

## ORDINANCE NO. F-1800

### AN ORDINANCE GRANTING A FRONT YARD SETBACK VARIATION ON A CERTAIN PIECE OF PROPERTY COMMONLY KNOWN AS 1352 SOUTH MAIN STREET – SYNERGY BUILDERS

**WHEREAS**, written application has been made requesting a variation to Article 8.2.5 of the Wheaton Zoning Ordinance to allow the construction of a covered front porch with a front yard setback of 33.46 feet in lieu of the required 40.0 feet, on certain property legally described herein and commonly known as 1352 South Main Street, Wheaton, Illinois 60189; and

**WHEREAS**, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on July 8, 2014 to consider the variation request; and the Planning and Zoning Board has recommended approval of the zoning variation.

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

**Section 1:** The following described property has been and continues to be zoned and classified in the R-2 Residential District zoning classification:

LOT 71 IN FAIRWAY ESTATES, BEING A SUBDIVISION OF PART OF THE WEST ½ OF SECTION 21, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 21, 1957 AS DOCUMENT 863827, AND CERTIFICATE OF CORRECTION RECORDED APRIL 30, 1958 AS DOCUMENT 878181, AND CERTIFICATE OF CORRECTION RECORDED JUNE 30, 1958 AS DOCUMENT 884944, IN DUPAGE COUNTY, ILLINOIS.

P.I.N.: 05-21-113-021

The subject property is commonly known as 1352 South Main Street, Wheaton, IL 60189.

**Section 2:** Pursuant to the Findings of Fact made and determined by the Wheaton Planning and Zoning Board, a front yard setback of 33.46 feet in lieu of the required 40.0 feet is granted for a covered front porch in full compliance with the site plan, elevation and floor plan dated July 1, 2014 that are on file in the Department of Planning and Economic Development, and in further compliance with the following condition, restriction, and requirement:

1. Foundation plantings shall be installed around the perimeter of the covered front porch, subject to the approval of the Director of Planning and Economic Development.

**Section 3:** All ordinances or parts of ordinances in conflict with these provisions are repealed.

**Section 4:** This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.



Michael J. Buss  
Mayor

ATTEST:

  
Aaron Bennett Hagan  
City Clerk

Roll Call Vote

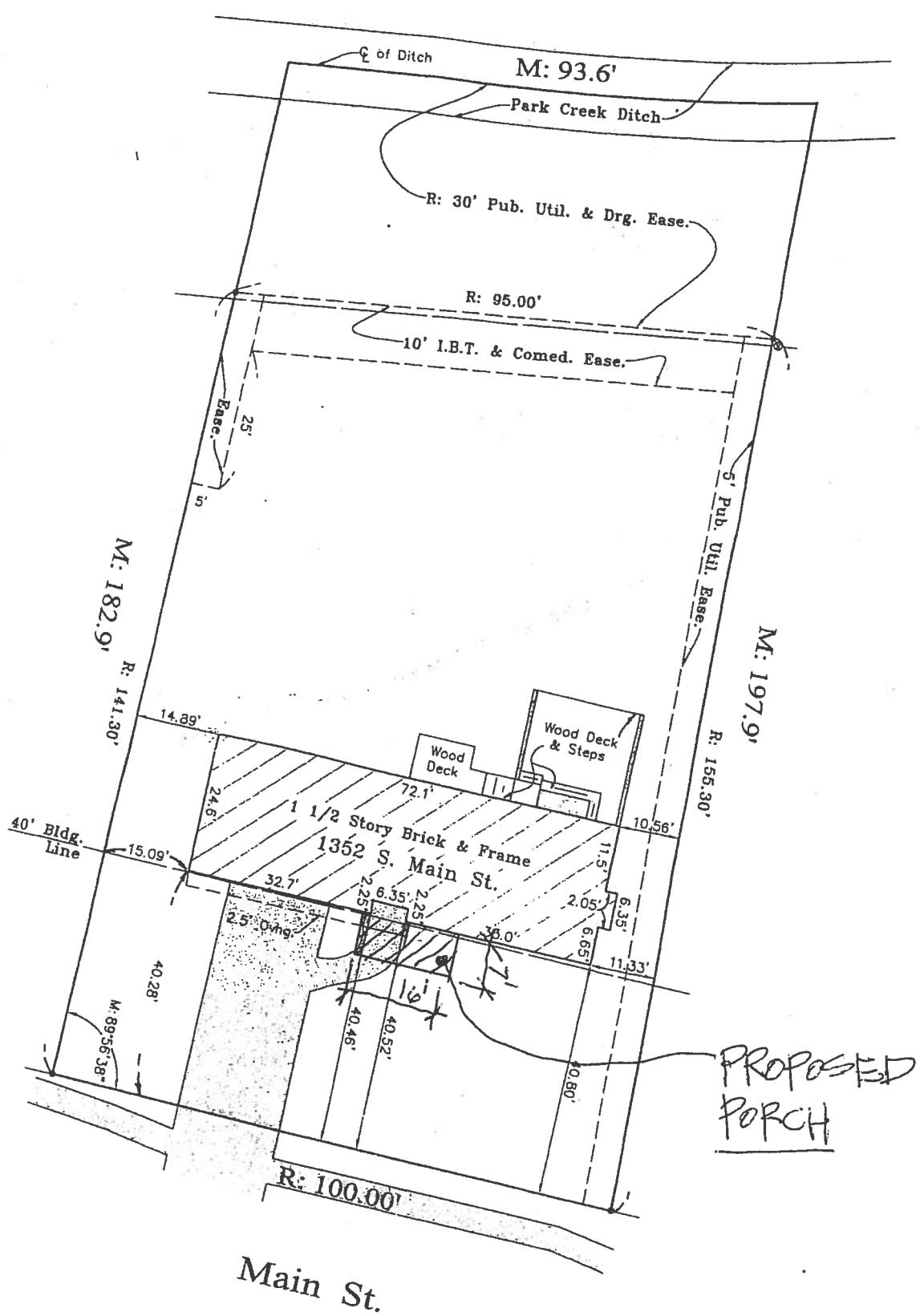
Ayes: Councilman Suess  
Councilman Rutledge  
Mayor Gresk  
Councilman Scalzo

