

ORDINANCE NO. O-2023-49

AN ORDINANCE GRANTING A SPECIAL USE PERMIT TO ALLOW THE CONSTRUCTION AND USE OF A NEW 1,350 SQUARE FOOT ENTRANCE VESTIBULE ADDITION TO THE EXISTING BETHEL ORTHODOX PRESBYTERIAN CHURCH BUILDING, ALL ON A CERTAIN PIECE OF PROPERTY COMMONLY KNOWN AS 1401 S. NAPERVILLE ROAD - BETHEL ORTHODOX PRESBYTERIAN CHURCH

WHEREAS, written application has been made requesting a special use permit pursuant to Article 7.1.6 of the Wheaton Zoning Ordinance to allow the construction and use of a new 1,350 square foot entrance vestibule addition to the existing Bethel Orthodox Presbyterian Church building, all on certain property legally described herein and commonly known as 1401 S. Naperville Road, Wheaton, Illinois 60189; and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on October 10, 2023 and November 14, 2023 to consider a special use permit to allow the construction and use of a new 1,350 square foot entrance vestibule addition to the existing Bethel Orthodox Presbyterian Church building; and the Planning and Zoning Board has recommended approval of the special use permit request.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: The following described property has been and continues to be zoned and classified in the R-1 Residential District zoning classification:

LOT 1 IN BETHEL ORTHODOX PRESBYTERIAN CHURCH CONSOLIDATION PLAT, A SUBDIVISION OF THE SOUTHEAST QUARTER OF SECTION 21, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DU PAGE COUNTY, ILLINOIS.

P.I.N. 05-21-400-022

The subject property is commonly known as 1401 S. Naperville Road, Wheaton, IL 60189.

Section 2: Pursuant to the Findings of Fact made and determined by the Wheaton Planning and Zoning Board, a special use permit to allow the construction and use of a new 1,350 square foot entrance vestibule addition to the existing Bethel Orthodox Presbyterian Church building is granted, in full compliance with the following plans: "Bethel Presbyterian Church ADA Restroom and Elev. Addition", prepared by David A. Schaefer Architects, Lombard, IL, sheets C1, SK1, SK2, SK3, EL1, dated September 7, 2023, "Bethel Presbyterian Church Building Design", prepared by BONO Consulting, Park Ridge, IL, sheets C0 – C5, L1, dated November 1, 2023, and subject to the following conditions:

1. The revised engineering plan shall be subject to additional staff review prior to the issuance of a site development permit.
2. A taller privacy fence shall be installed along the north property line to adequately screen the headlights from the church parking lot, with the fence height to be determined based upon the finished grade of the improvements in this area.

Section 3: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 4: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.


Mayor

ATTEST:



City Clerk

Roll Call Vote:

Ayes: Councilman Barbier
Councilwoman Bray-Parker
Councilman Brown
Mayor Suess
Councilman Clousing
Councilwoman Robbins
Councilman Weller

Nays: None

Absent: None

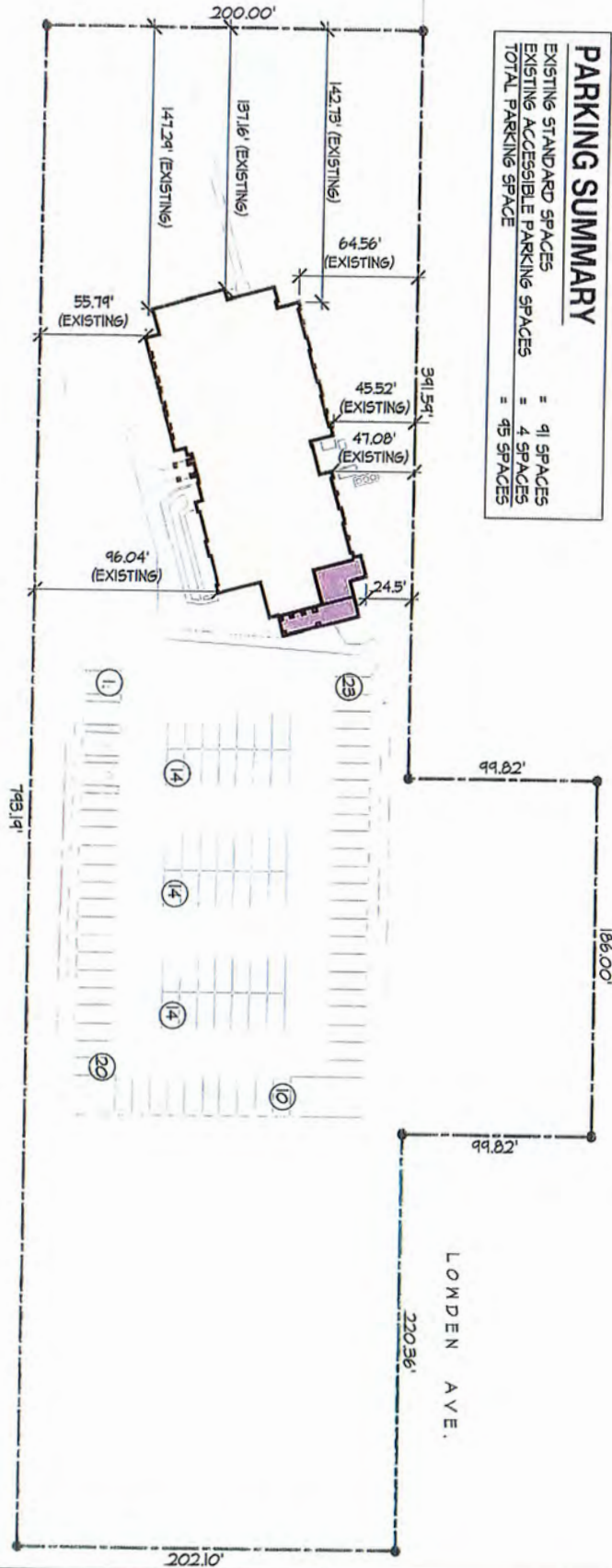
Motion Carried Unanimously

Passed: December 4, 2023
Published: December 5, 2023

NAPERVILLE AVE.

