

ORDINANCE NO. F-2043

AN ORDINANCE GRANTING A SPECIAL USE PERMIT ON A CERTAIN PIECE OF PROPERTY COMMONLY KNOWN AS 507 S. NAPERVILLE ROAD - CORD

WHEREAS, written application has been made requesting a special use permit to Article 24.3.1 of the Wheaton Zoning Ordinance to allow the construction of a 990-square foot one story detached garage, on certain property legally described herein and commonly known as 507 S. Naperville Road, Wheaton, Illinois 60187; and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on November 14, 2017 to consider the special use permit request; and the Planning and Zoning Board has recommended approval of the special use permit.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: The following described property has been and continues to be zoned and classified in the R-4 Residential District zoning classification:

THAT PART OF LOT 23 OF THE COUNTY CLERK'S ASSESSMENT DIVISION OF ALL UNSUBDIVIDED LANDS IN THE SOUTH HALF AND THE SOUTH HALF OF THE NORTH HALF OF SECTION 16, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF INDIANA STREET AND NAPERVILLE ROAD OR STREET; THENCE SOUTHEASTERLY ALONG THE EAST LINE OF SAID NAPERVILLE ROAD OR STREET, 5 RODS (82.5 FEET) FOR A PLACE OF BEGINNING; THENCE SOUTHEASTERLY ALONG THE EAST LINE OF SAID NAPERVILLE ROAD OR STREET, 5 RODS (82.5 FEET); THENCE EAST TO THE HALF SECTION LINE (PARALLEL WITH INDIANA STREET); THENCE NORTH ALONG HALF SECTION LINE, 5 RODS (82.5 FEET); THENCE WEST PARALLEL WITH INDIANA STREET TO THE PLACE OF BEGINNING (EXCEPT THE EAST 60 FEET THEREOF), IN DU PAGE COUNTY, ILLINOIS.

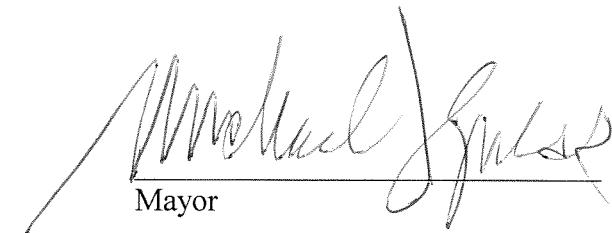
The subject property is commonly known as 507 S. Naperville Road, Wheaton, IL 60187.

P.I.N. 05-16-339-005

Section 2: Pursuant to the Findings of Fact made and determined by the Wheaton Planning and Zoning Board, a special use permit is granted to allow the construction of a 990-square foot one story detached garage in full compliance with the site plan, elevations and floor plan that are on file in the Department of Planning and Economic Development, subject to the following condition that the exterior of the garage shall be designed to match the exterior of the house in terms of color and materials.

Section 3: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 4: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.



Michael Gresk
Mayor

ATTEST:



Alan Bennett Hagan
City Clerk

Roll Call Vote

Ayes: Councilman Suess
Councilman Barbier
Councilwoman Fitch
Councilman Prendiville
Mayor Gresk
Councilman Rutledge
Councilman Scalzo