Nays: None

Absent: Councilman Prendiville  
Councilman Saline  
Councilwoman Pacino Sanguinetti

Motion Carried Unanimously

Passed: July 21, 2014  
Published: July 22, 2014



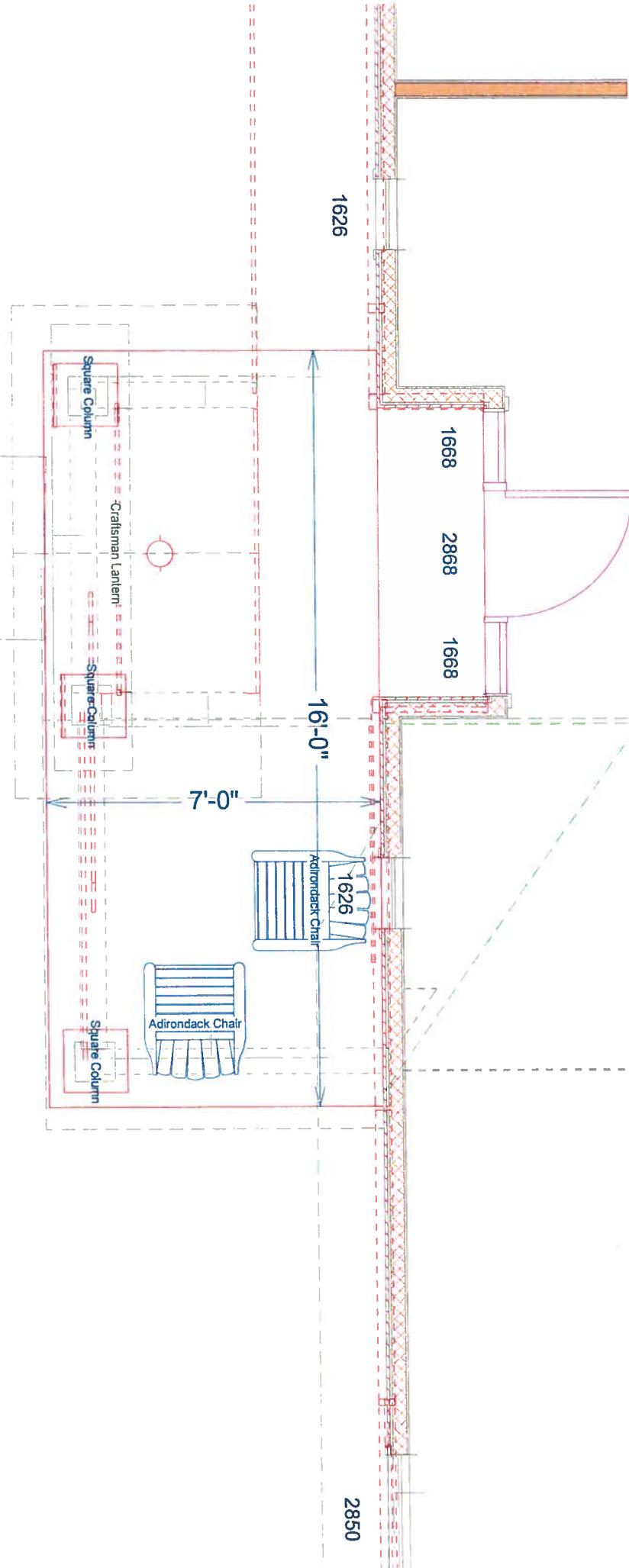
7/1/14



Synergy Builders, Inc.  
850 Meadowview Crossing  
Unit #13  
West Chicago, IL 60185

7/1/14

PROPOSED OPEN  
PORCH FLOOR  
PLAN



7/1/14