PARKING SUMMARY

EXISTING STANDARD SPACES = 41 SPACES
 EXISTING ACCESSIBLE PARKING SPACES = 4 SPACES
 TOTAL PARKING SPACE = 45 SPACES



1 PROPOSED SITE PLAN

SCALE 1"=60'-0"



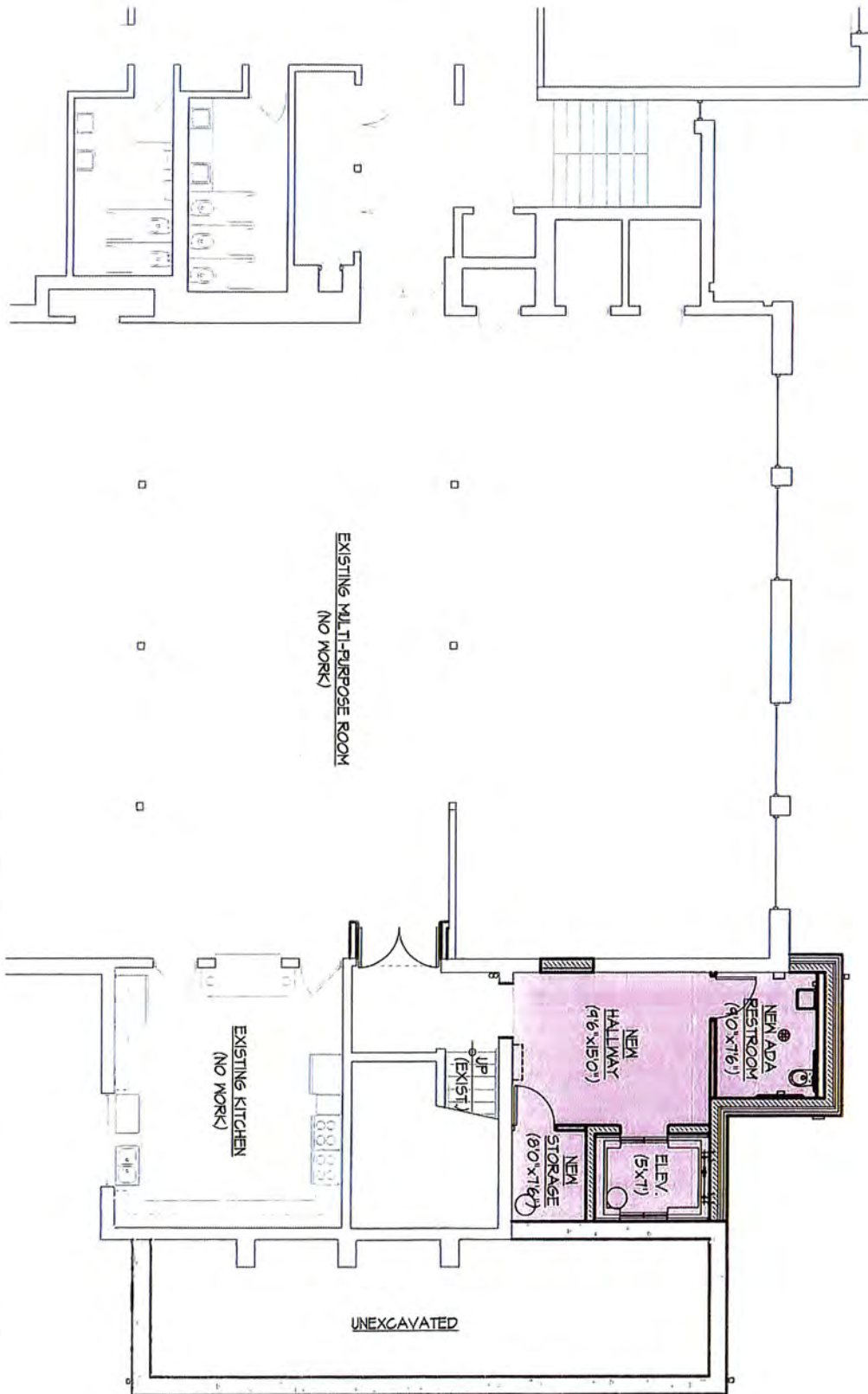
BETHEL PRESBYTERIAN CHURCH
ADA RESTROOM AND ELEV. ADDITION

DAVID A. SCHAEFER ARCHITECTS
 2500 S. HIGHLAND AVE., SUITE 340
 LOMBARD, ILLINOIS 60148
 PH: 630.261.9250 FAX: 630.261.9259

DRAWN BY:
 S.L.
 PROJECT NO:
 21-105
 ISSUE DATE:
 9-7-23

SHEET NO.