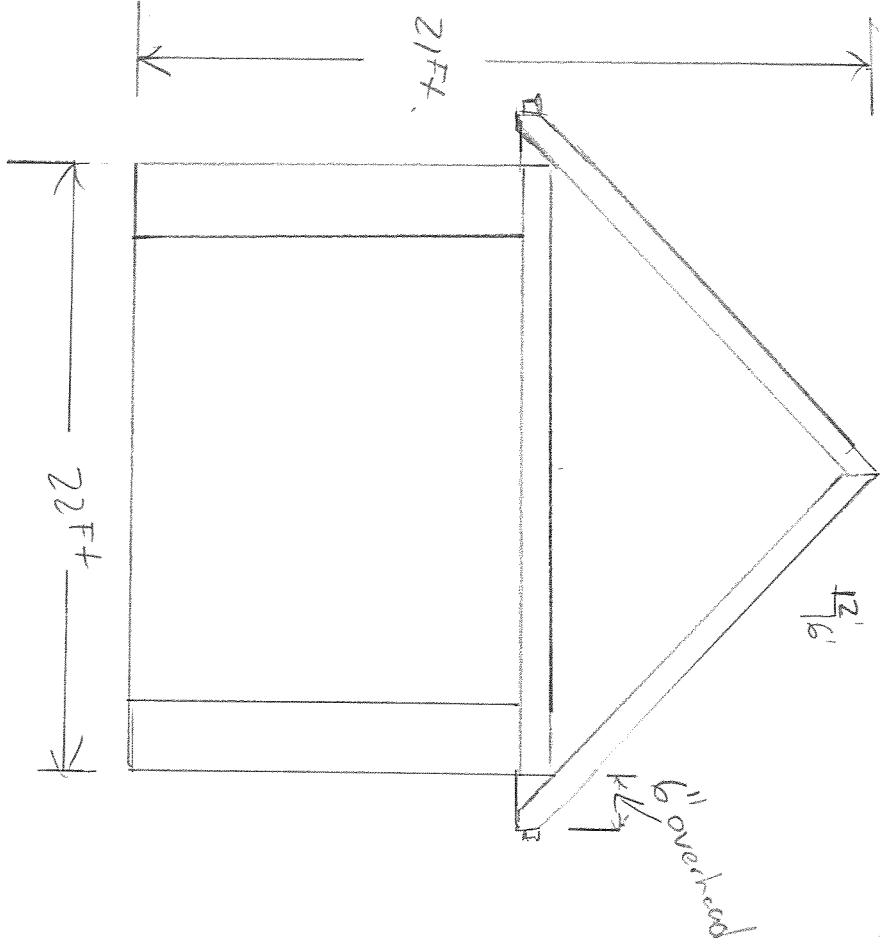
Nays: None
Absent: None

Motion Carried Unanimously

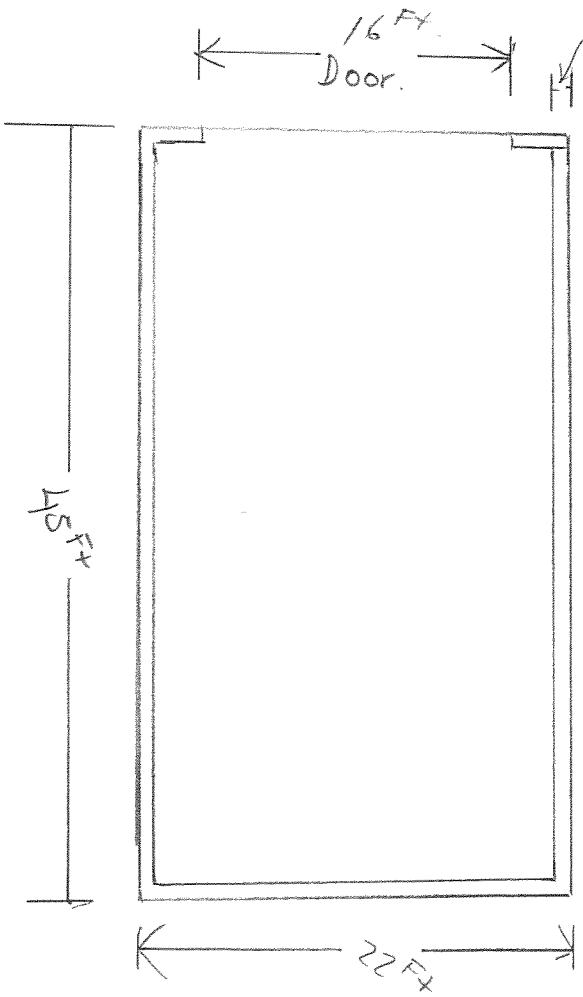
Passed: November 20, 2017

