

ORDINANCE NO. F-1923

AN ORDINANCE GRANTING MULTIPLE SETBACK VARIATIONS ON A CERTAIN PIECE OF PROPERTY COMMONLY KNOWN AS 222 WEST ROOSEVELT ROAD - PESAVENTO

WHEREAS, written application has been made requesting a variation to permit the existing building at 222 West Roosevelt Road be used for a business and professional office with a west side yard building setback of approximately 5.0 feet in lieu of the required 15.0 feet and variations to allow the construction of a parking lot with a west side yard parking lot setback of approximately 9.0 feet in lieu of the required 15.0 feet and an east side yard parking lot setback ranging between approximately 0.0 - 3.0 feet in lieu of the required 15.0 feet, on certain property legally described herein and commonly known as 222 West Roosevelt Road, Wheaton, Illinois 60187; and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on March 8, 2016 to consider the variation request; and the Planning and Zoning Board has recommended approval of the zoning variation.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: Pursuant to the Findings of Fact made and determined by the Planning and Zoning Board, multiple variations are granted on the following-described property:

LOT 5 IN BLOCK 4 (EXCEPT THE NORTH 10 FEET TAKEN FOR ROOSEVELT ROAD)
IN WASHINGTON WHEATON SUBDIVISION UNIT NO. FOUR, BEING A SUBDIVISION
IN SECTIONS 20 AND 21, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD
PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED
FEBRUARY 10, 1947 AS DOCUMENT 515568, IN DUPAGE COUNTY, ILLINOIS.

P.I.N. 05-21-101-019

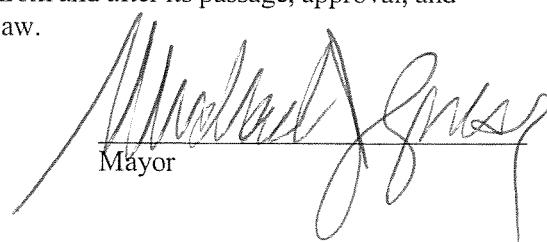
The subject property is commonly known as 222 West Roosevelt Road, Wheaton, IL 60187.

Section 2: Pursuant to the Findings of Fact made and determined by the Wheaton Planning and Zoning Board, multiple variations are hereby granted to be constructed in full compliance with the following plans: "Preliminary Engineering Plans" sheets 1-3, prepared by Intech Consultants, Inc., Lisle, IL, sheets 1-3, dated March 13, 2015 and "Landscape Plan" prepared by King's Landscaping Co., sheet 1-1, dated November 16, 2015, subject to the following condition:

1. A six foot tall solid wood privacy fence shall be installed along the west, south and east sides of the property to screen the lot in addition to the landscaping shown on the landscape plan.

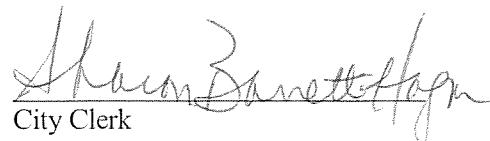
Section 3: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 4: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.



Michael J. Givens
Mayor

ATTEST:


Sharon Barnett-Hagan
City Clerk

Roll Call Vote

Ayes: Councilman Suess
Councilwoman Fitch
Councilman Prendiville
Councilman Rutledge
Mayor Gresk
Councilman Scalzo