C1



1 PROPOSED LOWER LEVEL PLAN

SCALE: 1/8" = 1'-0"



BETHEL PRESBYTERIAN CHURCH
ADA RESTROOM AND ELEV. ADDITION

DAVID A. SCHAEFER ARCHITECTS
 2500 S. HIGHLAND AVE., SUITE 340
 LOMBARD, ILLINOIS 60148
 PH: 630.261.9250 FAX: 630.261.9259

DRAWN BY:
 S.L.

PROJECT NO:
 21-105

ISSUE DATE:
 9-7-23

SHEET NO.

SK1



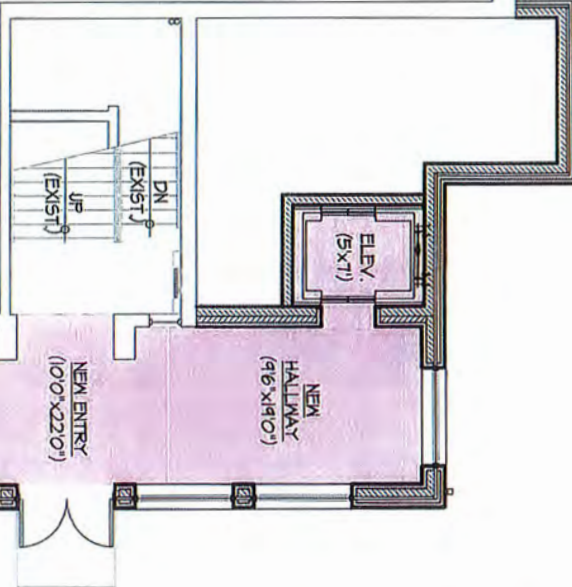
PROPOSED GROUND FLOOR PLAN

SCALE: 1/8" = 1'-0"



EXISTING MULTI-PURPOSE ROOM
(NO WORK)

EXISTING KITCHEN
(NO WORK)



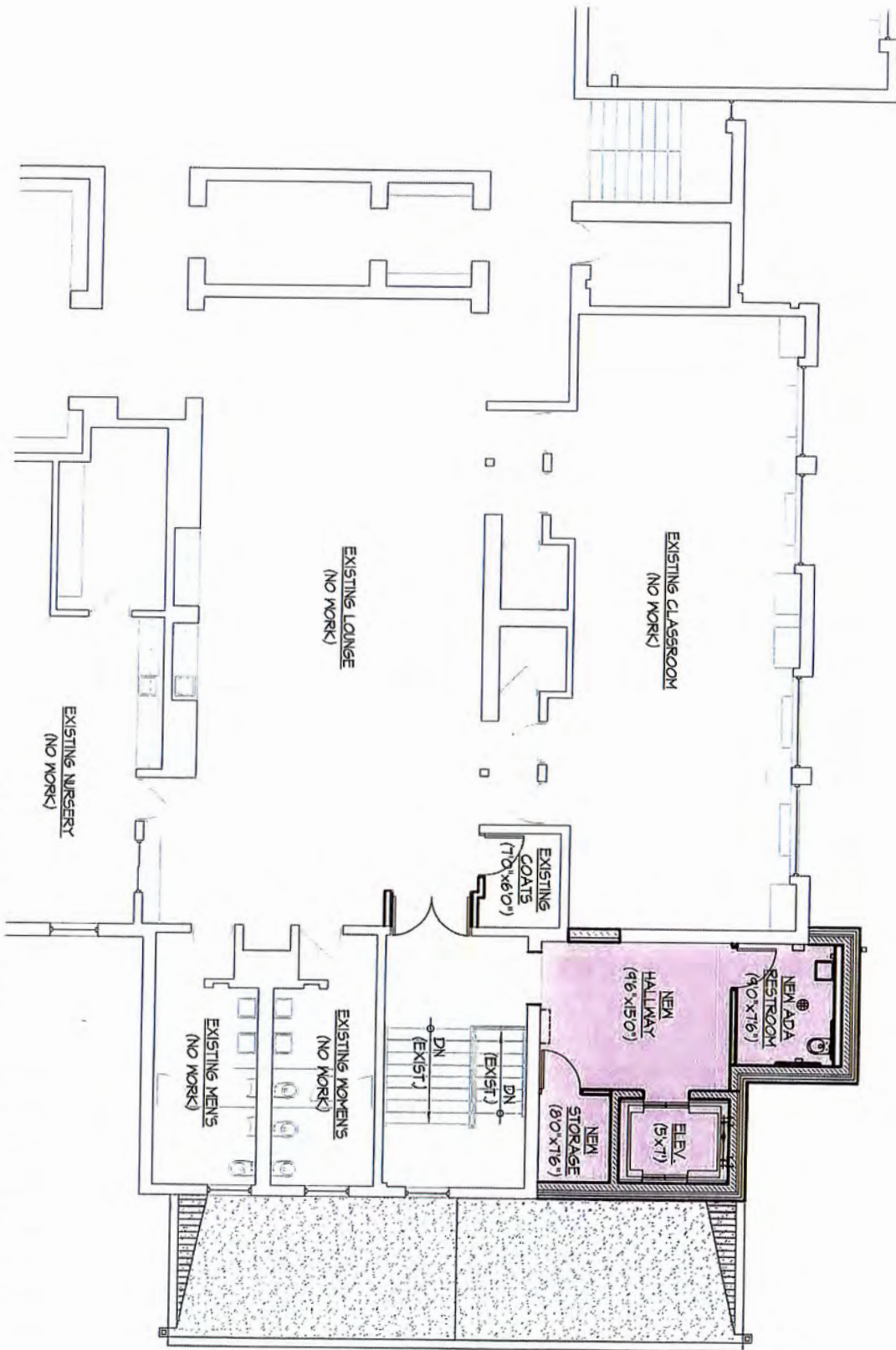
BETHEL PRESBYTERIAN CHURCH
ADA RESTROOM AND ELEV. ADDITION

DAVID A. SCHAEFER ARCHITECTS
2500 S. HIGHLAND AVE., SUITE 340
LOMBARD, ILLINOIS 60148
PH: 630.261.9250 FAX: 630.261.9259

DRAWN BY:
SL
PROJECT NO:
21-105
ISSUE DATE:
9-7-23

SHEET NO.

