

ORDINANCE NO. F-1883

AN ORDINANCE GRANTING A REAR YARD SETBACK VARIATION ON A CERTAIN  
PIECE OF PROPERTY COMMONLY KNOWN AS 2286 RICHMOND DRIVE -  
DEMOS

**WHEREAS**, written application has been made requesting a variation to Article 3.4A.6 of the Wheaton Zoning Ordinance to allow the construction of a patio with a rear yard setback of 11.0 feet in lieu of the required 25.0 feet, on certain property legally described herein and commonly known as 2286 Richmond Drive, Wheaton, Illinois 60189; and

**WHEREAS**, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on August 25, 2015 to consider the variation request; and the Planning and Zoning Board has recommended approval of the zoning variation.

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

**Section 1:** Pursuant to the Findings of Fact made and determined by the Wheaton Planning and Zoning Board, a rear yard setback of 11.0 feet in lieu of the required 25.0 feet is granted for a patio in full compliance with the site plan on file in the Department of Planning and Economic Development, to allow the construction on the following-described real estate:

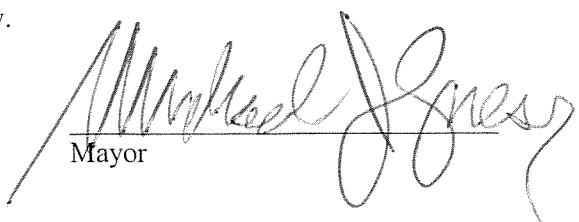
LOT 1 IN BLOCK 6 IN SCOTTDALE, UNIT NO. 3, BEING A SUBDIVISION OF PART OF THE NORTH ½ OF SECTION 1, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 20, 1978 AS DOCUMENT R78-54677 IN DU PAGE COUNTY, ILLINOIS.

P.I.N.: 05-34-114-007

The subject property is commonly known as 2286 Richmond Drive, Wheaton, IL 60189.

**Section 2:** All ordinances or parts of ordinances in conflict with these provisions are repealed.

**Section 3:** This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.



Michael J. Jones  
Mayor

ATTEST:



Alan Bennett Sker  
City Clerk

Roll Call Vote

Ayes: Councilman Suess  
Councilwoman Fitch  
Councilman Prendiville  
Councilman Rutledge  
Mayor Gresk  
Councilman Saline  
Councilman Scalzo

Nays: None

Absent: None

Motion Carried Unanimously

Passed: September 8, 2015  
Published: September 9, 2015



