

ORDINANCE NO. F-1877

**AN ORDINANCE GRANTING PLANNED UNIT DEVELOPMENT APPROVAL TO ALLOW
THE CONSTRUCTION AND USE OF 3 ADDITIONAL ONE-BEDROOM APARTMENTS AND
1 ADDITIONAL STUDIO APARTMENT IN THE BASEMENT OF THE EXISTING
APARTMENT BUILDING LOCATED AT 720 CRESCENT STREET - 720 W. CRESCENT
STREET LLC**

WHEREAS, written application has been made requesting a special use permit for a planned unit development to allow the construction and use of 3 additional one-bedroom apartments and 1 additional studio apartment in the basement of the existing apartment building located at 720 Crescent Street, Wheaton, IL ("Subject Property"); and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on June 9, 2015 to consider the PUD request; and the Planning and Zoning Board has recommended that the request be granted and approved.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: Pursuant to the Findings of Fact made and determined by the Planning and Zoning Board, PUD approval is granted to allow the construction and use of 3 additional one-bedroom apartments and 1 additional studio apartment in the basement of the existing apartment building on the following-described property:

LOTS 17, 18, 19, 20, 21, 22, 23, 24 AND 25 AND THOSE PORTIONS OF LOTS 26 AND 27 LYING SOUTH OF THE SOUTH LINE OF CRESENT STREET, AND NOW LOCATED IN BLOCK 2 AND THE WEST HALF OF THAT PART OF VACATED FISCHER STREET LYING SOUTH OF THE SOUTH LINE OF MICHIGAN STREET, ALL IN THE RESUBDIVISION OF BLOCK 14 OF COLLEGE ADDITION TO WHEATON, IN THE EAST HALF OF SECTION 16, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID RESUBDIVISION RECORDED MAY 14, 1890 AS DOCUMENT 42714, IN DUPAGE COUNTY, ILLINOIS.

P.I.N. 05-16-403-009

The subject property is commonly known as 720 Crescent Street, Wheaton, IL 60187.

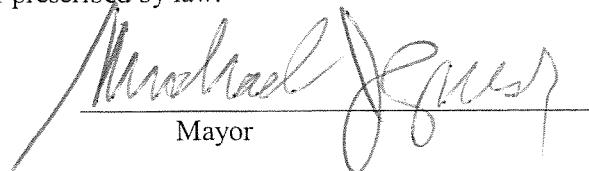
Section 2: Pursuant to the Findings of Fact made and determined by the Planning and Zoning Board, PUD approval is granted in full compliance with the following plans: "720 W. Crescent LLC, Proposed Parking/ Site Plan", prepared by LaPage Architects, Ltd., Wheaton, IL, dated April 30, 2015, "720 W. Crescent LLC, Proposed Partial Lower Level Floor Plan", prepared by LaPage Architects, Ltd., Wheaton, IL, dated April 30, 2015 and "720 W. Crescent LLC, Elevations" prepared by LaPage Architects, Ltd., Wheaton, IL, dated April 30, 2015, subject to the following conditions:

1. A landscape plan subject to the reasonable approval of the Director of Planning and Economic Development shall be submitted which includes a hedge along the south side of the parking lot expansion to screen the parking area from Michigan Street, foundation plantings and benches along the front of the building and a small grilling and seating area for tenant use; and

2. A lease restriction limiting on-site parking to 1 vehicle per apartment subject to the reasonable approval of the City Attorney shall be added to each apartment lease; and
3. Any off-site parking on property owned by Wheaton College shall be subject to the College's written approval.

Section 3: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 4: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.



Michael Gresk

Mayor

ATTEST:



