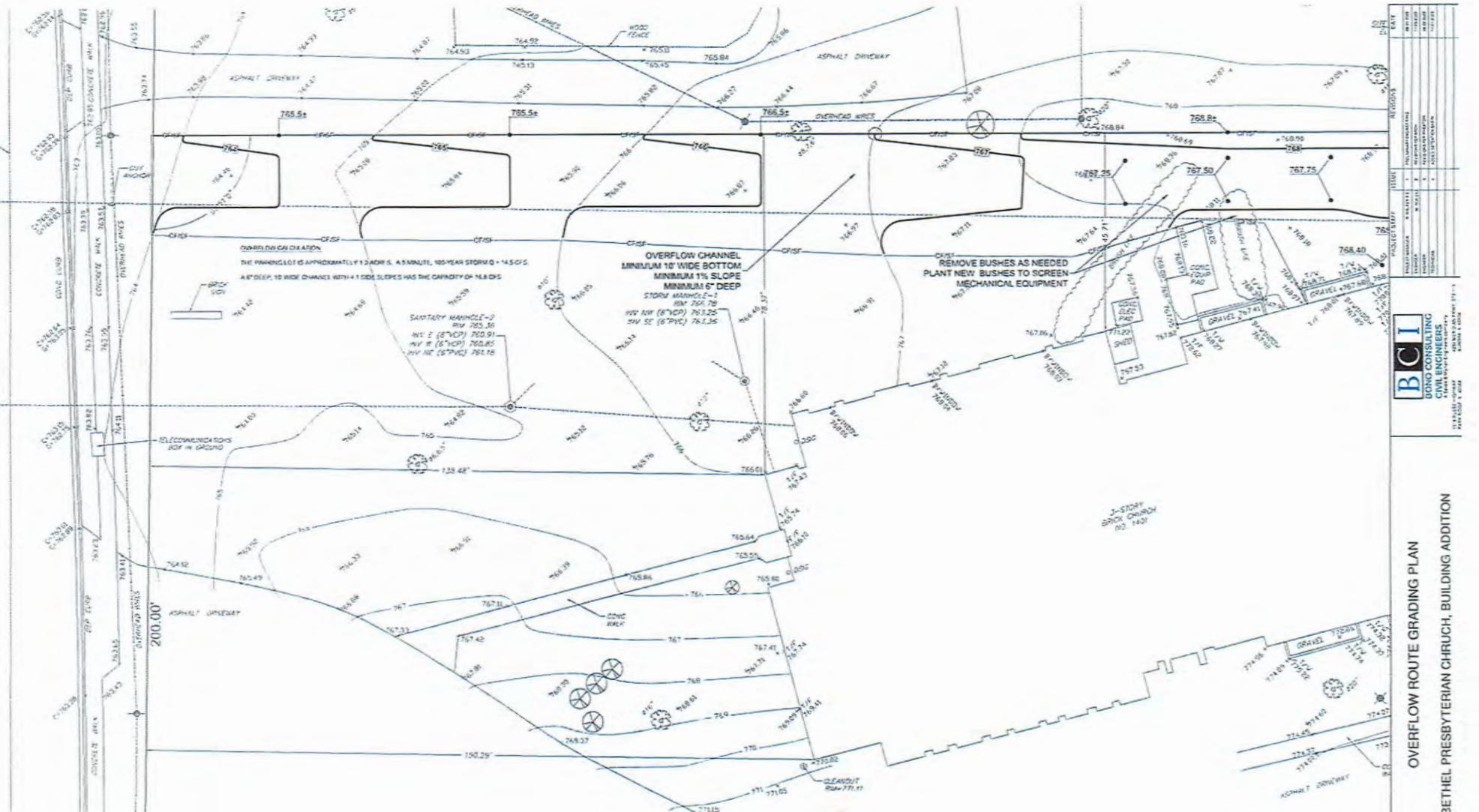
#### REFERENCES

**HOOD-DRUM NOTES:**

1. FIELD VERIFY EXISTING STORM SEWER STRUCTURE, INVERT AND LOCATION PRIOR TO ANY SEWER CONSTRUCTION. CONTRACTOR REUSE AND MODIFY EXISTING, IF FEASIBLE, AND IN DRYER AND DEEDED IT IN GOOD CONDITION.
2. STORM SEWER TO BE PVC PER ASTM 3234 WITH PUSH ON JOINTS, ASTM-3212.
3. PVC/UDL TRADING BACKFILL UNDER ALL OTHER PAVEMENT.
4. STORM SEWER STRUCTURES TO BE PRE-CAST IN VARIOUS ASTM STANDARDS.
5. FOLLOW ALL THE REQUIREMENTS OF THE CITY OF WHEATON.
6. INSTALL INLET BASKETS ON ALL DRAIN STORM STRUCTURES.



