

ORDINANCE NO. F-1799

AN ORDINANCE GRANTING A SPECIAL USE PERMIT TO ALLOW THE CONSTRUCTION AND USE OF A NEW COMMUNITY CENTER ON THE DUPAGE COUNTY HEALTH DEPARTMENT (DCHD) PORTION OF THE DUPAGE COUNTY GOVERNMENT CAMPUS LOCATED AT 111 NORTH COUNTY FARM ROAD - HEALTH DEPARTMENT

WHEREAS, written application has been made requesting a special use permit to allow the construction and use of a new community center on the DuPage County Health Department (DCHD) portion of the DuPage County Government Campus located at 111 North County Farm Road, Wheaton, IL ("Subject Property"); and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on June 10, 2014 to consider the special use permit request; and the Planning and Zoning Board has recommended that the request be granted and approved.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: Pursuant to the Findings of Fact made and determined by the Planning and Zoning Board, a special use permit is granted to allow the construction and use of a new community center all on the following-described property:

THAT PART OF SECTION 18, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED BY BEGINNING AT THE POINT OF INTERSECTION OF THE CENTER LINE OF MANCHESTER ROAD WITH THE CENTER LINE OF COUNTY FARM ROAD AND RUNNING THENCE NORTHERLY ALONG THE CENTER LINE OF COUNTY FARM ROAD 742.12 FEET; THENCE EASTERLY AT RIGHT ANGLES TO SAID CENTER LINE 782.0 FEET; THENCE DEFLECTING 45 DEGREES 00 FEET TO THE RIGHT OF THE LAST DESCRIBED COURSE EXTENDED, 414.69 FEET; THENCE SOUTHERLY PARALLEL WITH THE CENTER LINE OF COUNTY FARM ROAD 355.63 FEET TO THE CENTER LINE OF MANCHESTER ROAD; THENCE SOUTHWESTERLY ALONG THE CENTER LINE OF MANCHESTER ROAD 1079.27 FEET TO THE PLACE OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

P.I.N.: PART OF 05-18-211-001

The subject property is commonly known as the DuPage County Health Department (DCHD) portion of the DuPage County Government Campus located at 111 North County Farm Road, Wheaton, IL.

Section 2: Pursuant to the Findings of Fact made and determined by the Planning and Zoning Board, a special use permit is granted in full compliance with the following plans: "Site Plan", "Exterior Elevations", "Floor Plan", "Site Signage Plan" and "Preliminary Engineering and Landscape Plans - Sheets C0.00 - C4.00 and L1.00 - L2.00" prepared by Wight and Company, Darien, IL, dated April 25, 2014, subject to the following conditions, restrictions and requirements:

1. The applicant shall fully screen any rooftop mechanical equipment with structural elements of the building equal in height to the mechanical units; and
2. The applicant shall construct additional on-site sidewalks to provide a better pedestrian connection with other buildings and the existing sidewalk network; and

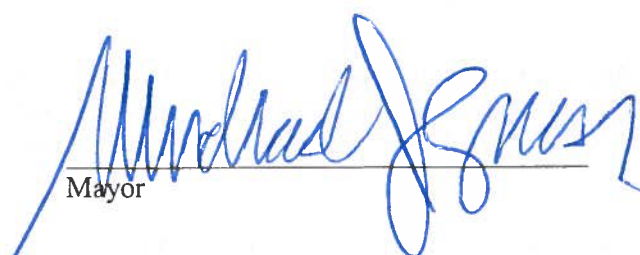
3. The applicant shall construct a dumpster enclosure at the southwest corner of the community center that is constructed of materials to match the exterior of the building.

Section 3: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 4: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.

ATTEST:


City Clerk


Mayor

Roll Call Vote

Ayes: Councilman Rutledge
Councilman Saline
Mayor Gress
Councilwoman Pacino Sanguinetti
Councilman Scalzo
Councilman Suess
Councilman Prendiville

Nays: None

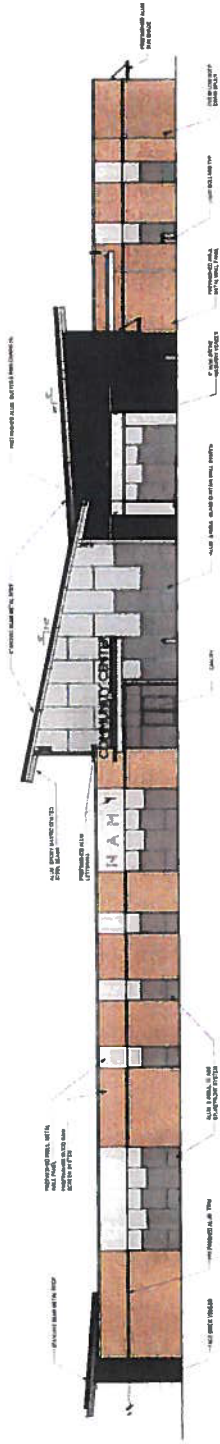
Absent: None

Motion Carried Unanimously

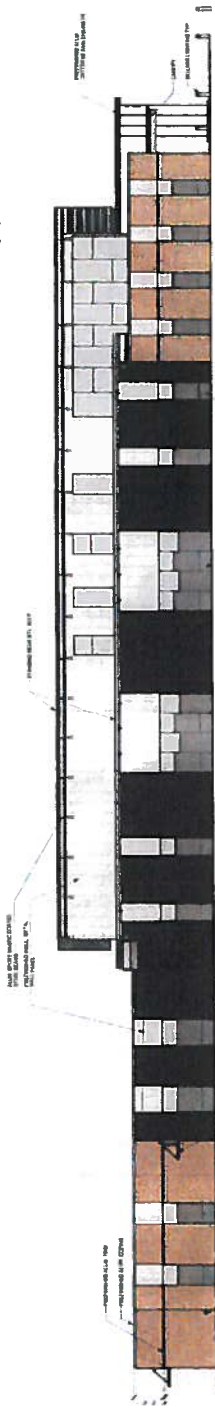
Passed: July 7, 2014

Published: July 8, 2014

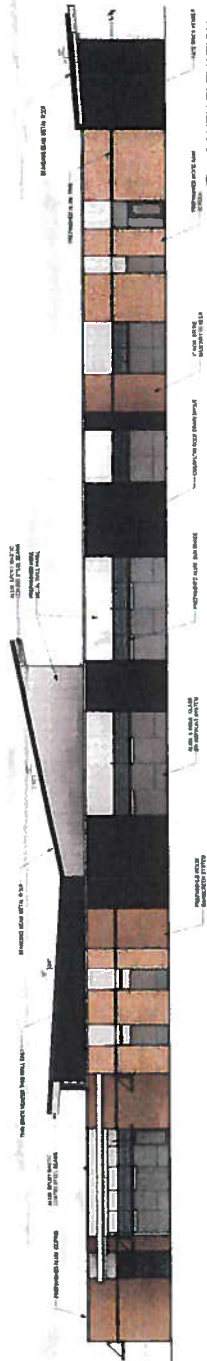




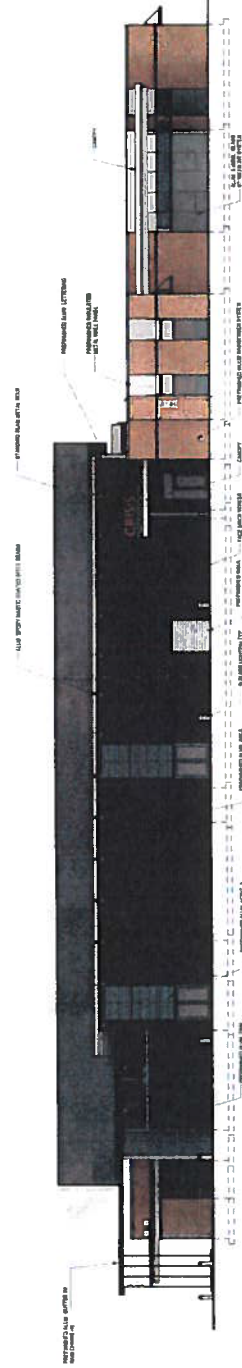
1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"

