

ORDINANCE NO. F-1640

AN ORDINANCE GRANTING A SPECIAL USE PERMIT FOR A PLANNED UNIT DEVELOPMENT (PUD) TO ALLOW THE CONSTRUCTION AND USE OF A SENIOR HOUSING DEVELOPMENT AT 219 EAST PARKWAY DRIVE – SUPPORTIVE LIVING SERVICES

WHEREAS, written application has been to amend the Zoning Map, which is attached to and forms a part of the Zoning Ordinance of Wheaton, Illinois, by the issuance of a special use permit for a planned unit development (PUD) to allow the construction and use of a senior housing development at 219 East Parkway Drive, all on the property legally described herein within the city limits of Wheaton, IL, ("Subject Property"); and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on March 13, 2012, April 10, 2012 and April 24, 2012 to consider the issuance of a special use permit for a planned unit development (PUD) to allow the construction and use of a senior housing development; and the Planning and Zoning Board has recommended that the request be granted and approved with a 6-1 vote in favor of the application; and

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: The following described property has been and continues to be zoned and classified in the R-5 Residential District zoning classification:

LOTS 1 AND 2 IN PARKWAY TERRACE RESUBDIVISION, BEING A RESUBDIVISION IN THE NORTHWEST ¼ OF SECTION 9, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 5, 1990, AS DOCUMENT R90-116072, IN DUPAGE COUNTY, ILLINOIS.

P.I.N.: 05-09-108-051

The Subject Property is commonly known as 219 East Parkway Drive, Wheaton, IL 60187.

Section 2: Pursuant to the Findings of Fact made and determined by the Planning and Zoning Board, a special use permit for a planned unit development (PUD) to allow the construction and use of a senior housing development is granted in full compliance with the following plans: "Assisted Living Center, 219 East Parkway Drive - Site Plan, Landscape Plan, Floor Plans and Exterior Elevations" prepared by Pappageorge Haymes Partners, Chicago, IL, sheets 1 - 8, dated February 14, 2012 and "Heritage Woods of Wheaton - Preliminary Engineering Plans" prepared by Eriksson Engineering, Grayslake, IL, sheets C-3, C-4, C-4.1, DE-1 and DE-2, dated February 14, 2012 and in further compliance with the following conditions, restrictions, and requirements:

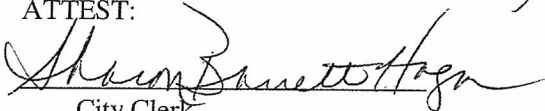
1. Prior to issuance of a certificate of occupancy, the applicant submit a report to the City outlining what environmentally friendly practices were incorporated into the design and construction of the project; and
2. The applicant shall prepare a plat of easement grant dedicating stormwater management and utility easements which shall be submitted to the Director of Engineering for approval prior to issuing any permits for the Subject Property; and

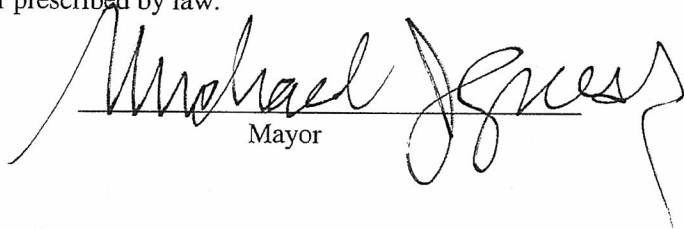
3. The applicant shall construct a public sidewalk across the frontage of the parcel west of the site in lieu of constructing a public sidewalk fronting the Subject Property; and
4. Prior to issuing any permits for the Subject Property, the applicant shall submit a tree preservation plan prepared in accordance with Article XI of the City of Wheaton Zoning Ordinance; and
5. The developer shall pay all impact fees, including Wheaton Park District impact fees in the amount of \$20,000.00 by agreement between the Developer and the Wheaton Park District.

Section 3: All Ordinances or parts of Ordinances in conflict with these provisions are repealed.

Section 4: This Ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.

ATTEST:


City Clerk


Mayor

Roll Call Vote:

Ayes: Councilwoman Ives
Councilman Mouhelis
Councilman Rutledge
Mayor Gresk
Councilwoman Pacino Sanguinetti
Councilman Scalzo
Councilman Suess

Nays: None

Absent: None

Motion Carried Unanimously

Passed: May 21, 2012
Published: May 22, 2012



PAPPAGEORGE
HAYMES

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2/14/2012
P/H # 112086

These plans are schematic and are subject to further refinement for compliance with code required egress, life safety improvements and coordination with existing systems.