Published: November 21, 2017

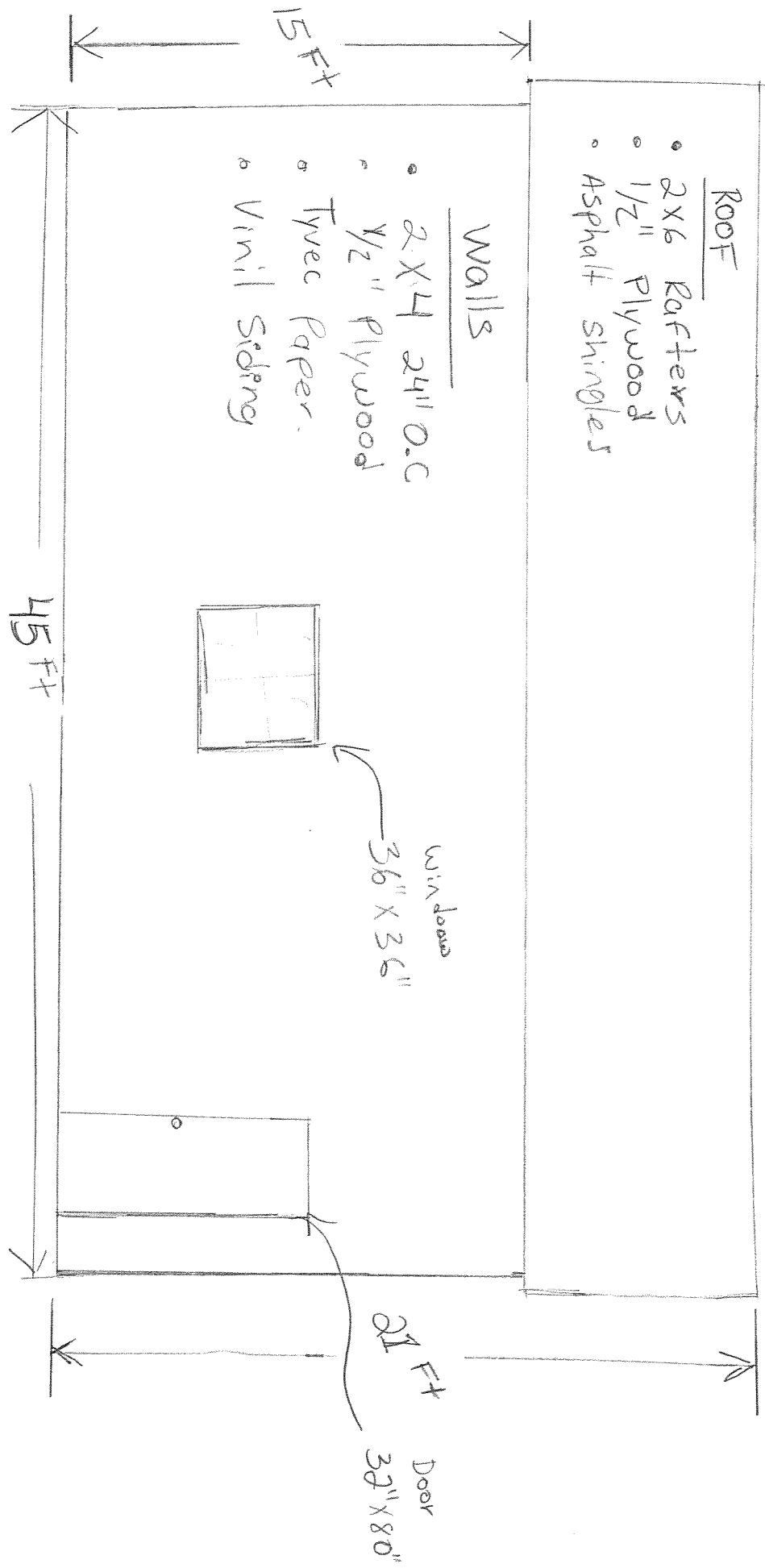
Front Elevation



Floor Plan



North Side Elevation



South Side Elevation

2x10 Ridge Board