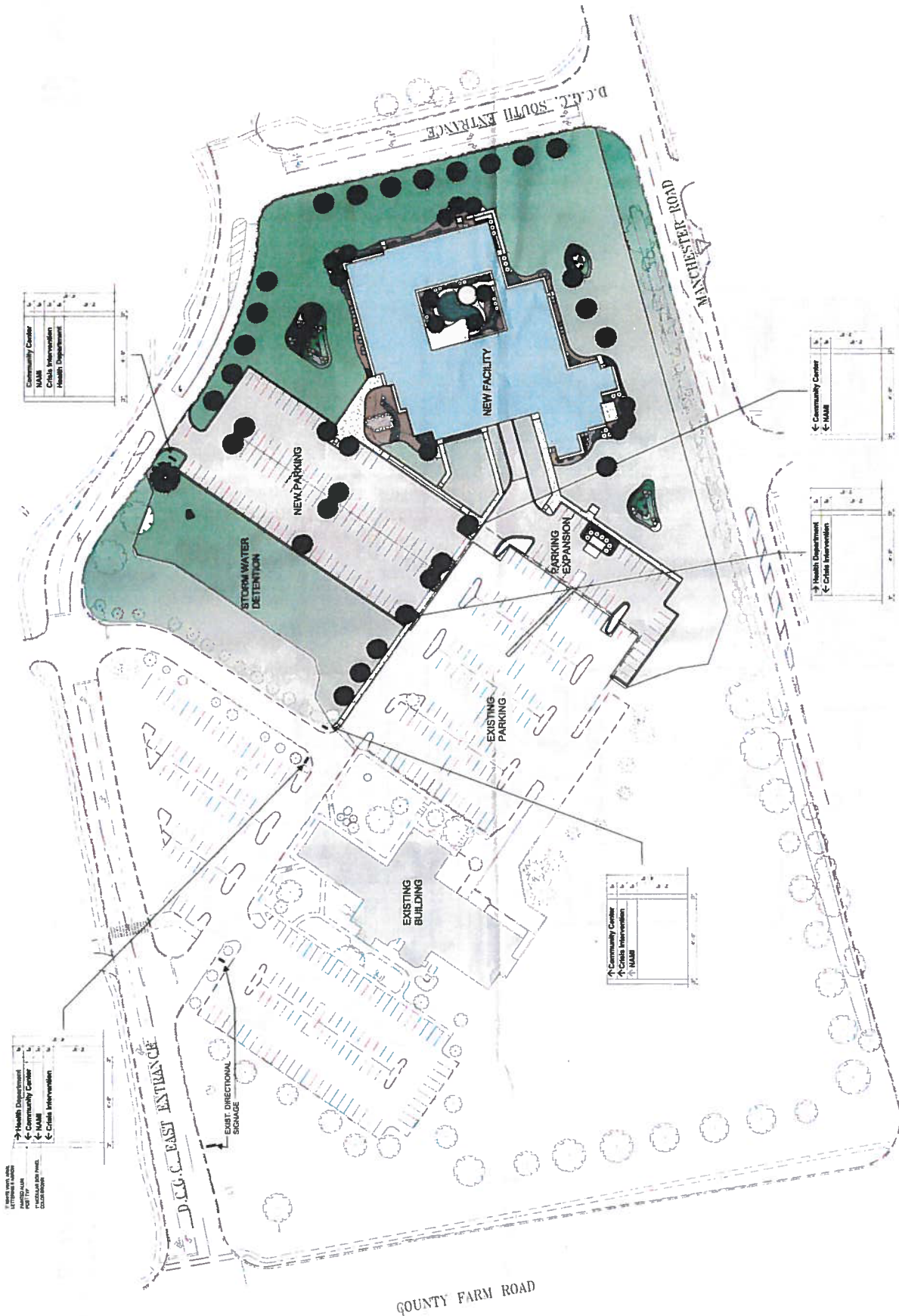


3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



1 WEST ELEVATION
SCALE: 1/8" = 1'-0"





**THE COMMUNITY CENTER
SITE SIGNAGE PLAN**

April 25, 2014



**DUPAGE COUNTY
HEALTH DEPARTMENT**

DUPAGE COUNTY HEALTH DEPARTMENT BEHAVIORAL HEALTH & SCIENCE BUILDING

111 N. COUNTY FARM ROAD
WHEATON, ILLINOIS, 60187

PROJECT TEAM

CLIENT
DUPAGE COUNTY HEALTH DEPARTMENT
111 N. COUNTY FARM ROAD
WHEATON, IL 60187
PHONE: (630) 965-7000
FAX: (630) 965-7000
CONTACT: SHARON BENDER
Design Firm Registration #184-000451

LANDSCAPE ARCHITECT:
WIGHT & COMPANY
2500 NORTH FRONTRIDGE
DURHAM, IL 60551
PHONE: (630) 965-7000
FAX: (630) 965-7000
CONTACT: ANTHONY SALLERBERG
Design Firm Registration #184-000451

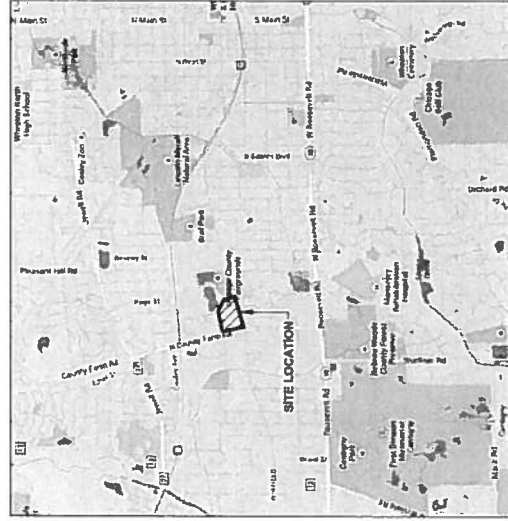
ARCHITECT:
WIGHT & COMPANY
2500 NORTH FRONTRIDGE
DURHAM, IL 60551
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FAX: (630) 965-7000
CONTACT: ANTHONY SALLERBERG
Design Firm Registration #184-000451

**MECHANICAL/ELECTRICAL/PLUMBING/
FIRE PROTECTION ENGINEER:**
WIGHT & COMPANY
2500 NORTH FRONTRIDGE
DURHAM, IL 60551
PHONE: (630) 965-7000
FAX: (630) 965-7000
CONTACT: ANTHONY SALLERBERG
Design Firm Registration #184-000451