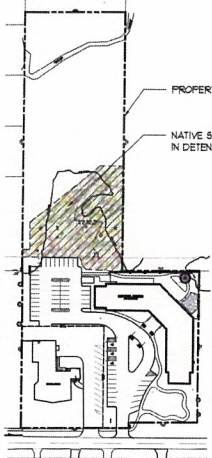
Schematic Landscape Plan
Scale: 1" = 20' 0"



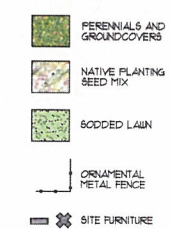
PLANT LIST

CODE	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	TOTAL	ADDITIONAL NOTES
SHADE TREES						
AP	ACER x FREEMANI 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	3" CAL.	B 4 B 1	1	BRANCHED UP 6'
AT	ACER HYBARI 'STATE STREET HYORTON'	STATE STREET HYABR MAPLE	3" CAL.	B 4 B 5	6	BRANCHED UP 6'
GT	GLYSTRISIA T. VAR. NERITA 'SCYLLA'	SCYLLA HONEYLOCUST	3" CAL.	B 4 B 5	5	BRANCHED UP 6'
PC	PIRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	3" CAL.	B 4 B 5	2	BRANCHED UP 6'
QB	QUERCUS BICOLOR	SWAMP WHITE OAK	3" CAL.	B 4 B 5	2	BRANCHED UP 6'
OR	QUERCUS BOREALIS	NORTHERN RED OAK	3" CAL.	B 4 B 5	2	BRANCHED UP 6'
UC	ULMUS CARPINIFOLIA 'ACCOLADE'	ACCOLADE ELM	3" CAL.	B 4 B 5	5	BRANCHED UP 6'
EVERGREEN TREES						
AC	ABIES CONCOLOR	WHITE FIR	1" HT	B 4 B 5	13	
PP	PICEA PUGANS	COLORADO GREEN SPRUCE	1" HT	B 4 B 5	8	
ORNAMENTAL TREES						
AG	ARALIA ELAEOCARPA & 'AUTUMN BRILLIANCE'	APPLE SERVICEBERRY	1" HT	B 4 B 5	10	CLIFF FORM
CC	CRATAEGUS CRUGALLI VAR. NERITA	THORNLESS COCKSPUR HAWTHORN	1" HT	B 4 B 5	4	CLIFF FORM
MR	MAHIA RED JEWEL	RED JEWEL CRABAPPLE	1" HT	B 4 B 5	6	CLIFF FORM
BR	SYRINGA RETICULATA	JAPANESE TREE LILAC	1" HT	B 4 B 5	4	CLIFF FORM
BP	SYRINGA PEKINENSIS 'CHINA SNOW'	CHINA SNOW PINK LILAC	1" HT	B 4 B 5	3	CLIFF FORM
VP	VIORNIUM PRINCEPOLI	ELACORUS VIBURNUM	1" HT	B 4 B 5	3	CLIFF FORM
DECIDUOUS AND EVERGREEN SHRUBS						
CS	CORNUS SERICEA 'ALLEGANY'S DWARF'	ALLEGANY'S DWARF DOGWOOD	30" x 30"	B 4 B 5	15	
DS	DIERYLLA SPINDENS	SOUTHERN BUSH HONEYBUCKLE	24" x 24"	CONT.	54	
HA	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA	24" x 24"	B 4 B 5	12	
JB	JUNIPERUS SABINA 'BUFFALO'	BUFFALO JUNIPER	24" x 24"	CONT.	54	
