

ORDINANCE NO. O-2018-05

AN ORDINANCE GRANTING A CORNER SIDE YARD SETBACK VARIATION ON A CERTAIN PIECE OF PROPERTY COMMONLY KNOWN AS 1521 WAKEMAN AVENUE - SORENSEN

WHEREAS, written application has been made requesting a variation to Article 9.2.5 of the Wheaton Zoning Ordinance to allow the construction of a new second-floor addition and covered porch with a corner side yard setback of 10.92 feet in lieu of the required 27.25 feet for the second-floor addition and 19.25 feet for the covered porch, on certain property legally described herein and commonly known as 1521 Wakeman Avenue, Wheaton, Illinois 60187; and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on January 23, 2018 to consider the variation request; and the Planning and Zoning Board has recommended approval of the zoning variation.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: The following described property has been and continues to be zoned and classified in the R-3 Residential District zoning classification:

LOT 20 IN BLOCK 8 IN ARTHUR T. MCINTOSH AND COMPANY'S EAST BOULEVARD SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTH 1/2 OF SECTION 10, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 27, 1925 AS DOCUMENT 188951 AND CERTIFICATE OF CORRECTION FILED JULY 28, 1925 AS DOCUMENT 196919, IN DUPAGE COUNTY, ILLINOIS.

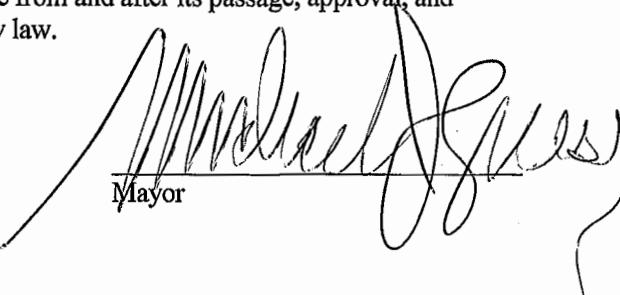
P.I.N.: 05-10-310-021

The subject property is commonly known as 1521 Wakeman Avenue, Wheaton, IL 60187.

Section 2: Pursuant to the Findings of Fact made and determined by the Wheaton Planning and Zoning Board, a corner side yard setback of 10.92 feet in lieu of the required 27.25 feet for the second-floor addition and 19.25 feet for the covered porch in full compliance with the plans entitled "Sorensen Residence, 1521 Wakeman Avenue, Wheaton, IL 60187", prepared by DMAC Architecture, Evanston, IL, sheets 1 - 3, dated November 1, 2017.

Section 3: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 4: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.



Mayor

ATTEST:

Aaron Bennett Jr.
City Clerk

Roll Call Vote

Ayes: Councilman Suess
Councilwoman Fitch
Councilman Prendiville
Mayor Gresk
Councilman Rutledge
Councilman Scalzo

Nays: None

Absent: Councilman Barbier

Motion Carried Unanimously

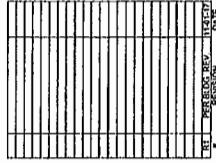
Passed: February 5, 2018
Published: February 6, 2018

DIMAC Architecture P.C.
1001 Wauconda Ave., Suite 100
Wheaton, IL 60187
www.dimacarch.com