STRUCTURAL ENGINEER:
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2500 NORTH FRONTRIDGE
DURHAM, IL 60551
PHONE: (630) 965-7000
FAX: (630) 965-7000
CONTACT: ANTHONY SALLERBERG
Design Firm Registration #184-000451

CONSTRUCTION MANAGER:
WIGHT & COMPANY
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PHONE: (630) 965-7000
FAX: (630) 965-7000
CONTACT: ANTHONY SALLERBERG
Design Firm Registration #184-000451

CIVIL ENGINEER:
WIGHT & COMPANY
2500 NORTH FRONTRIDGE
DURHAM, IL 60551
PHONE: (630) 965-7000
FAX: (630) 965-7000
CONTACT: ANTHONY SALLERBERG
Design Firm Registration #184-000451



LOCATION MAP

BENCHMARKS

DUPAGE COUNTY BENCHMARK MARKS 0001 AND 0002
BROOKLYN DISKS IN CONCRETE
MAYBE VERTICAL DATUM
0001 ELEVATION=726.05
0002 ELEVATION=726.06

FOR UNDERGROUND UTILITY LOCATIONS,

CALL JILLIE
TOLL FREE TEL 1-800-897-0123

JILLIE SUBURBS & DIGG CHICAGO

- YELLOW _____ GAS
- RED _____ ELECTRICAL
- ORANGE _____ PHONE / TV
- BLUE _____ COMMUNICATION
- GREEN _____ WATER
- WHITE _____ SEWER
- WHITE _____ SAFE TO DIG

INDEX OF DRAWINGS

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 - C1.00 EXISTING CONDITIONS & DEMOLITION PLAN
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 - C3.04 EROSION & SEDIMENT CONTROL PLAN PHASE II
 - C3.05 EROSION & SEDIMENT CONTROL PLAN OPEN SPACE WEST
 - C3.06 STORMWATER POLLUTION PREVENTION PLAN
 - C4.00 UTILITY PLAN
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 - L1.01-L1.02 ENLARGED LANDSCAPE PLAN
 - L1.03 HEALING GARDEN ENLARGED LANDSCAPE PLAN
 - L1.04 RESTORATION PLAN WEST OPEN SPACE
 - L2.00 LANDSCAPE PLANT LIST, NOTES, & DETAILS

LEGEND

ITEM REMOVAL

X LINEAR ITEM REMOVAL

/// FULL DEPTH HMA PAVEMENT AND BASE REMOVAL

REMOVE GRAVEL

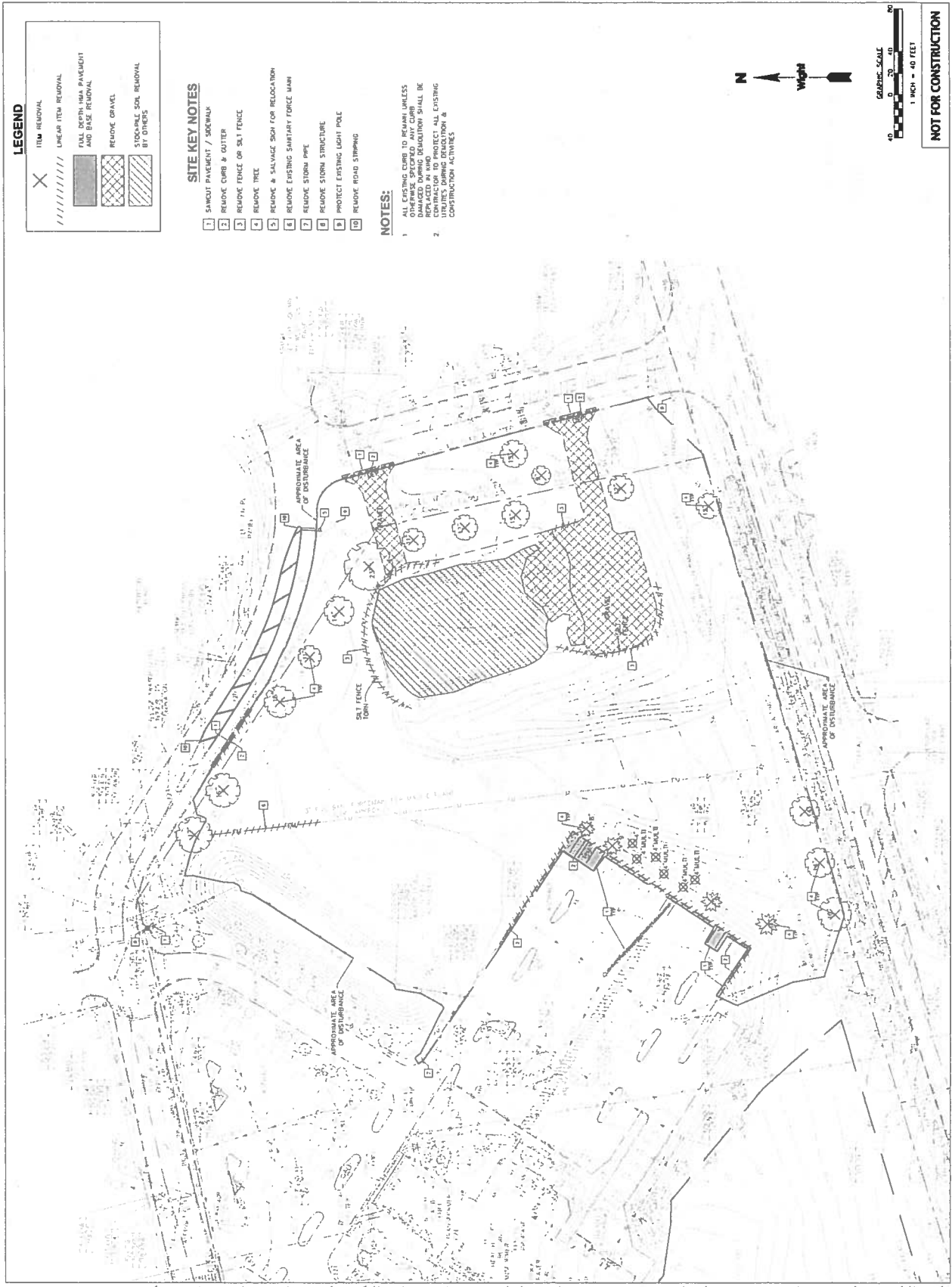
STOCKPILE SOIL REMOVAL BY OTHERS

SITE KEY NOTES

1. SANICUT PAVEMENT / SIDEWALK
2. REMOVE CURB & GUTTER
3. REMOVE FENCE OR SUT FENCE
4. REMOVE TREE
5. REMOVE & SALVAGE SIGN FOR RELOCATION
6. REMOVE EXISTING SANITARY FORCE MAIN
7. REMOVE STORM PIPE
8. REMOVE STORM STRUCTURE
9. PROTECT EXISTING LIGHT POLE
10. REMOVE ROAD STRING

NOTES:

1. ALL EXISTING CURBS TO REMAIN UNLESS OTHERWISE SPECIFIED. ANY CURB DAMAGED DURING DEMOLITION SHALL BE RECONSTRUCTED TO MATCH ADJACENT CURBS.
2. CONTRACTOR TO PROTECT ALL EXISTING UTILITIES DURING DEMOLITION & CONSTRUCTION ACTIVITIES.