PS	PHYSCOCARPUS OPULIFOLIA 'SUNNY WINE'	SUNNY WINE KNEEBARK	30" x 30"	CONT.	32	
RA	RUE ANTHOTIS 'WIND-LOU'	WIND-LOU RUE	18" x 24"	B 4 B 5	1	
RR	ROSA RADICAL	KNOCKOUT ROSE	24" x 24"	CONT.	22	
SB	SPIRAEA BETULIFOLIA 'TOR'	TOR BIRCHLEAF SPIREA	24" x 24"	CONT.	11	
SH	SYRINGA HYBARI 'HYBARI'	DWARF KOREAN LILAC	30" x 24"	B 4 B 5	38	
TH	TAXUS MEDIA 'PYRAMIDAL'	PYRAMIDAL TAXUS	24" x 24"	CONT.	50	
VC	VIORNIUM CARLESII	DWARF KOREAN SPIRICE VIBURNUM	24" x 24"	CONT.	20	
VD	VIORNIUM DENTATUM	ARROWWOOD VIBURNUM	30" x 24"	CONT.	12	
PERENNIALS, ORNAMENTAL GRASSES AND GROUNDCOVERS (TO BE SELECTED)						
OK	CALYCACTUS ACUT. 'KARL FORSTER'	FEATHER REED GRASS	1 GALLON	CONT.	0	SPACED 24" O.C.
EP	EUCHYDIA FORTUNEI VAR. 'COLONY'	PURPLE LENTICULARIS	3" POT	CONT.	0	SPACED 18" O.C.
EC	EGHINACEA PURPUREA 'MAGUS'	MAGUS PURPLE CONIFOLIUM	1 GALLON	CONT.	0	SPACED 18" O.C.
GS	GERANIUM BURGUNDIUM 'STRAIT'	LANCASTER GERANIUM	1 GALLON	CONT.	0	SPACED 18" O.C.
HS	HOSTA 'PLACIDE'	FRANZ'S HOSTA	1 GALLON	CONT.	0	SPACED 18" O.C.
HO	HOSTA 'JUNE'	JUNE HOSTA	1 GALLON	CONT.	0	SPACED 18" O.C.
HL	HEPEROCALLIS 'LITTLE WINE CUP'	LITTLE WINE CUP DAYLILY	1 GALLON	CONT.	0	SPACED 18" O.C.
HR	HEPEROCALLIS 'WAPPY RETURN'	WAPPY RETURN DAYLILY	1 GALLON	CONT.	0	SPACED 18" O.C.
HS	HEPEROCALLIS 'STRAUBER'S CANDY'	STRAUBER'S CANDY DAYLILY	1 GALLON	CONT.	0	SPACED 18" O.C.
HS	HEPEROCALLIS 'SINIGRA VAR. PURPUREASCENT'	PURPLE HAIR GRASS	1 GALLON	CONT.	0	SPACED 18" O.C.
NP	NEPETA x 'FAABENI'	FAABENI CATMINT	1 GALLON	CONT.	0	SPACED 18" O.C.
PA	PERENNIALIS ALPESIORIDES 'WAPLEN'	DWARF FOXTAIL GRASS	1 GALLON	CONT.	0	SPACED 24" O.C.
RF	RUDBECKIA PULCHRA 'GOLDSTURM'	BLACK-EYED SUSAN	1 GALLON	CONT.	0	SPACED 18" O.C.
BA	SEDUM x 'AUTUMN JOY'	AUTUMN JOY SEDUM	1 GALLON	CONT.	0	SPACED 18" O.C.
VT	VINCA MINOR 'DART'S BLUE'	DART'S BLUE PERIWINKLE	3" POT	CONT.	0	SPACED 18" O.C.