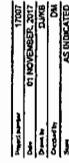
SORENSEN
RESIDENCE
1021 WACHTMAN AVE.
WHEATON, IL 60187



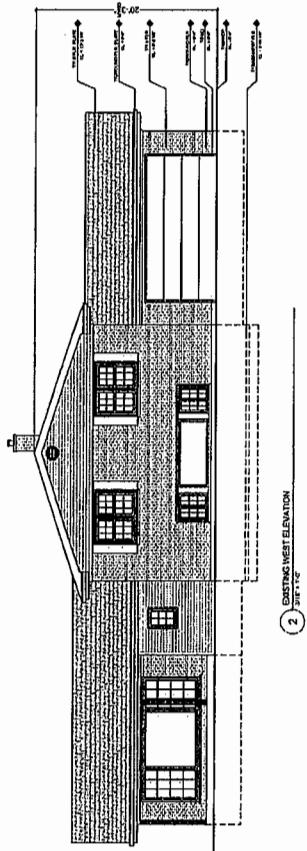
LEGEND



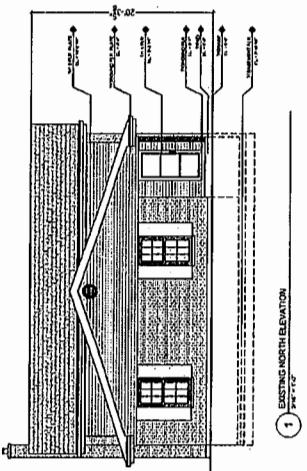
EXISTING
PLANS AND
ELEVATIONS



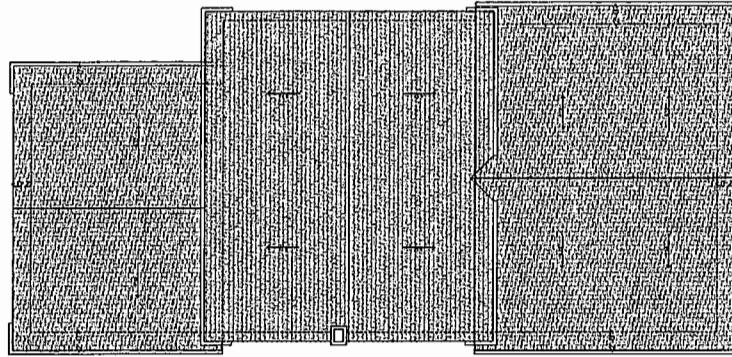
A001



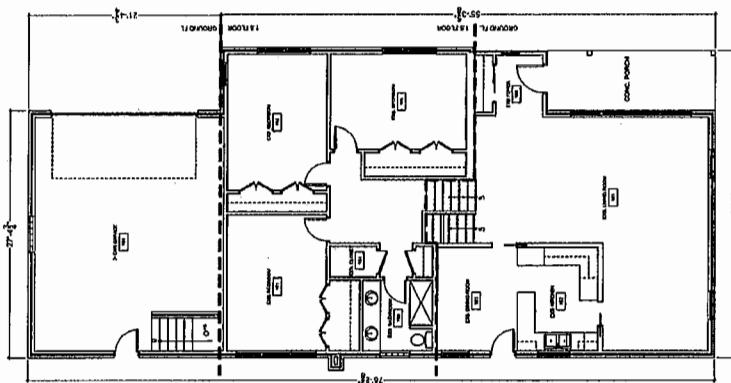
2 Existing West Elevation



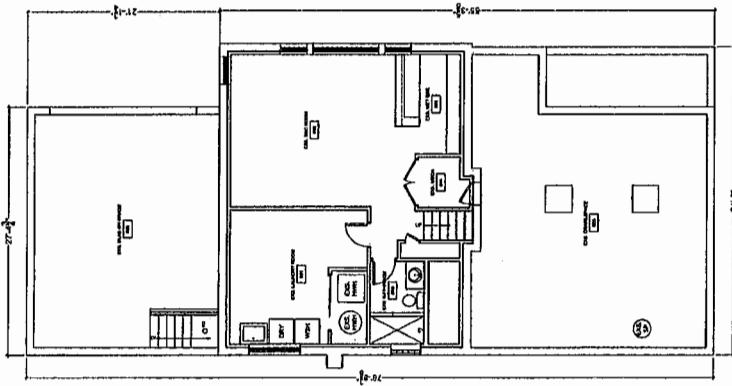
1 Existing North Elevation



3 Existing Roof Plan



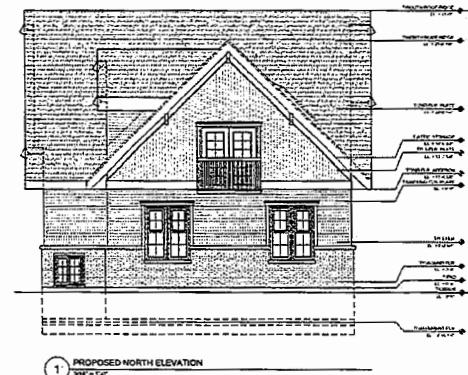
4 Existing Ground Floor Plan



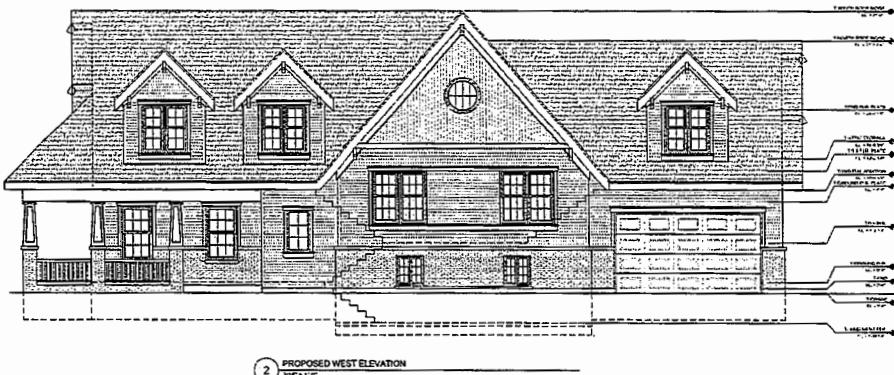
3 Existing Basement Plan



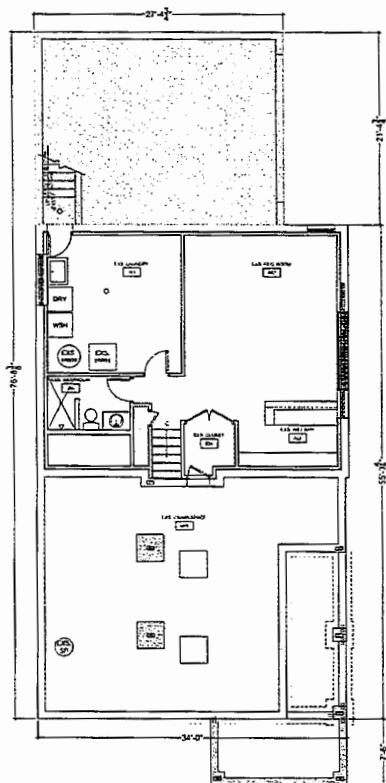
Exterior Wall



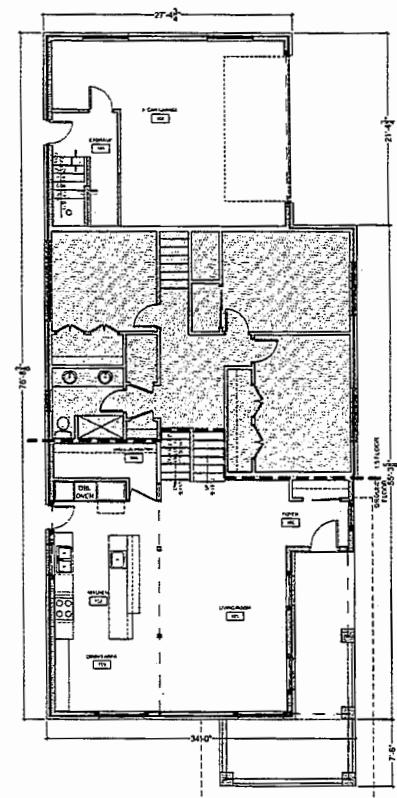
1 PROPOSED NORTH ELEVATION
31'-0" x 14'-0"



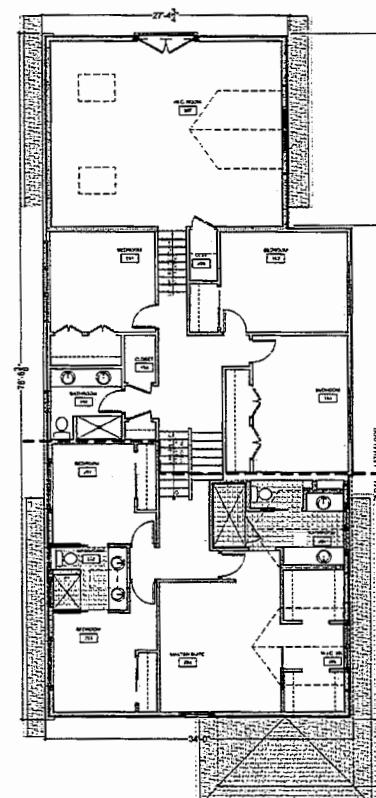