Sharon Bennett Hagen

City Clerk

Roll Call Vote

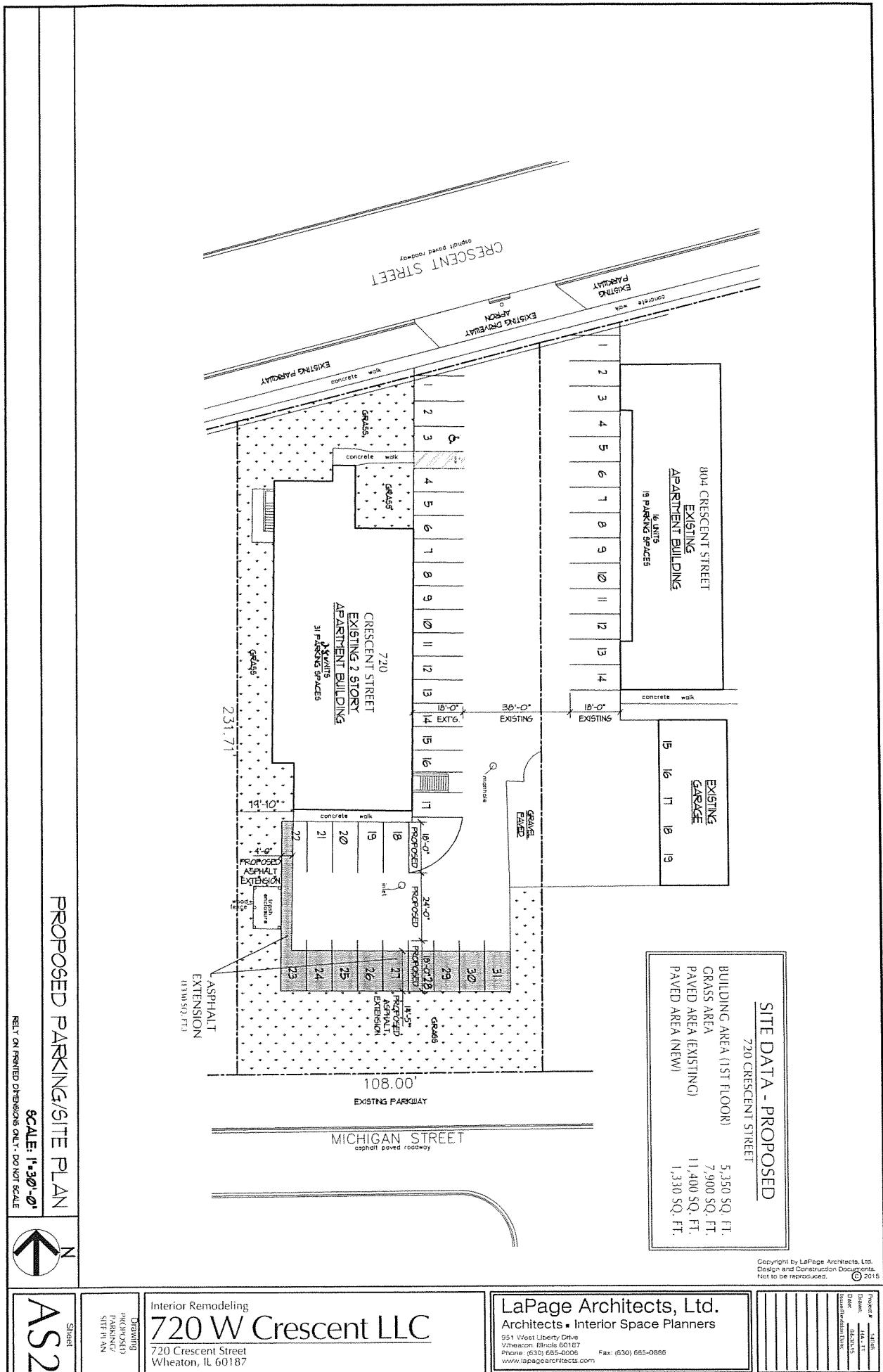
Ayes:	Councilwoman Fitch Councilman Prendiville Councilman Rutledge Mayor Gresk Councilman Saline Councilman Scalzo Councilman Suess
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Nays: None