SK2



1 PROPOSED UPPER LEVEL PLAN

SCALE: 1/8" = 1'-0"



BETHEL PRESBYTERIAN CHURCH
ADA RESTROOM AND ELEV. ADDITION

DAVID A. SCHAEFER ARCHITECTS
 2500 S. HIGHLAND AVE., SUITE 340
 LOMBARD, ILLINOIS 60148
 PH: 630.261.9250 FAX: 630.261.9259

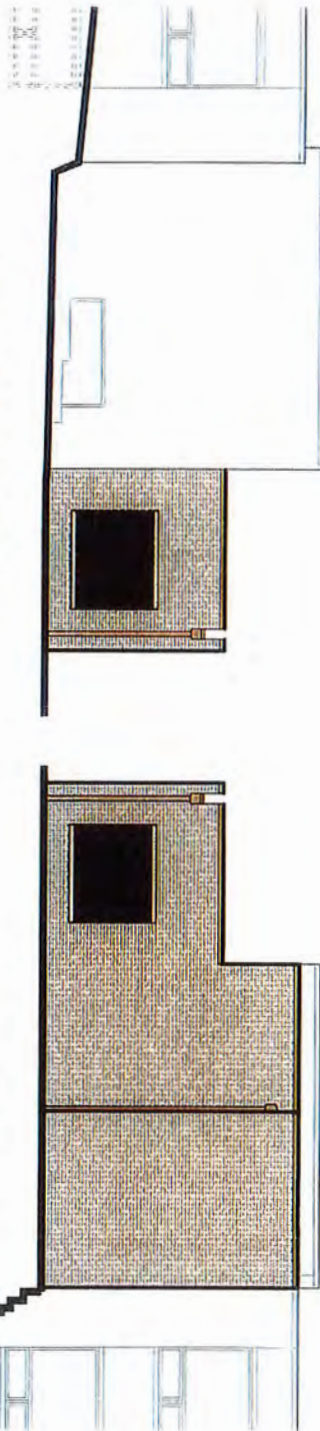
DRAWN BY:
 S.L.

PROJECT NO:
 21-105

ISSUE DATE:
 9-7-23

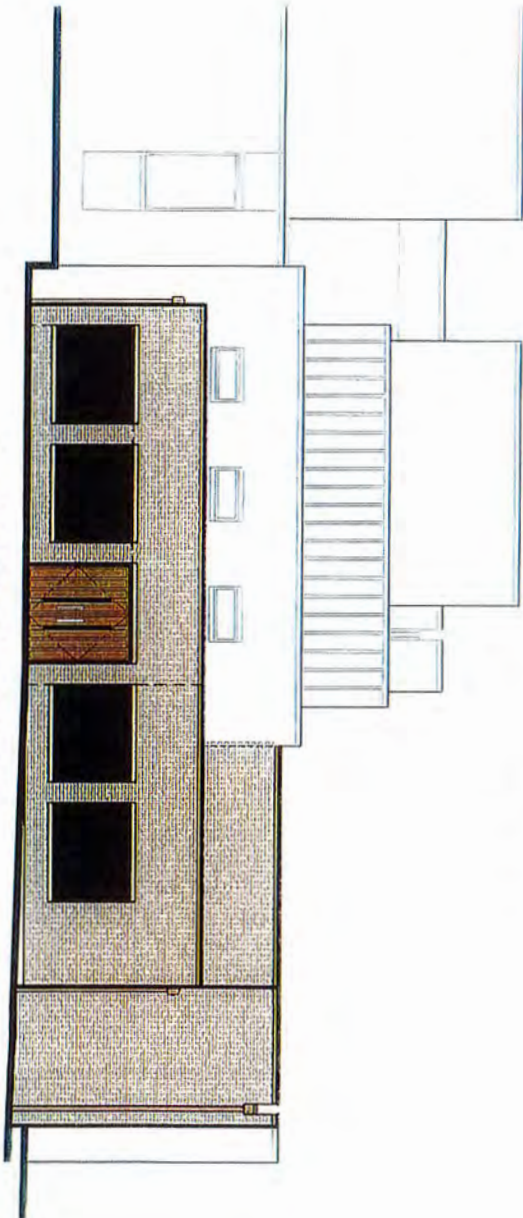
SHEET NO.

SK3



3 SIDE ELEVATION
SCALE: 1/8" = 1'-0"

2 SIDE ELEVATION
SCALE: 1/8" = 1'-0"



1 FRONT ELEVATION
SCALE: 1/8" = 1'-0"

BETHEL PRESBYTERIAN CHURCH
ADA RESTROOM AND ELEV. ADDITION

DAVID A. SCHAEFER ARCHITECTS
2500 S. HIGHLAND AVE., SUITE 340
LOMBARD, ILLINOIS 60148
PH: 630.261.9250 FAX: 630.261.9259

DRAWN BY:
SL.
PROJECT NO:
21-105
ISSUE DATE:
9-7-23

SHEET NO.