OVERALL SITE KEY



LANDSCAPE KEY



GREENSPACE CALCULATIONS

VEHICULAR USE AREA	32,352 SF
GREENSPACE REQUIRED (10%)	3,235 SF
GREENSPACE PROVIDED	10,061 SF

TREE REPLACEMENT

TREES REQUIRED	39 TREES
TREES PROVIDED	25 TREES
SHADE	25 TREES
ORNAMENTAL	4 TREES
EVERGREEN	43 TREES
TOTAL PROVIDED	68 TREES

DANIEL WEINBACH & PARTNERS, LTD.
Landscape Architects
53 W. Jackson Blvd.
Suite 210
Chicago, IL 60604
312.427.2888
www.danielweinbach.com

DuPage ALF, LLC / Wheaton ALF
developer



pappageorgehaymes partners
www.pappageorgehaymes.com

First Floor Plan
Scale: 1" = 20'



DuPage ALF, LLC/ Wheaton ALF
developer

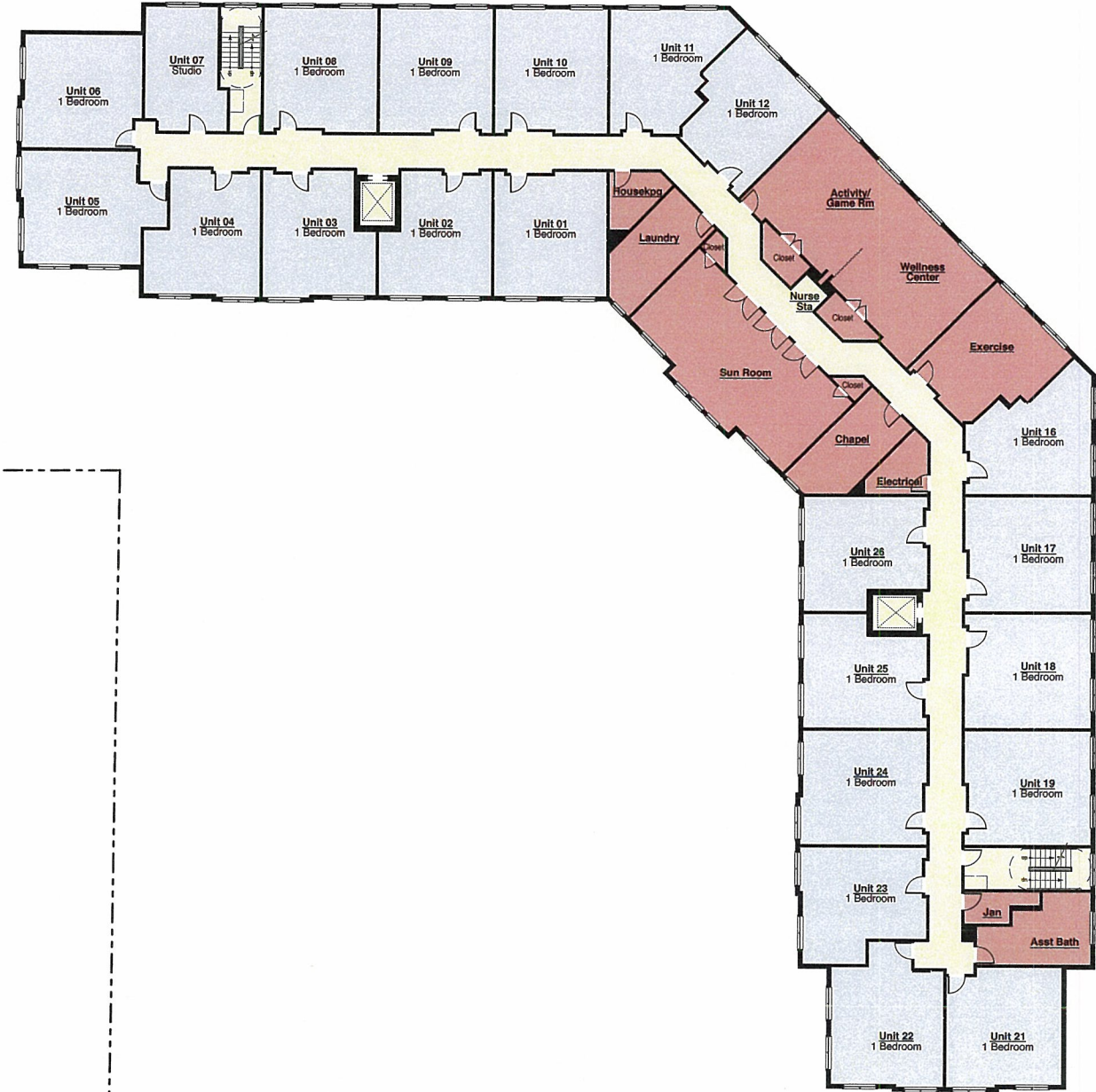
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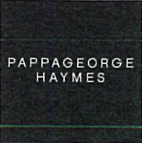
2/14/2012
P/H # 112086

These plans are preliminary and are subject to further refinement for compliance with code required zoning, life safety requirements and coordination with existing systems.

Second Floor Plan
Scale: 1" = 20'



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developer



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2/14/2012
P/H # 112086

These plans are schematic and are subject to further refinements for compliance with applicable codes and regulations. No safety improvements and coordination with existing systems.

Third Floor Plan
Scale: 1" = 20'



DuPage ALF, LLC/ Wheaton ALF
developer

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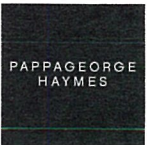
2/14/2012
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These plans are schematic and are subject to further refinement for compliance with code required building life safety improvements and coordination with existing systems.

Fourth Floor Plan
Scale: 1" = 20'



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developer



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2/14/2012
P/H # 112086

These plans are schematic and are subject to further refinements for compliance with code required safety, life safety improvements and coordination with existing systems.

North & East Elevations
Scale: 1" = 20'

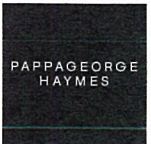


North Elevation



East Elevation

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developer



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These plans are preliminary and are subject to further refinements for compliance with code required safety life safety improvements and coordination with existing systems.