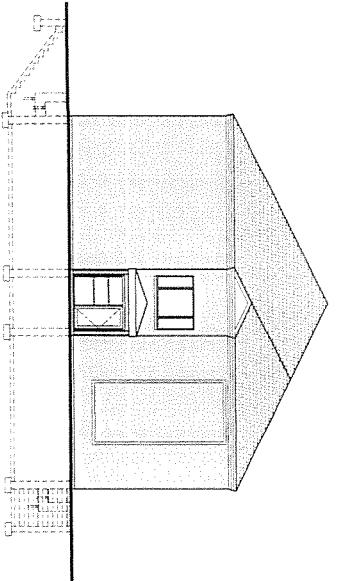
Absent: None

Motion Carried Unanimously

Passed: July 6, 2015
Published: July 7, 2015



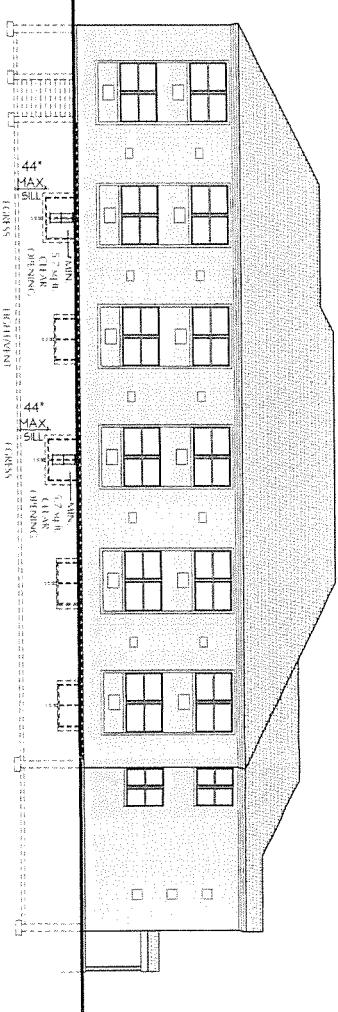
EXTERIOR REMODELING IS AT SUB-GRADE WINDOW WELLS ONLY-
NO REMODELING WORK WILL BE VISIBLE ABOVE GRADE



NORTH ELEVATION

SCALE: $1/8'' = 1'-0''$

RELY ON PRINTED DIMENSIONS ONLY - DO NOT SCALE

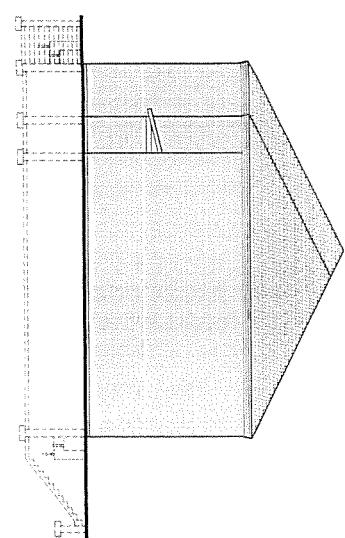


EAST ELEVATION

SCALE: $1/8'' = 1'-0''$

RELY ON PRINTED DIMENSIONS ONLY - DO NOT SCALE

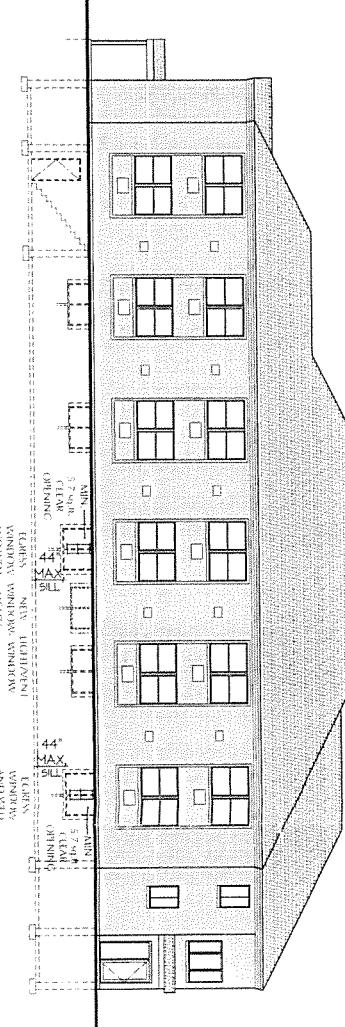
EXTERIOR REMODELING IS AT SUB-GRADE WINDOW WELLS ONLY-
NO REMODELING WORK WILL BE VISIBLE ABOVE GRADE



SOUTH ELEVATION

SCALE: $1/8'' = 1'-0''$

RELY ON PRINTED DIMENSIONS ONLY - DO NOT SCALE



WEST ELEVATION

SCALE: $1/8'' = 1'-0''$

RELY ON PRINTED DIMENSIONS ONLY - DO NOT SCALE

Interior Remodeling
720 W Crescent LLC
720 Crescent Street
Wheaton, IL 60187

Drawing
PROPOSED
INTERIOR FLOOR PLAN

LaPage Architects, Ltd.
Architects • Interior Space Planners
951 West Liberty Drive
Wheaton, IL 60187
Phone: (847) 655-0886
Fax: (847) 655-0886
www.lapagearchitects.com

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