EL1

BETHEL PRESBYTERIAN CHURCH, BUILDING ADDITION

1401 S NAPERVILLE RD,
WHEATON, IL 60189

LOCATION MAP
NOT TO SCALE



NO.	DESCRIPTION
C-0	TITLE SHEET, LEGEND, SITE LOCATION, & AERIAL MAP
C-1	EXISTING TOPOGRAPHY, DEMOLITION PLAN, SOIL EROSION & SEDIMENTATION CONTROL PLAN
C-2	PROPOSED BUILDING ADDITION PLAN
C-3	OVERFLOW ROUTE CHANGING PLAN
C-4	RETENTION BASIN PLAN
C-5	DETAILS

SECTION: 21
TOWNSHIP: 39N
RANGE: 10E

PROPERTY IDENTIFICATION NUMBER (PIN)
PIN: 05-21-400-022

LEGAL DESCRIPTION:

OF LOT 2 IN JOHN NELSON'S PLAT OF SURVEY OF PART OF THE NORTH HALF OF SECTION 21, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 30, 1949 AS DOCUMENT 577306, IN DUPAGE COUNTY, ILLINOIS.
AND
THE WEST 797.36 FEET OF THE NORTH 200.0 FEET OF THAT PART OF THE SOUTHEAST QUARTER OF SECTION 21, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING EAST OF THE EAST LINE OF STATE AID ROUTE 4 (NAPERVILLE ROAD) AS DEDICATED BY DEED AND PLAT RECORDED JULY 24, 1940, AS DOCUMENT 413216, IN DU PAGE COUNTY, ILLINOIS.

COMMONLY KNOWN AS: 1401 S. NAPERVILLE ROAD, WHEATON, ILLINOIS.

SITE BENCHMARK IS CUT CROSS ON THE WEST TOP OF CURB NEAR THE NORTHWEST CORNER OF THE PARKING LOT, JUST WEST OF CB-1, ELEV 749.931, TRANSFERRED FROM DUPAGE COUNTY BENCHMARKS DK3172, ELEV 755.19 NAVD 83 AND DK3256, ELEV 754.28 NAVD 83

NOTE

EXISTING CONDITIONS ARE BASED UPON A TOPOGRAPHIC SURVEY. THIS IS NOT A BOUNDARY SURVEY. PROPERTY LINES SHOWN ARE FOR INFORMATIONAL PURPOSES ONLY AND SHALL NOT BE USED AS A BASIS FOR CONSTRUCTION LAYOUT. PROPERTY LINE INFORMATION SHOWN IS BASED ON THE PLAT OF SURVEY RECEIVED FROM THE OWNER AND ANY IRON PIPES (AS INDICATED) FOUND BY BOY'S SURVEY CREW.

PROPERTY BOUNDARY INFORMATION SHOWN HEREON IS TAKEN FROM OFFICIAL PLATS AND RECORDS

LOCATION OF UNDERGROUND UTILITIES WHERE NOT SUBSTANTIATED BY PHYSICAL EVIDENCE ARE TAKEN FROM RECORDS NORMALLY CONSIDERED RELIABLE. NO RESPONSIBILITY FOR THEIR ACCURACY IS ASSUMED BY THE SURVEYOR.

FOR LOCATION OF BURIED CABLE CALL J.U.L.I.E. @ 1-800-892-0123 BEFORE DIGGING

LOCATIONS OF EXISTING UTILITY SERVICES ARE BASED ON VISUAL OBSERVATIONS. CONTRACTOR MUST CONFIRM LOCATION AND CONDITION OF ALL UTILITY SERVICES TO REMAIN

NOTE

The location of existing underground utilities, such as water mains, sewers, gas lines, etc., as shown on the plans, has been determined from the best available information and is given for the convenience of the Contractor. However, the Owner and the Engineer do not assume responsibility in the event that during construction, utilities other than those shown may be encountered, and that the actual location of those which are shown may be different from the location as shown on the plans.

Bono Consulting, Inc. is not responsible for the safety of any party at or on the construction site. Safety is the sole responsibility of the contractor and any other person or entity performing work or services. Neither the owner nor engineer assumes any responsibility for the job site safety of persons engaged in the work or the means or methods of construction.

Current Standard Specifications of the Judicial Authority shall apply to the construction on this project.

Note: The exact location of all utilities shall be verified by the contractor prior to construction activities. For utility locations call:
J.U.L.I.E. 1 (800) 892-0123

GENERAL NOTES

- ELEVATIONS ARE REFERENCED TO NAVD 83 DATUM.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING JULIE FOR UTILITY LOCATIONS A MINIMUM OF 48 HOURS IN ADVANCE OF BEGINNING EXCAVATION.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE.
- THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL NECESSARY PERMITS AS REQUIRED PRIOR TO COMMENCING CONSTRUCTION.
- CONSTRUCTION OPERATIONS SHALL BE CONDUCTED IN SUCH A WAY AS TO PREVENT TRADING ON WAYS OR SOIL, DEBRIS, ASPHALT AND CONCRETE ONTO PUBLIC THOROUGHFARES. AT THE END OF EACH DAY, THE CONTRACTOR SHALL REMOVE MATERIALS DEPOSITED ONTO PUBLIC STREETS AND ALLEYS.
- PUBLIC STREETS AND ALLEYS SHALL BE RESTORED PROMPTLY MEETING CITY OF WHEATON STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL VERIFY THE EXACT ELEVATION AND LOCATION OF ALL EXISTING UTILITIES AND APPURTENANCES PRIOR TO CONSTRUCTION, TO AVOID INTERFERENCE.
- APPROPRIATE PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO AND TO PROTECT EXISTING UTILITIES AND APPURTENANCES IN THE VICINITY OF WORK.
- ALL BACKING LAYOUTS SHOULD BE DONE BY A REGISTERED LAND SURVEYOR AFTER CONFIRMING THE PROPERTY CORNERS IN THE FIELD. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER PRIOR TO INITIATING CONSTRUCTION.