wight

Wight & Company
wightco.com
2500 North Heritage Road
Darien, IL 60418
P 630.369.2000
F 630.369.2979

REV DESCRIPTION DATE

4/24/14

**DUPAGE COUNTY
HEALTH DEPARTMENT
BEHAVIORAL HEALTH
& SCIENCE BUILDING
111 N. COUNTY/FARM ROAD
WHEATON, ILLINOIS 60187**

**EXISTING CONDITIONS &
DEMOLITION PLAN**

Project Number: 01-2014-01
Drawn By:
Sheet:

C1.00

LEGEND

- | | |
|---|----------------------------|
|  | STANDARD DUTY HMA PAVEMENT |
|  | PCC SIDEWALK |
|  | HEAVY DUTY CONCRETE |
|  | DETECTABLE TILE WARNINGS |

SITE KEY NOTES

- | | |
|----|--|
| 1 | SAUCUT PAVEMENT / SIDEWALK |
| 2 | BE-12 CURB & GUTTER |
| 3 | ELECTRIC TRANSFORMER PAD - REFER TO MEP |
| 4 | CONCRETE FROST STOP |
| 5 | ACCESSIBLE CURB RAMP |
| 6 | ACCESSIBLE PARKING STALL AND LOADING ZONE |
| 7 | 4" SLOD PARKING STRIP, TRAFFIC WHITE PAINT |
| 8 | 24" SLOD BAY, TRAFFIC WHITE PAINT |
| 9 | CROSSWALK MARKING |
| 10 | 8"X17" DIAMETER ENCLOSURE PAD - SEE PLANS |
| 11 | 6"X100" FENCE ENCLOSURE - SEE ARCHITECTURAL PLANS |
| 12 | CONCRETE BUMP #1 EFFECTIVE MEASUREMENT AREA=1000' SQ |
| 13 | RAIN GARDEN BUMP #2: EFFECTIVE MEASUREMENT AREA=500' SQ |
| 14 | BUMP #3 EFFECTIVE MEASUREMENT AREA=1700' SQ |
| 15 | MEASUREMENT TRUCK BUMP #4: EFFECTIVE MEASUREMENT AREA=1100' SQ |
| 16 | RAIN CHAIN MEASUREMENT BENCH BUMP#5: EFFECTIVE MEASUREMENT AREA=1100' SQ |
| 17 | DOWNPOUT SPUSH STOP - SEE LANDSCAPE |
| 18 | 8"X12" DRY COVER STORAGE PAD - COORDINATE WITH MEP & ARCHITECTURAL PLANS |
| 19 | ELECTRIC GENERATOR PAD - REFER TO MEP PLANS |
| 20 | CONCRETE PAD FOR FUTURE GREENHOUSE |
| 21 | 4" ROAD STRIPING, AT 45' ANGLE, 4" D.C. TRAFFIC YELLOW PAINT |
| 22 | 4" SLOD ROAD STRIPING, TRAFFIC WHITE PAINT |
| 23 | STOP SIGN |
| 24 | YIELD PARKING SIGN - SEE CIVIL DETAILS |
| 25 | TRAFFIC MARKING DIRECTIONAL ARROW, TRAFFIC WHITE PAINT |
| 26 | 4" DOUBLE SLOD ROAD STRIPING, TRAFFIC YELLOW PAINT |
| 27 | 4" DOUBLE SLOD ROAD STRIPING, TRAFFIC WHITE PAINT |

NOTES:

1. ALL EXISTING CURB TO REMAIN UNLESS OTHERWISE SPECIFIED BY THE CITY ENGINEER. ANY CURB DAMAGED DURING DEMOLITION SHALL BE REPLACED BY THE BIDDER.
2. ALL DIMENSIONS ARE TO THE BACK OF CURB/EDGE OF PAVEMENT UNLESS OTHERWISE SHOWN.
3. ALL ROAD DIMENSIONS ARE TO THE BACK OF CURB/EDGE OF PAVEMENT UNLESS OTHERWISE SHOWN.
4. CONTRACTOR TO PROTECT ALL EXISTING UTILITIES DURING DEMOLITION & CONSTRUCTION ACTIVITIES. THE RIGHT-OF-WAY SHALL BE PROTECTED BY A 12" CONCRETE CURB. ALL ITEMS DESTROYED SHALL BE REPLACED BY THE BIDDING INCLUDING LANDSCAPING, CURB, SIDEWALK, PAVEMENT, ETC.
5. EXISTING CURB, SIDEWALK AND TO BE PROTECTED WITH 12" CONCRETE CURB.



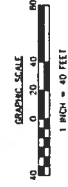
NOT FOR CONSTRUCTION

PROJECT DATA

PROJECT DATA

05-18-107-001	SITE AREA 14.01 AC
09-18-211-001	AREA OF 6 TO AC DISTURBANCE
09-18-400-001	EASTING IMPERVIOUS AREA 1,749 SF
	PROPOSED IMPERVIOUS 9,083 SF AREA
	PAVING PROVIDED 1.33 SPACES

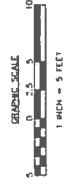
1. CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AT ALL AREAS OF PARKING LOT/PROXIMITY TO DRAINAGE STRUCTURES AND FOR DRAINAGE OF DRIVEWAYS, STRUCTURES AND/OR DRIVEWAYS. CONTRACTOR TO PROVIDE DETAILED SURVEY OF DETENTION AREAS A AND B PROPOSED FOR CONSTRUCTION.
2. CONTRACTOR TO PROTECT ALL EXISTING UTILITIES AND ALL EXISTING UTILITY STRUCTURES SHALL BE MAINTAINED AND NOT BE REMOVED OR GRADED. ALL EXISTING UTILITY STRUCTURES REQUIRING ADJUSTMENT OR RECONSTRUCTION TO THE SATISFACTION OF THE UTILITY OWNER SHALL BE RECONSTRUCTED TO MEET ALL ADJUSTMENTS AND/OR RECONSTRUCTIONS NOT DISCLOSED HEREON. TO THE CONTRACTOR BE AWARE THAT A TOTAL OF 12 INCHES OF ADJUSTING HOLE AND/OR 2' ADJUSTING RISERS SHALL BE ALLOWED.
3. ALL SITE WORK SHALL BE IN CONFORMANCE WITH THE CITY OF CHICAGO AND WITH THE AMERICAN STANDARDS WITH DRAINABLE AT.
4. RAMP(S) SHALL NOT EXCEED A RUNNING SLOPE OF MAXIMUM CROSS-SLOPE ON ANY WALK OF PAVEMENT SHALL BE 2%.
5. ALL ACCESSIBLE PARKING SPACES SHALL BE 8' BY 12'.
6. ALL ACCESSIBLE DRIVEWAYS SHALL BE A MINIMUM 12' BY 20'.