NATURAL HISTORY



OVERFLOW ROUTE GRADING PLAN

METHODIST PRESBYTERIAN CHURCHES DURING ADDITION

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BCI

**UNO CONSULTING  
CIVIL ENGINEERS**

NAME	ADDRESS	TELEPHONE	TYPE	EXPIRATION DATE	EXPIRATION DATE	EXPIRATION DATE
JOHN D. BROWN	1234 FAIRFIELD DR.	555-1234	REGULAR	12/2010	12/2010	12/2010
JOHN D. BROWN	1234 FAIRFIELD DR.	555-1234	REGULAR	12/2010	12/2010	12/2010
JOHN D. BROWN	1234 FAIRFIELD DR.	555-1234	REGULAR	12/2010	12/2010	12/2010
JOHN D. BROWN	1234 FAIRFIELD DR.	555-1234	REGULAR	12/2010	12/2010	12/2010

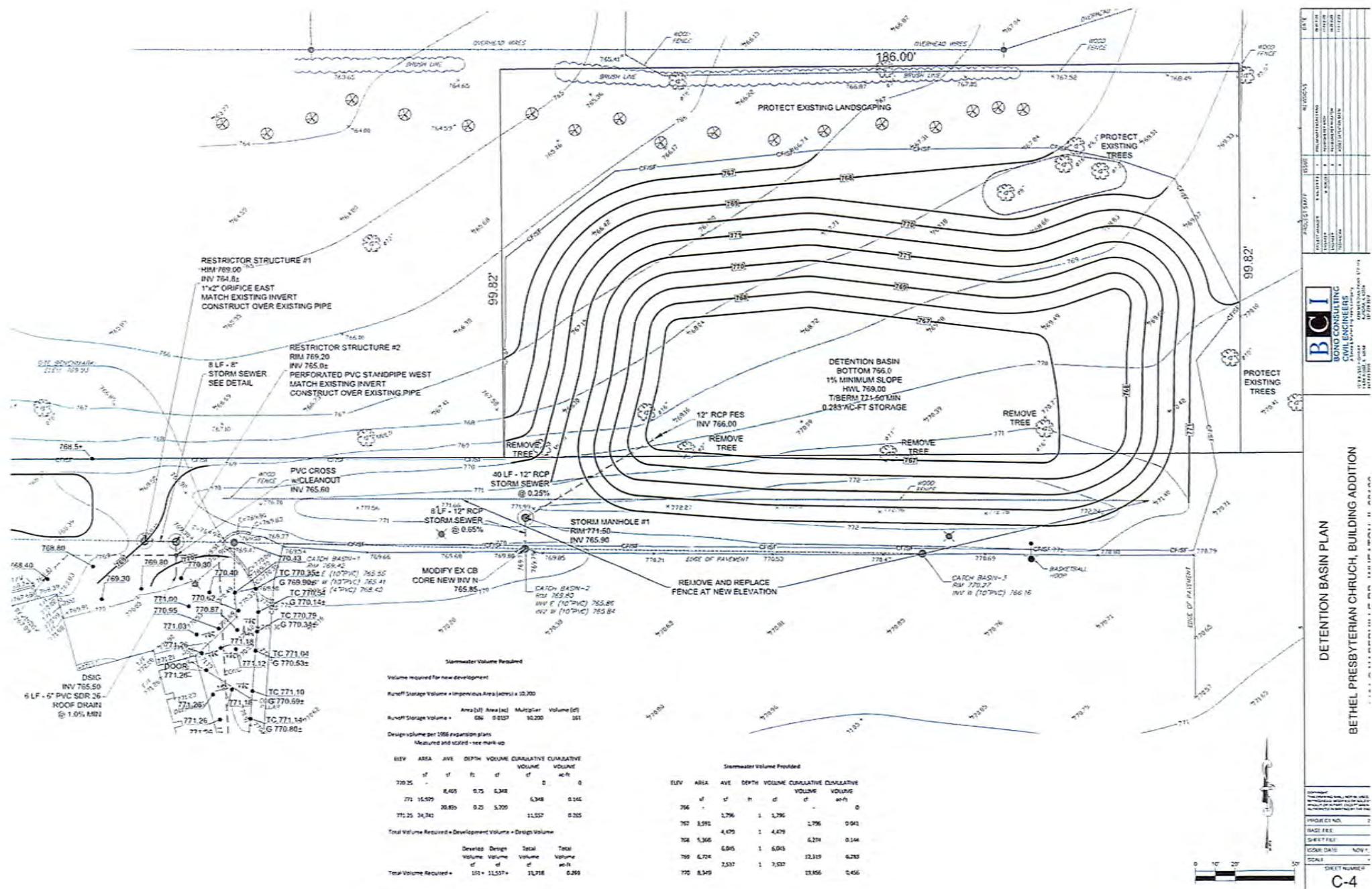
WITNESS	STATEMENT	WITNESS	STATEMENT
EDWARD FLEMING	He is a representative of the American Federation of Labor.	EDWARD FLEMING	He is a representative of the American Federation of Labor.
EDWARD FLEMING	He is a representative of the American Federation of Labor.	EDWARD FLEMING	He is a representative of the American Federation of Labor.
EDWARD FLEMING	He is a representative of the American Federation of Labor.	EDWARD FLEMING	He is a representative of the American Federation of Labor.
EDWARD FLEMING	He is a representative of the American Federation of Labor.	EDWARD FLEMING	He is a representative of the American Federation of Labor.

CONTINUOUS  
TEST DRIVE  
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WHOLLY FOR  
AUTHORISATION

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BETHEL PRESBYTERIAN CHURCH, BUILDING ADDITION  
DETENTION BASIN PLAN