I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF ILLINOIS.

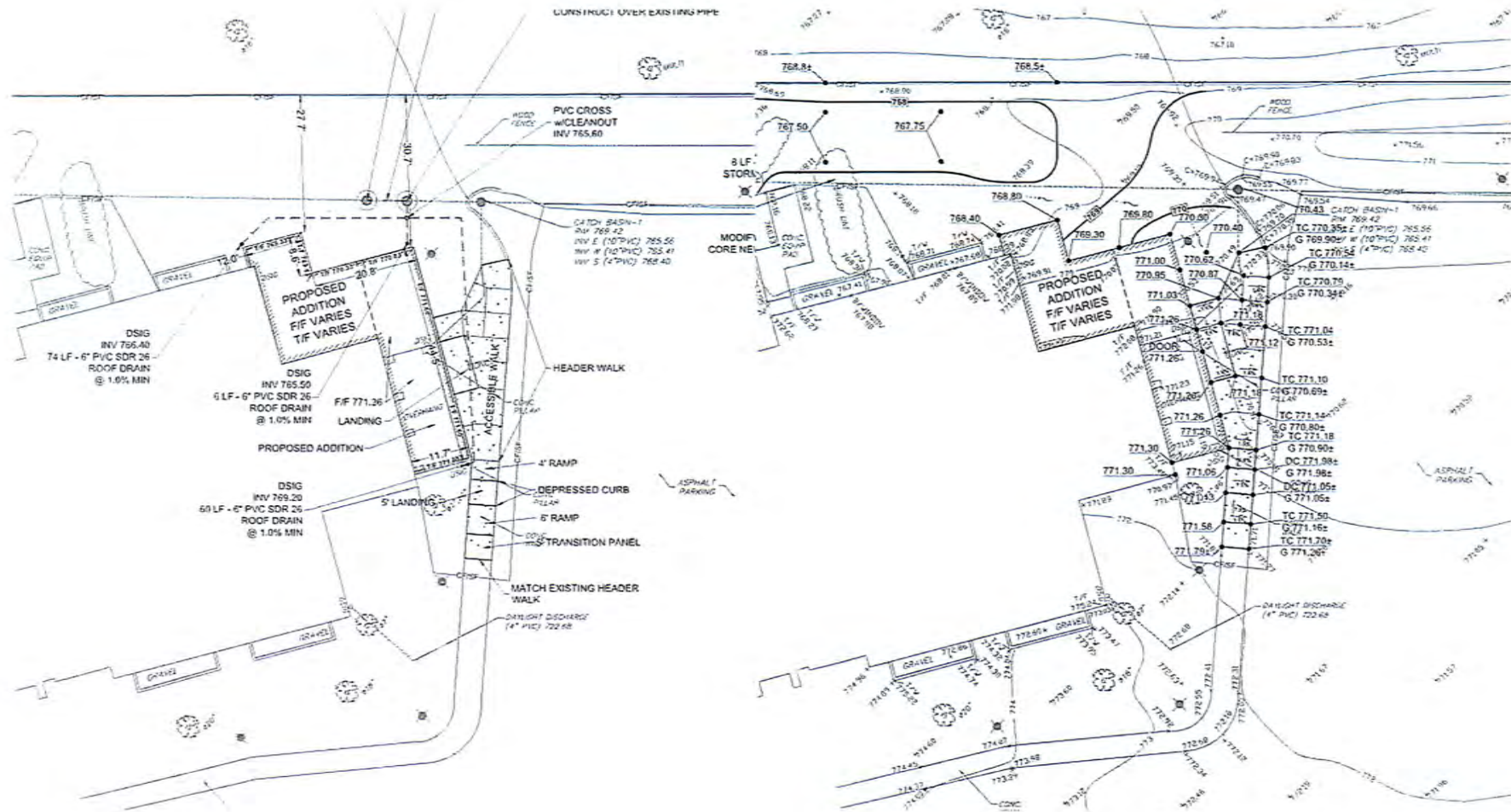
DATE: 11-01-2023
SIGNATURE: [Signature]
MY LICENSE EXPIRES ON NOVEMBER 30, 2023
PAGES OR SHEETS COVERED BY THIS SEAL: C-0 THRU C-5

DATE	BY	REVISIONS
11/01/23	JULIE	1. PRELIMINARY PLAN
11/01/23	JULIE	2. REVISED PLAN
11/01/23	JULIE	3. REVISED PLAN
11/01/23	JULIE	4. REVISED PLAN
11/01/23	JULIE	5. REVISED PLAN
11/01/23	JULIE	6. REVISED PLAN
11/01/23	JULIE	7. REVISED PLAN
11/01/23	JULIE	8. REVISED PLAN
11/01/23	JULIE	9. REVISED PLAN
11/01/23	JULIE	10. REVISED PLAN