NOT FOR CONSTRUCTION

ADJUST TO FINISHED GRADE
WATCH EXISTING ELEVATION
HIGH POINT
ADJUST TO FLOW LINE ELEVATION
ADJUST TO CURB ELEVATION
ADJUST TO GROUND ELEVATION
ADJUST TO TOP OF SIDEWALK ELEVATION
ADJUST TO DEPRESSION CURB ELEVATION
ADJUST TO TOP OF WALL ELEVATION
ADJUST TO BOTTOM OF WALL ELEVATION
EXISTING CONTOUR LINE
PROPOSED CONTOUR LINE
3/8" = 1' FEET
SURF FLOW DIRECTION
100 YR OVERLAND FLOW ROUTE
REVERSE PITCH
CURL
BUMP AREA

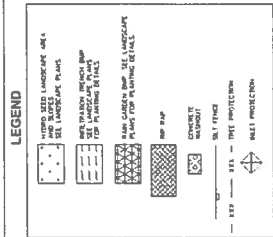
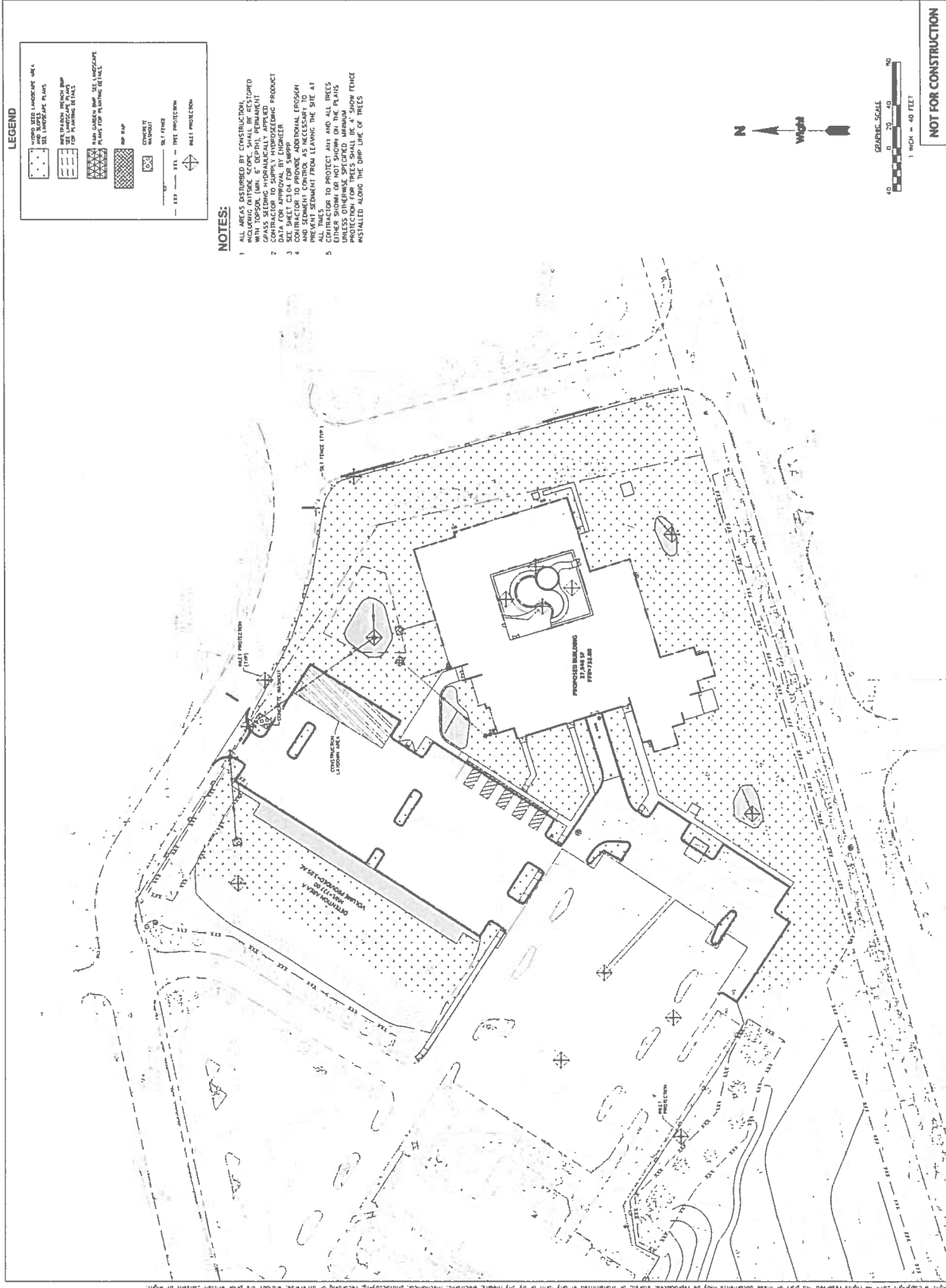
1. CONTRACTOR TO PROVIDE POSITIVE DRAINAGE IN ALL AREAS OF CENTRAL PLAZA TO DRAINAGE STRUCTURES
2. ALL SITE WORK SHALL BE IN CONFORMANCE WITH THE ACCESSIBILITY CODE AND WITH THE ALPHABETIC WITH DISABILITIES ACT
3. PAVING SHALL NOT EXCEED A ROLLING SLOPE OF 1.12 (OR 3:8)
4. MAXIMUM CROSS-SLOPE ON ANY WALK OR RAMPS SHALL BE 2% ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION



NOT FOR CONSTRUCTION



NOT FOR CONSTRUCTION



- NOTES:**
1. ALL AREAS DISTURBED BY CONSTRUCTION, INCLUDING OUTSIDE SCOPES, SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
 2. CONTRACTOR TO SUPPLY HYDROSEEDING PRODUCT TO BE USED FOR ALL DISTURBED AREAS.
 3. SET SLOPE TO 2% FOR ALL DISTURBED AREAS.
 4. CONTRACTOR TO PROVIDE ADDITIONAL EROSION CONTROL MEASURES AS REQUIRED TO PREVENT SEDIMENT FROM LEAVING THE SITE AT ALL TIMES.
 5. ALL TREES TO BE PROTECTED AND ALL TREES EITHER SHOWN OR NOT SHOWN ON THE PLANS UNLESS OTHERWISE SPECIFIED, REMAIN UNLESS OTHERWISE SPECIFIED, AND SHALL BE MAINTAINED ALONG THE DRIVE LINE OF TREES.

wight

Wight & Company
wight.com
2400 North Fenwick Road
Darien, IL 60551
P 630.982.7200
F 630.982.7979