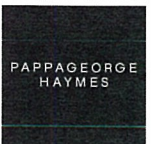
South Elevation

South & West Elevations
Scale: 1" = 20'



West Elevation

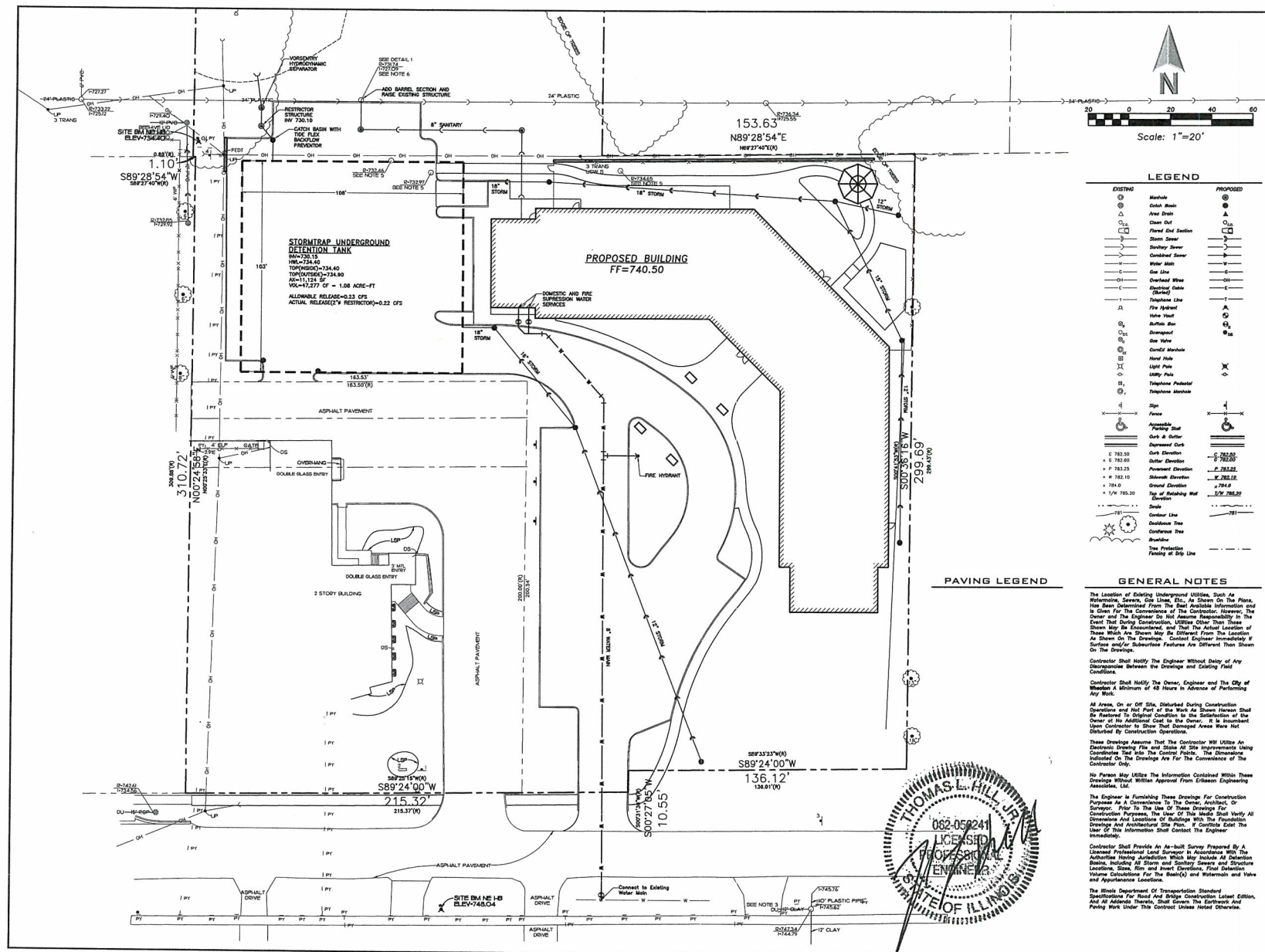
DuPage ALF, LLC/ Wheaton ALF
developer

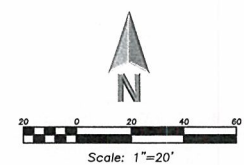
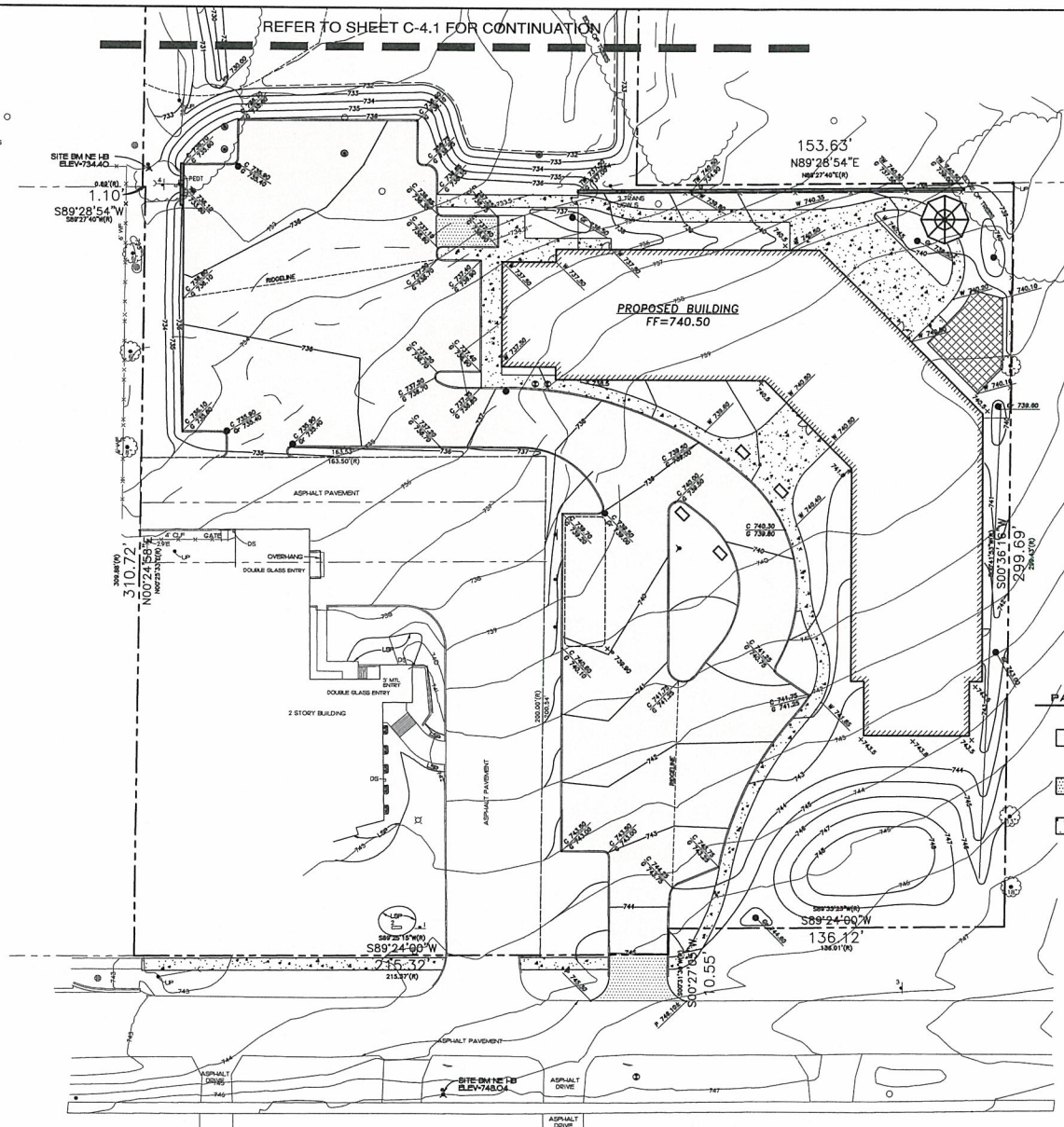


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2/14/2012
P/H # 112086

These plans are preliminary and are subject to further refinements for compliance with applicable building codes, life safety requirements and coordination with existing systems.





EXISTING	PROPOSED
Manhole	Manhole
Catch Basin	Catch Basin
Area Drain	Area Drain
Open Ditch	Open Ditch
Flowed Side Section	Flowed Side Section
Storm Sewer	Storm Sewer
Sanitary Sewer	Sanitary Sewer
Combined Sewer	Combined Sewer
Water Main	Water Main
Gas Line	Gas Line
Overhead Water	Overhead Water
Overhead Gas	Overhead Gas
Telephone Line	Telephone Line
Fire Hydrant	Fire Hydrant
Water Vault	Water Vault
Airflow Box	Airflow Box
Manometer	Manometer
Gas Valve	Gas Valve
Control Manhole	Control Manhole
Hand Hole	Hand Hole
Light Pole	Light Pole
Utility Pole	Utility Pole
Telephone Pole	Telephone Pole
Telephone Section	Telephone Section
Sign	Sign
Fence	Fence
Access	Access
Curb & Gutter	Curb & Gutter
Depressed Curb	Depressed Curb
Curb Direction	Curb Direction
Outlet Direction	Outlet Direction
Forward Direction	Forward Direction
Stream Direction	Stream Direction
Ground Elevation	Ground Elevation
Top of Retaining Wall	Top of Retaining Wall
Drain	Drain
Drainage Line	Drainage Line
Confidence Line	Confidence Line
Boundary	Boundary
The Protection	The Protection
Fencing at Site	Fencing at Site