TITLE SHEET, LEGEND, SITE LOCATION, & AERIAL MAP
BETHEL PRESBYTERIAN CHURCH, BUILDING ADDITION

PROJECT NO: 23-001
SHEET NO: 1
DATE: 11-01-23
SCALE: AS SHOWN
SHEET NUMBER: C-0



NEW NET INCREASE IN IMPERVIOUS = 686 SF

NEW IMPERVIOUS = 1436 SF

CONCRETE NOTES:

THE CONSTRUCTION OF CONCRETE PAD APPROACHES SHALL BEGIN NO SOONER THAN THE FIRST MONDAY IN APRIL AND BE COMPLETED NO LATER THAN THE THIRD FRIDAY OF OCTOBER, ACTUAL DATE WILL BE DETERMINED EACH YEAR BY THE CITY ENGINEER. ALL WORK AUTHORIZED IN WRITING BY THE CITY ENGINEER. CONCRETING OPERATIONS SHALL BE DISCONTINUED WHEN THE AIR TEMPERATURE IN THE SHADE IS BELOW 40°F.

ALL CONCRETE PADS SHALL BE CONSTRUCTED OF CONCRETE WITH THE FOLLOWING SPECIFICATIONS:

1. THE CONCRETE USED SHALL BE CLASS "C" CONCRETE. MEMBRANE CURING SHALL BE APPLIED AS SPECIFIED IN SECTION 722 OF THE STATE OF ILLINOIS "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. W. IL. BRIDGES VOLUME 20 CURB & SEAL. OR APPROVED EQUAL. SHALL BE USED PER MANUFACTURER'S DIRECTIONS.
2. THE BASE SHALL BE FOUR INCHES (4") OF COMPACTED CRUSHED STONE BASE ON A DRY NATURAL OR COMPACTED SUBGRADE. IN NO CASE SHALL THE BASE BE PLACED ON A SUBGRADE OF TOPSOIL OR OTHER UNSUITABLE MATERIAL.
3. THE SURFACE FINISH SHALL BE A LIGHT BROOM FINISH.
4. CLASS "B" CONCRETE AS SPECIFIED IN THE CITY "STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION" SHALL BE USED ON ALL SIDEWALKS. A RECEIPT FROM THE CONCRETE SUPPLIER WITH THIS INFORMATION AND THE LOCATION AND DATE OF THE POUR SHALL BE SUBMITTED TO THE CITY PRIOR TO ANY CITY APPROVALS OF SAID WORK.
5. THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER FORTY-EIGHT (48) HOURS PRIOR TO PLACING THE CONCRETE FOR AN INSPECTION OF THE BASE AND FORMWORK.

ROOF DRAIN NOTES:

1. FIELD VERIFY EXISTING STORM SEWER STRUCTURE INVERT AND LOCATION PRIOR TO ANY SEWER CONSTRUCTION. CONSTRUCTION MAY BE DELAYED AND MODIFY EXISTING IF FEASIBLE. OWNER AND CITY DEPARTMENTS IN GOOD CONDITION.
2. ROOF DRAIN TO BE PVC PER ASTM 3201 WITH PUSH ON JOINTS PER ASTM 3201.
3. PROVIDE DRAIN THROUGH ROOF UNDER ALL OTHER PAVEMENT.
4. STORM SEWER STRUCTURES TO BE PRE-CAST PER ASTM 420 WITH STEPS 18" ON CENTER PER ASTM 420.
5. FOLLOW ALL REQUIREMENTS OF THE CITY OF CHICAGO.
6. INSTALL INLET BUSHINGS ON ALL DOWN STORM STRUCTURES.