2 PROPOSED WEST ELEVATION
31'-0" x 14'-0"



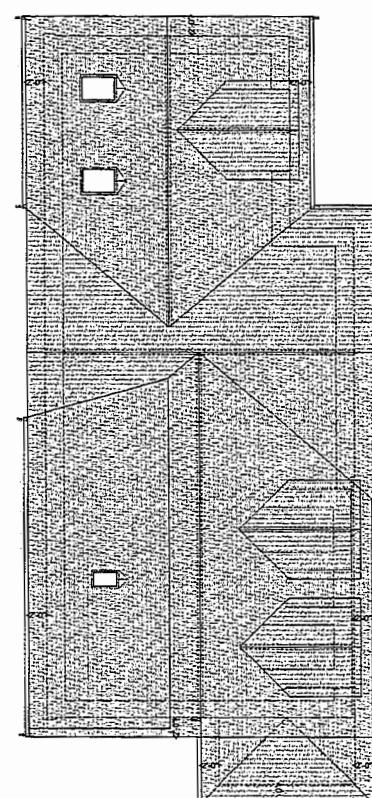
3 PROPOSED BASEMENT PLAN
31'-0" x 14'-0"



4 PROPOSED GROUND FLOOR / 1.5 FLOOR PLAN
31'-0" x 14'-0"



5 PROPOSED SECOND FLOOR PLAN
31'-0" x 14'-0"



6 PROPOSED ROOF PLAN
31'-0" x 14'-0"

DMAC Architecture P.C.
101 Chipp Ave, Ste 100, Elmhurst, IL 60126
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**SORENSEN
RESIDENCE**

1521 WAKEMAN AVE.
WHEATON, IL 60187



DMAC ARCHITECTURE
LIC. NO. 111-112323

LEGEND



REVISION	PER PLANS REV	11/01/17
DATE		

**PROPOSED
PLANS AND
ELEVATIONS**

Proj. Number	57003
Date	01 NOVEMBER, 2017
Architect	DMAC
Checked by	DM
Scale	AS INDICATED

A002

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