PAVING LEGEND
Asphalt Pavement Section
Concrete Driveway Section
Concrete Slab-on-Grade Section

GENERAL NOTES

The Location of Existing Underground Utilities, Such As Watermain, Sewers, Gas Lines, Etc. As Shown On The Plans, Has Been Determined From The Best Available Information and Is Given For The Convenience of The Contractor. However, The Owner and The Engineer Do Not Assume Responsibility for the Existence, Depth, Location, or Other Characteristics of These Utilities. It Is Recommended That The Contractor Verify the Location of These Utilities Before Construction.

These Drawings Assume That The Contractor Will Utilize An Electronic Grading File and Shall Be Responsible for Maintaining Coordinates and Locations of Buildings, The Dimensions Indicated On The Drawings Are For The Convenience of The Contractor Only.

No Particular May Utilize The Information Contained Within These Drawings Without Written Approval From Eriksson Engineering Associates, Ltd.

The Engineer is Furnishing These Drawings For Construction Purposes As A Convenience To The Owner, Architect, Or Surveyor. Prior To The Use Of These Drawings For Construction Purposes, The User Of These Drawings Shall Verify All Dimensions and Locations of Buildings, The Dimensions Indicated On The Drawings Are For The Convenience of The Contractor Only.

Contractor Shall Provide An As-Built Survey Prepared By A Licensed Professional Land Surveyor in Accordance With The Authority Having Jurisdiction Which May Include All Station Marks, Including All Utility and Building Survey and Structure Locations, Sizes, Rises and Inset Dimensions, Final Elevation, Volume Calculations For The Station(s) and Watermain and Valve and Appurtenance Locations.

The Whole Department Of Transportation Should Specifications For Road And Bridge Construction Latest Edition, And All Addenda Therein, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.



145 COMMERCE DRIVE, SUITE A
 GRAYLAKE, ILLINOIS 60130
 PHONE: (630) 223-4804
 FAX: (630) 223-4804
 EMAIL: INFO@EEA-LTD.COM
 PROFESSIONAL DESIGN FIRM
 LICENSE NO. 184-003820
 EXPIRES: 04/30/2013