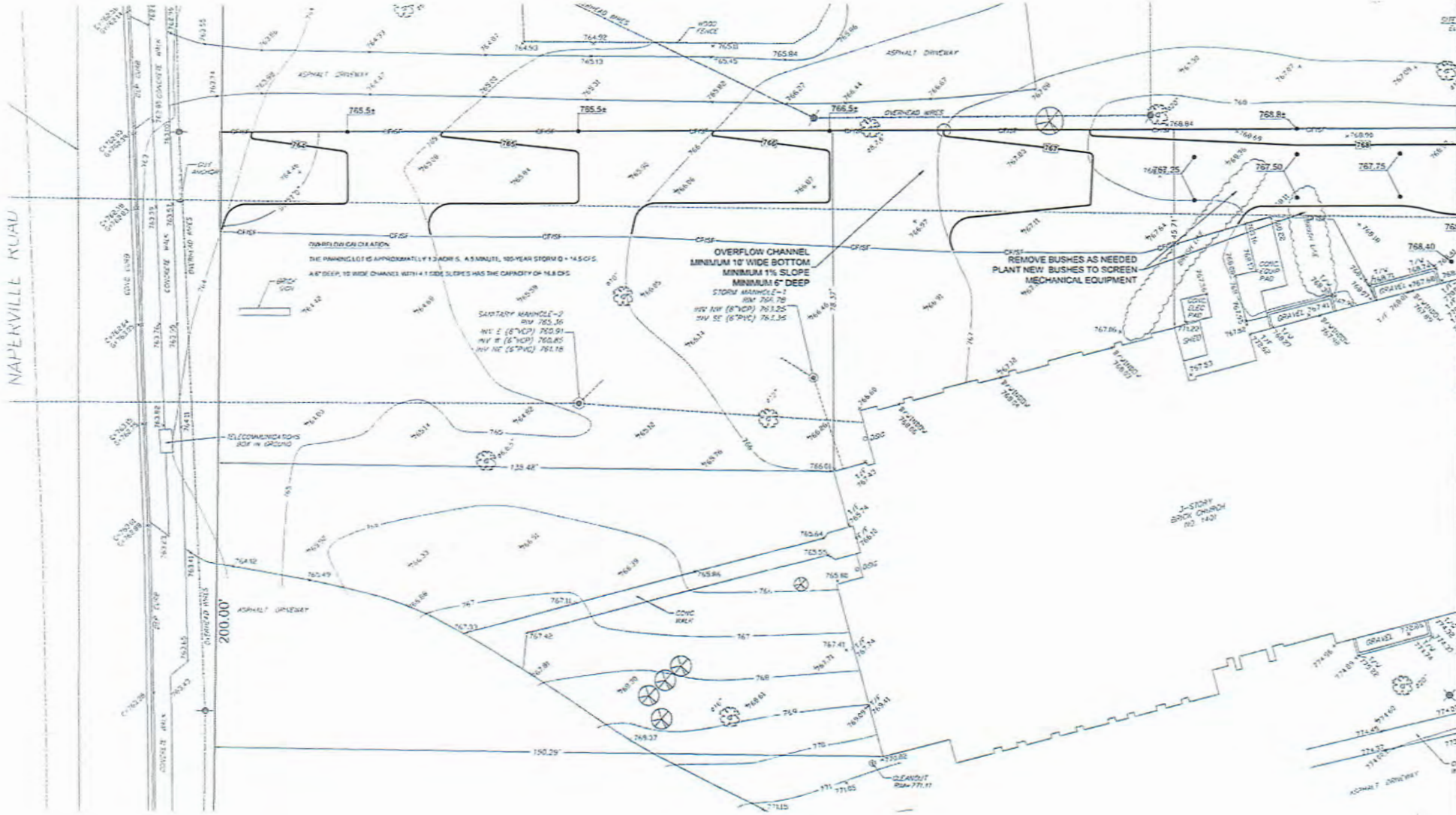


DATE	REVISION
11/11/2011	1. INITIAL DESIGN
11/11/2011	2. REVISED DESIGN
11/11/2011	3. REVISED DESIGN
11/11/2011	4. REVISED DESIGN
11/11/2011	5. REVISED DESIGN
11/11/2011	6. REVISED DESIGN
11/11/2011	7. REVISED DESIGN
11/11/2011	8. REVISED DESIGN
11/11/2011	9. REVISED DESIGN
11/11/2011	10. REVISED DESIGN

BCI
BORD CONSULTING
CIVIL ENGINEERS
1111 N. LAKE STREET
CHICAGO, IL 60610
TEL: 312.462.1111
FAX: 312.462.1112
WWW.BCI-ENGINEERS.COM

PROPOSED BUILDING ADDITION PLAN
BETHEL PRESBYTERIAN CHURCH, BUILDING ADDITION

PROJECT NO.
BASE FILE
SHEET FILE
ISSUE DATE NOV 11
SCALE
SHEET NUMBER
C-2



NO.	DATE	BY	CHKD.	DESCRIPTION
1	10/1/11	J. B. B.	J. B. B.	PRELIMINARY
2	10/1/11	J. B. B.	J. B. B.	REVISED
3	10/1/11	J. B. B.	J. B. B.	REVISED
4	10/1/11	J. B. B.	J. B. B.	REVISED
5	10/1/11	J. B. B.	J. B. B.	REVISED
6	10/1/11	J. B. B.	J. B. B.	REVISED
7	10/1/11	J. B. B.	J. B. B.	REVISED
8	10/1/11	J. B. B.	J. B. B.	REVISED
9	10/1/11	J. B. B.	J. B. B.	REVISED
10	10/1/11	J. B. B.	J. B. B.	REVISED

BCI
BONO CONSULTING
CIVIL ENGINEERS

10/1/11

OVERFLOW ROUTE GRADING PLAN
BETHEL PRESBYTERIAN CHURCH, BUILDING ADDITION

PROJECT NO.	2
SHEET NO.	1
DATE	10/1/11
SCALE	1" = 20'
DRAWN BY	J. B. B.
CHECKED BY	J. B. B.
APPROVED BY	J. B. B.

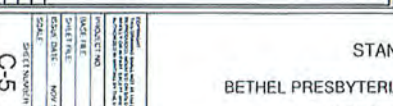
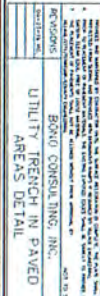
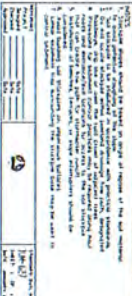
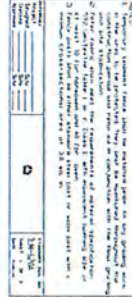
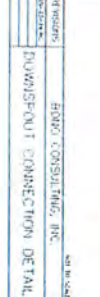
C-3

1 ALL EXISTING FOUNDATIONS, IN-PLACEMENT, ADEQUATE BASE, FOR SURFACES, EXCAVATION

- GENERAL NOTES:**

* THE CONTRACTOR IS RESPONSIBLE FOR CONTRACTING AND FOR THE LOCATION, A PROPOSAL OR AN OFFER TO ACHIEVE THE

- CONFIDENTIAL



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A Science & Materials Group Company

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PROJECT STATE	ISSUE	REMARKS	DATE
PROJECT MANAGER	1	Project Manager assigned	10/20/2010
ENGINEER	2	Engineer assigned	10/20/2010
DESIGNER	3	Designer assigned	10/20/2010
TESTER	4	Tester assigned	10/20/2010