Nays: None

Absent: Councilman Saline

Motion Carried Unanimously

Passed: March 21, 2016
Published: March 22, 2016

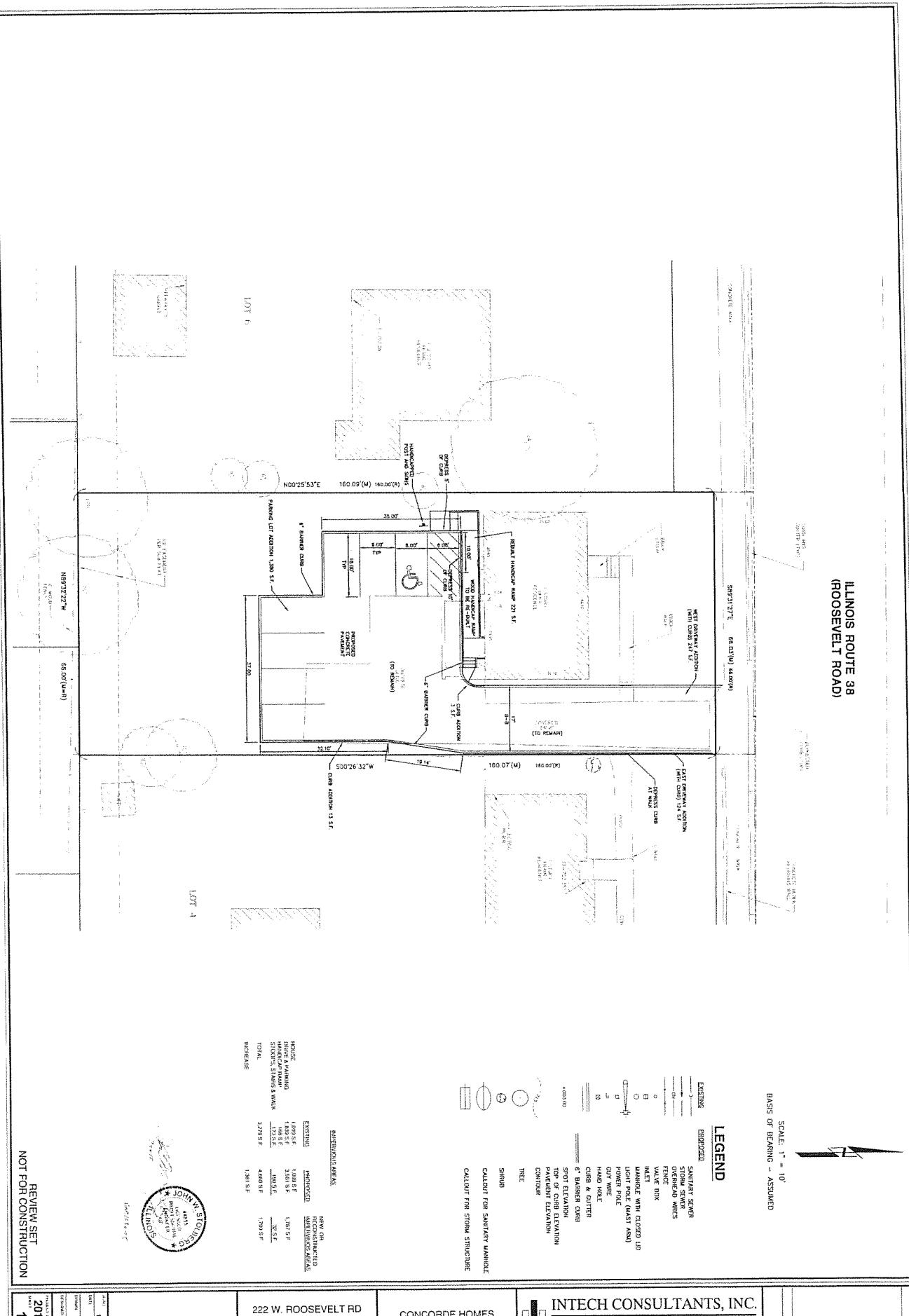
**ILLINOIS ROUTE 38
(ROOSEVELT ROAD)**

100' 00" E 100' 00" W
100' 00" N 100' 00" S
100' 00" NE 100' 00" SW
100' 00" NW 100' 00" SE

SCALE: 1" = 10'
BASIS OF BEARING - ASSUMED

LEGEND

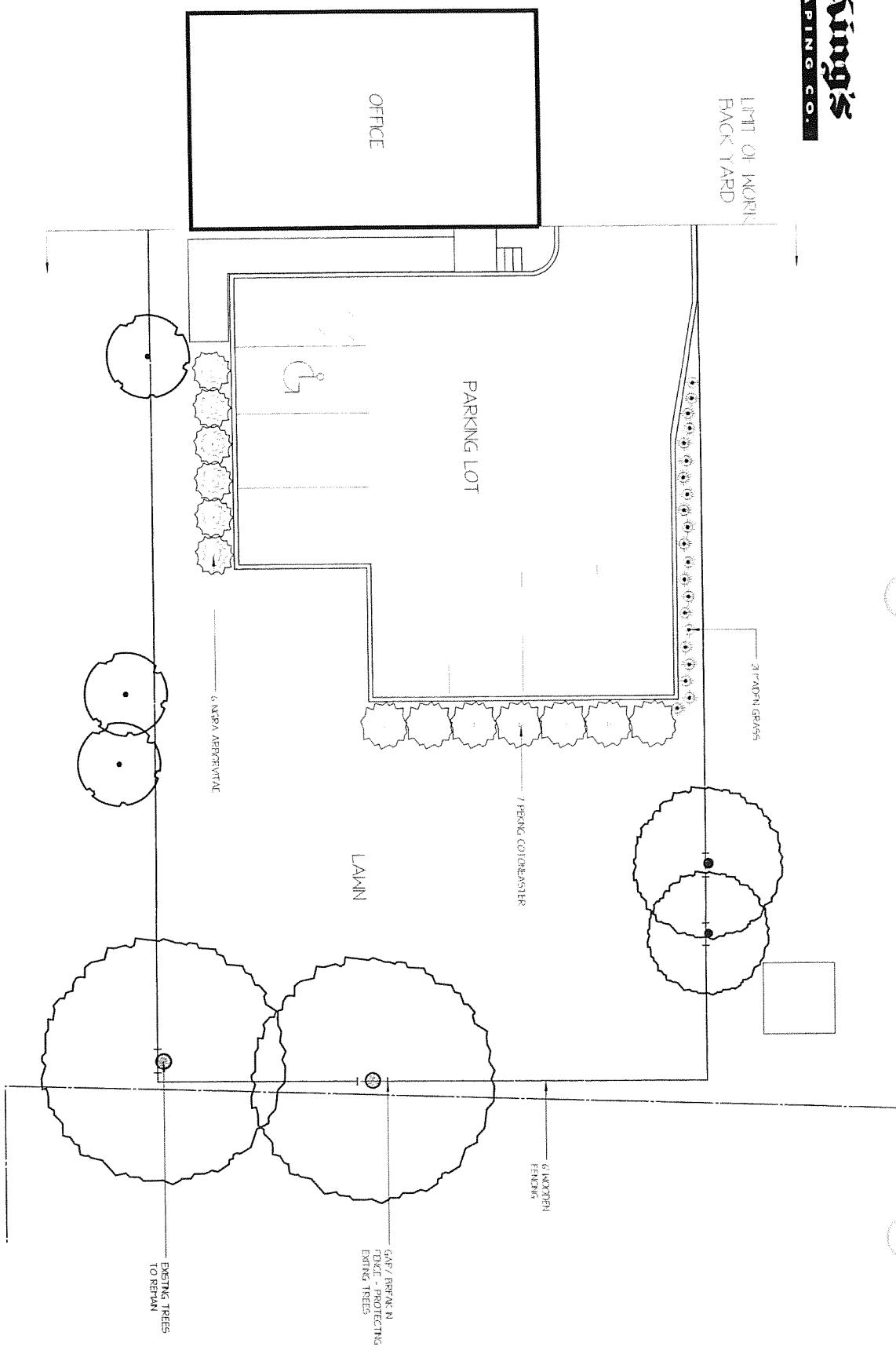
EXISTING	PROPOSED
SAWTOOTH	STORM SEWER
STORM DRAIN	OVERLOAD WIRES
FENCE	VALVE BOX
MANHOLE	MANHOLE WITH CLOSING LID
POLE POLE	LIGHT POLE (LAST ARM)
DAY WORK	POWER POLE
HAND HOLE	DAY WORK
CURB & GUTTER	6" BARRIER CURB
STOT ELEVATION	STOT ELEVATION
TOP OF GRB ELEVATION	TOP OF GRB ELEVATION
PAVEMENT ELEVATION	PAVEMENT ELEVATION
CONTOUR	CONTOUR
TREE	TREE
SHRUB	SHRUB
CALLOUT FOR SANITARY MANHOLE	CALLOUT FOR SANITARY MANHOLE
CALLOUT FOR STORM STRUCTURE	CALLOUT FOR STORM STRUCTURE



King's

LANDSCAPING CO.

LINE OF WORK
BACK YARD



BACKYARD PLAN

CONCORDE BUILDERS, LLC	
222 W. ROOSEVELT	
WHEATON	
chart:	
scale:	1' = 8'
drawn by	THJ
checked by	N/A
revised	N/A
drawing 2 OF 2	

Copyright © 2015 King's
Landscaping Co. This plan is
the sole and exclusive property
of King's Landscaping Co.
Any unauthorized use, or
reproduction, or
conveyance may be reproduced or
conveyed without the written
consent of King's Landscaping
Co. Any unauthorized use
or reproduction, or
conveyance, even written, or
otherwise, without the written
consent of King's Landscaping
Co. will be prosecuted
to the full extent of the law.