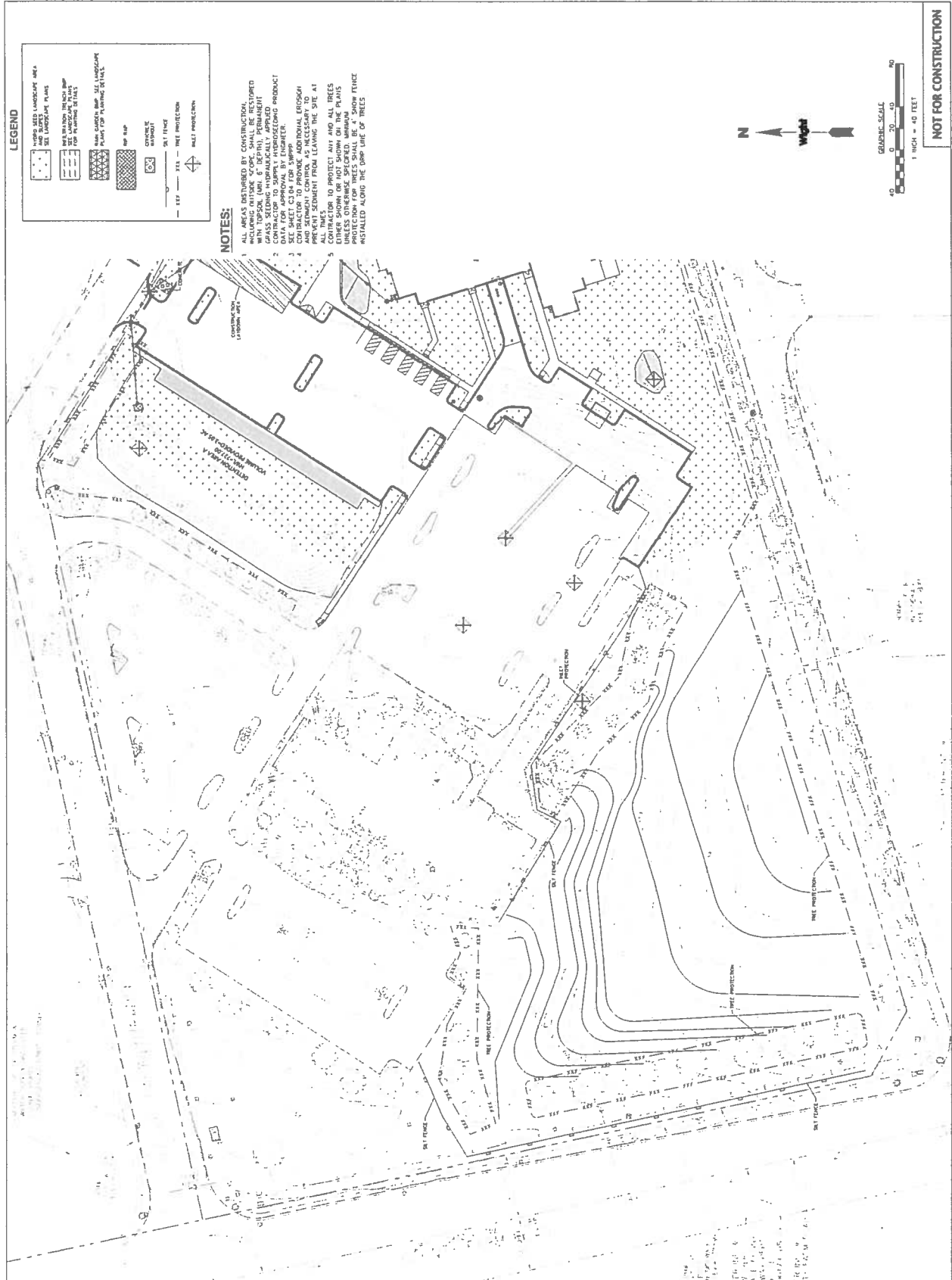
SPECIAL USE PERMIT 4/20/14
REV DESCRIPTION DATE

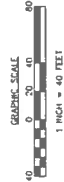
**DUPAGE COUNTY
HEALTH DEPARTMENT
BEHAVIORAL HEALTH
& SCIENCE BUILDING**
111 N. COUNTY FARM ROAD
WHEATON, ILLINOIS 60187

**EROSION & SEDIMENT
CONTROL PLAN
PHASE II**

Project Number:
0-2011-01
Drawn By:
Date:

C3.04

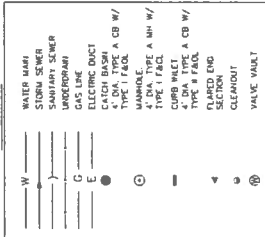




UTILITY CROSSINGS

- | | | | |
|----|---|-----|---|
| C1 | TOP OF WATER = 722.92
BOTTOM OF SIM = 722.31
WATER MASH PROTECTION = 50
(WATER MASH PROTECTION AND
WATER QUANT. PIPE) | C2 | TOP OF WATER = 725.10
BOTTOM OF SIM = 725.10
WATER MASH PROTECTION = 50
(WATER MASH PROTECTION AND
WATER QUANT. PIPE) |
| C3 | TOP OF WATER = 726.31
BOTTOM OF SIM = 726.31
WATER MASH PROTECTION = 50
(WATER MASH PROTECTION AND
WATER QUANT. PIPE) | C4 | TOP OF WATER = 727.64
BOTTOM OF SIM = 727.64
WATER MASH PROTECTION = 50
(WATER MASH PROTECTION AND
WATER QUANT. PIPE) |
| C5 | TOP OF WATER = 728.07
BOTTOM OF SIM = 728.07
WATER MASH PROTECTION = 50
(WATER MASH PROTECTION AND
WATER QUANT. PIPE) | C6 | TOP OF WATER = 728.52
BOTTOM OF SIM = 728.52
WATER MASH PROTECTION = 50
(WATER MASH PROTECTION AND
WATER QUANT. PIPE) |
| C7 | TOP OF WATER = 729.08
BOTTOM OF SIM = 729.08
WATER MASH PROTECTION = 50
(WATER MASH PROTECTION AND
WATER QUANT. PIPE) | C8 | TOP OF WATER = 729.69
BOTTOM OF SIM = 729.69
WATER MASH PROTECTION = 50
(WATER MASH PROTECTION AND
WATER QUANT. PIPE) |
| C9 | TOP OF WATER = 730.19
BOTTOM OF SIM = 730.19
WATER MASH PROTECTION = 50
(WATER MASH PROTECTION AND
WATER QUANT. PIPE) | C10 | TOP OF WATER = 730.70
BOTTOM OF SIM = 730.70
WATER MASH PROTECTION = 50
(WATER MASH PROTECTION AND
WATER QUANT. PIPE) |

LEGEND



NOTES:

- [illegible]

Structure Table	
Structure Name	Structure Details
STM 1.0	RM = 727.24 15°-RCP SE = 721.20
STM 1.1	RM = 728.55 12°-RCP SE = 725.07 6°-PVC E = 726.45 15°-RCP NW = 724.82
STM 1.2	RM = 732.58 12°-RCP E = 725.41 12°-RCP NW = 725.41
STM 1.3	RM = 730.27 12°-RCP NE = 726.18 12°-RCP W = 726.16
STM 1.4	RM = 729.95 6°-PVC NE = 727.90 12°-RCP SW = 727.44

Structure Name	Structure Delta
STM 2 0	$\Delta_{\text{PVC}} = 731.29$ $12^{\circ}\text{-RCF } S = 726.33$ $12^{\circ}\text{-RCF } N = 726.33$
STM 2 1	$\Delta_{\text{PVC}} = 727.91$ $6^{\circ}\text{-PVC } W = 727.17$ $12^{\circ}\text{-RCF } SE = 726.67$ $12^{\circ}\text{-RCF } E = 726.67$ $12^{\circ}\text{-RCF } N = 726.67$
STM 2 2	$\Delta_{\text{PVC}} = 731.18$ $12^{\circ}\text{-RCF } NW = 727.00$
STM 2 3	$\Delta_{\text{PVC}} = 727.00$ $12^{\circ}\text{-RCF } W = 727.00$

Structure Name	Structure Details
STM 3.0	RM = 722.57 18°-RCP E = 720.76
STM 3.1	RM = 722.93 18°-RCP SE = 721.13 18°-RCP W = 721.13
STM 3.2	RM = 723.10 18°-RCP SE = 721.29 18°-RCP NW = 721.29
STM 3.3	RM = 723.01 E°-PVC E = 722.06

Structure Table	
Structure Name	Structure Details
STM 4.0	RM = 720.22 12°-RCP SW = 725.78
STM 4.1	RM = 732.11 B°-PVC S = 727.11 12°-RCP NE = 726.78

Structure Table	
Structure Name	Structure Details
STM 5.0	RAM = 726.50 12" RCP S = 725.35

--

NOT FOR CONSTRUCTION

C4.00

Project Number
01-5347-01
Drawn By

1

SPECIAL USE PERMIT 4/25/14

**DUPAGE COUNTY
HEALTH DEPARTMENT
BEHAVIORAL HEALTH
& SCIENCE BUILDING**
111 N. COUNTY FARM ROAD
WHEATON, ILLINOIS 60187

UTILITY PLAN

wight

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wrightco.com
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Durham, N. 28561
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F 630.969.7979

SPECIAL USE PERMIT 4/25/14

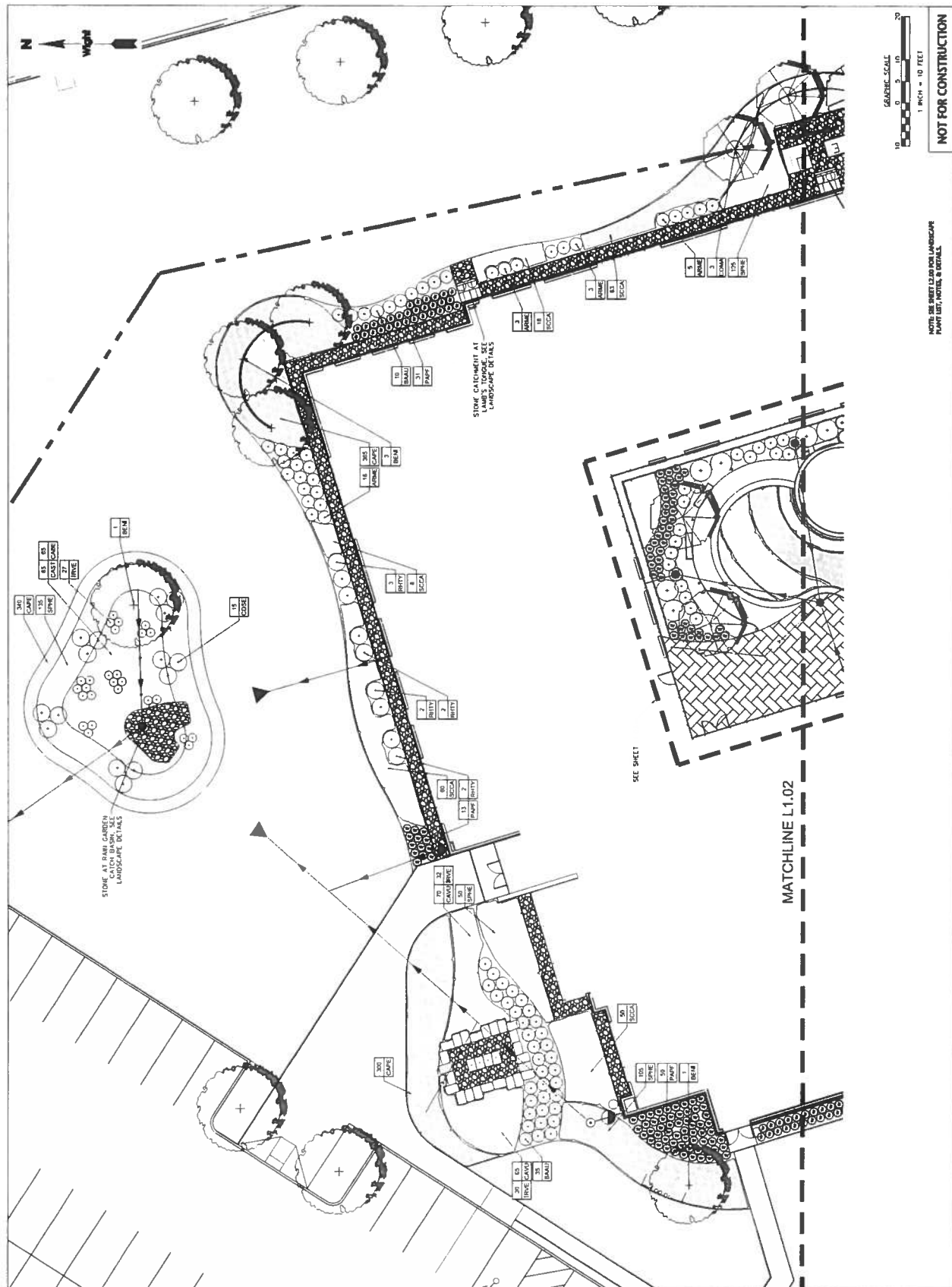
**DUPAGE COUNTY
HEALTH DEPARTMENT
BEHAVIORAL HEALTH
& SCIENCE BUILDING**
111 N. COUNTY FARM ROAD
WHEATON, ILLINOIS 60187

UTILITY PLAN

Project Number
01-5347-01
Drawn By

1

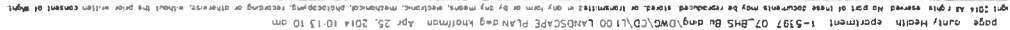
C4.00

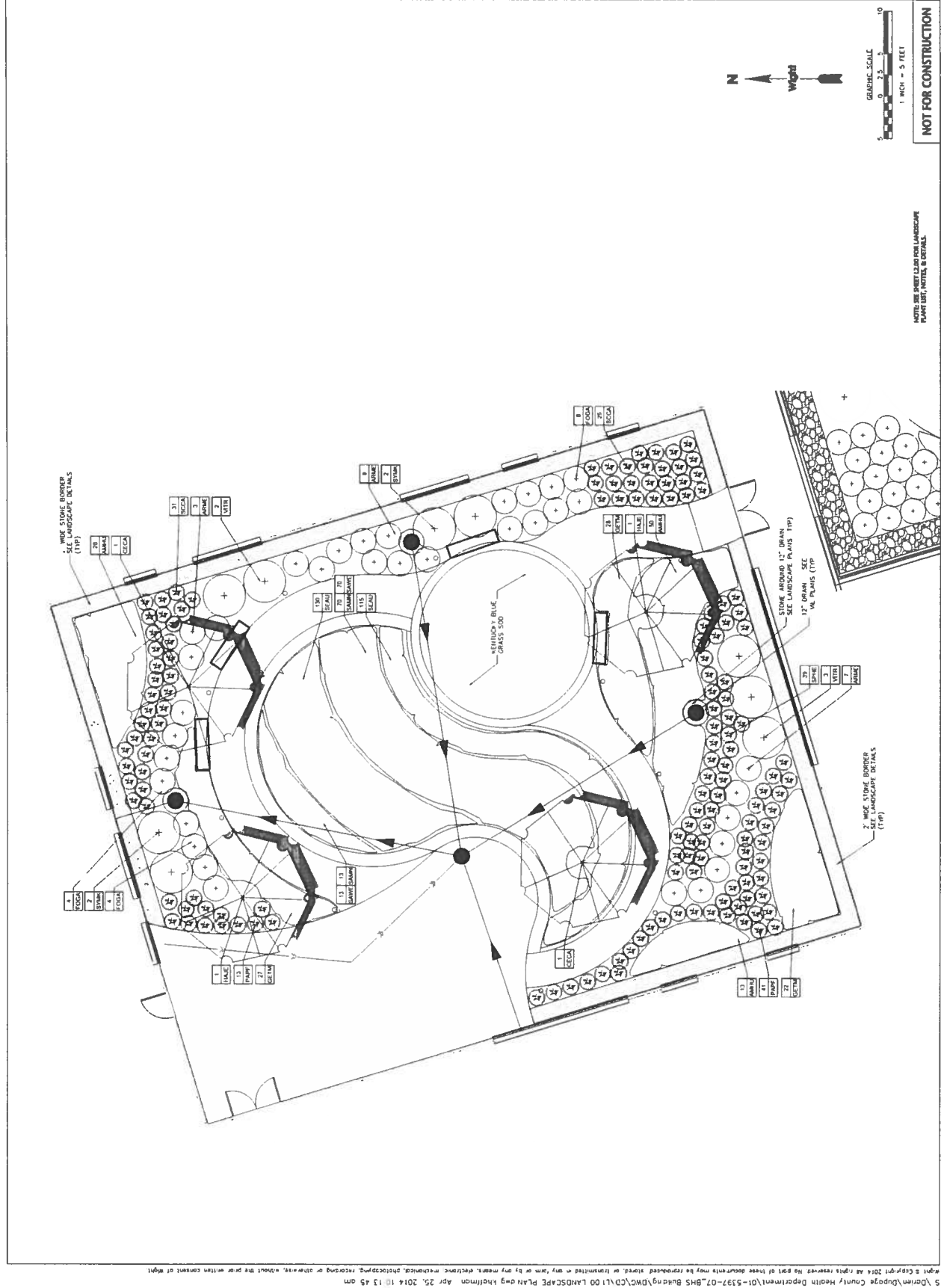


NOTE: SEE SHEET L2.00 FOR LANDSCAPE
IN AMT 157. NOTES & DETAILS.

NOT FOR CONSTRUCTION

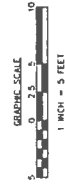
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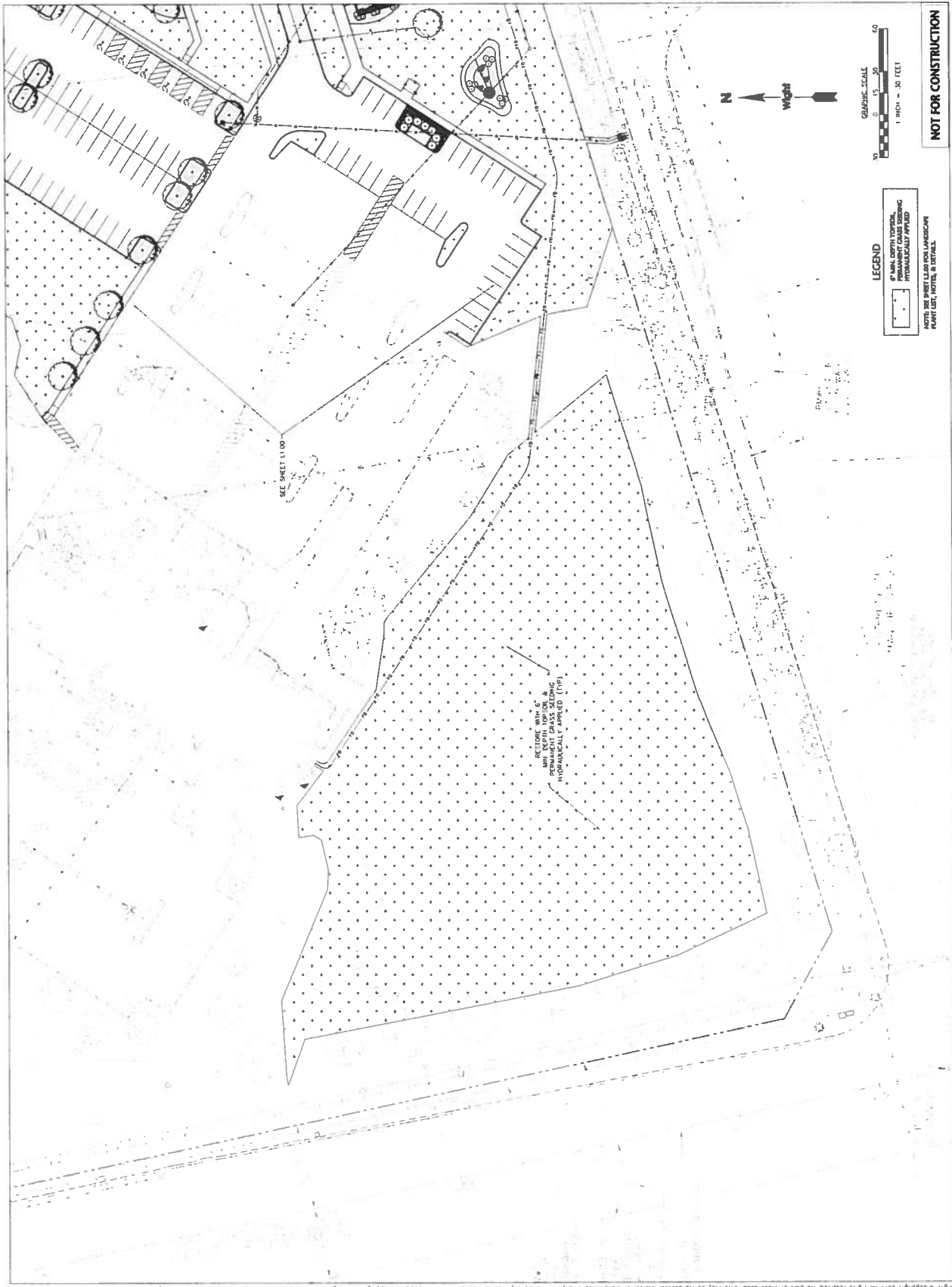




NOTES: SEE SHEET L2.03 FOR LANDSCAPE
 PLANT LIST, NOTES, & DETAILS.

NOT FOR CONSTRUCTION





NOT FOR CONSTRUCTION

Project Number
0-2541-01
Drawn By
Sheet

L1.04

**RESTORATION PLAN
WEST OPEN SPACE**

**111 N. COUNTY FAIRWAY ROAD
WHEATON, ILLINOIS 60187**

**DUPAGE COUNTY
HEALTH DEPARTMENT
BEHAVIORAL HEALTH
& SCIENCE BUILDING**

DATE: 4/2/14
DESCRIPTION: SPECIAL USE PERMIT



wight
Wight & Company
wightco.com
2400 North Frontage Road
Darien, IL 60541
P 630.969.7000
F 630.969.7979

PLANT LIST - BEHAVIORAL HEALTH & SCIENCE BUILDING

[illegible]

LANDSCAPE NOTES:

- [illegible]