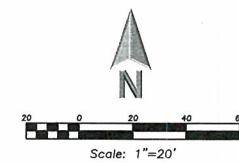
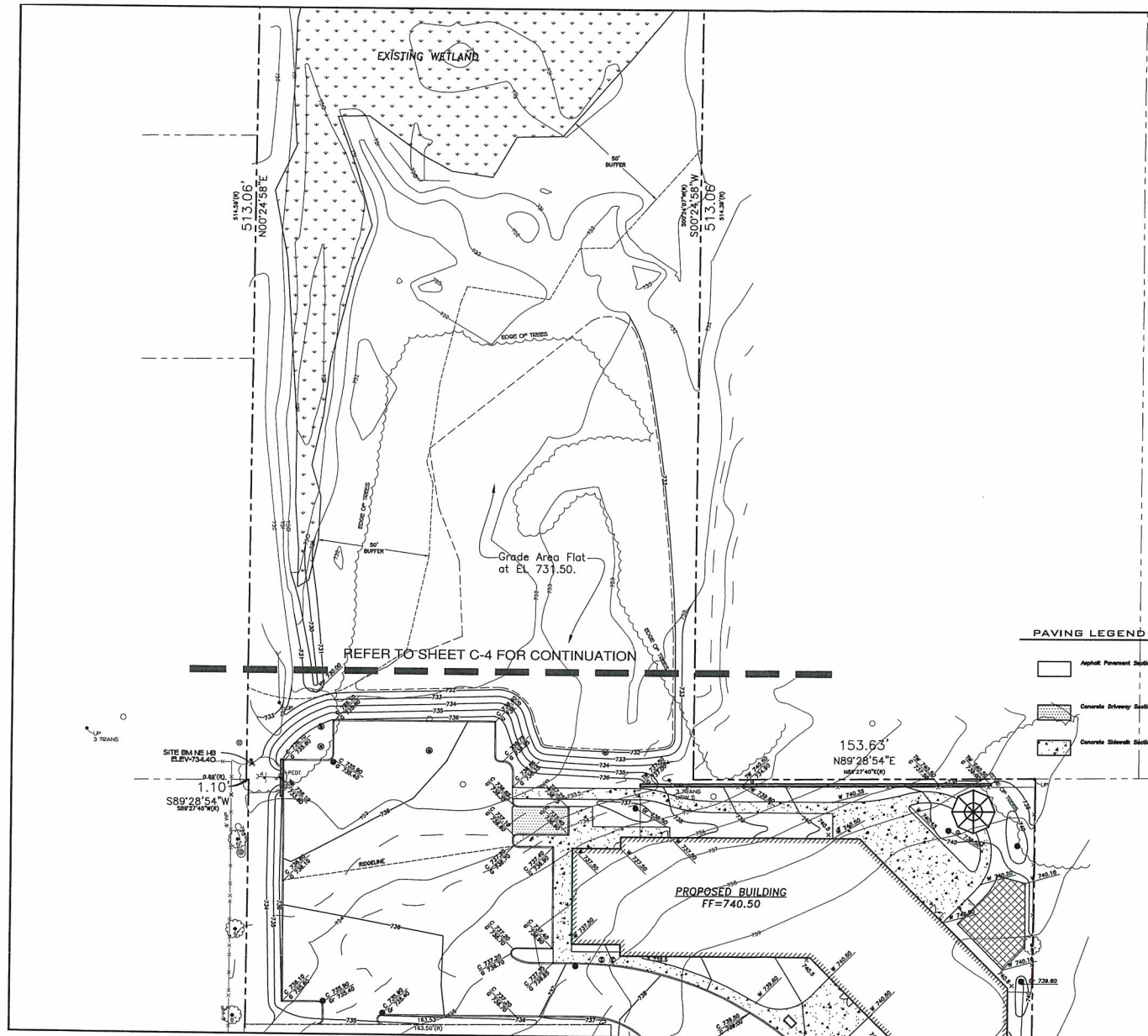
**HERITAGE WOODS OF WHEATON
 ASSISTED LIVING CENTER
 219 EAST PARKWAY
 WHEATON, ILLINOIS**

Reserved for Seal		
Expiration Date: _____		
No.	Date	Description

© Eriksson Engineering Associates, Ltd., 2012	
Drawn By:	TLH
Approved By:	TLH
Date:	02/14/12
Project No.:	0000.00

Sheet Title:
**SITE GRADING
 PLAN**

Sheet No:
C-4



145 COMMERCE DRIVE, SUITE A
GRAYSLAKE, ILLINOIS 60030
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FAX (847) 223-4864
EMAIL INFO@EEA-LTO.COM
PROFESSIONAL DESIGN FIRM
LICENSE NO. 184-003220
EXPIRES: 04/30/2013

HERITAGE WOODS OF WHEATON
ASSISTED LIVING CENTER
219 EAST PARKWAY
WHEATON, ILLINOIS

Reserved for Seal:

Expiration Date:

[illegible]

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This plan & specifications are the property of Sprinson Engineering Associates, Ltd.

Design By:	Date:
TLH	02/14/12
Approved By:	Project No.
TLH	0000.00

Sheet Title:

SITE GRADING PLAN

Sheet No:

C-4.1

LEGEND

EXISTING		PROPOSED
①	Manhole	②
②	Gravel Backfill	③
③	Arve Street	④
④	Clear Ditch	⑤
⑤	Flow Ditch Section	⑥
⑥	Flow Ditch	⑦
⑦	Rockway Slope	⑧
⑧	Gravelled Area	⑨
⑨	Water Main	⑩
⑩	Gas Line	⑪
⑪	Drainage Ditch	⑫
⑫	Electrical Cable (Fiber)	⑬
⑬	Telephone Line	⑭
⑭	Fire Hydrant	⑮
⑮	Water Inlet	⑯
⑯	Artificial Bur	⑰
⑰	Drainage	⑱
⑱	Gas Valve	⑲
⑲	Gravel Manhole	⑳
㉑	Flow Pipe	㉑
㉒	Light Pole	㉒
㉓	Utility Pole	㉓
㉔	Telephone Pole/duct	㉔
㉕	Telephone Manhole	㉕
㉖	Telephone Manhole	㉖
㉗	Sign	㉗
㉘	Automatic Paving Seal	㉘
㉙	Dark & Duller	㉙
㉚	Dark Gravel	㉚
㉛	Dark Gravel	㉛
㉜	Gravel Crossover	㉜
㉝	Pavement Seal	㉝
㉞	Gravel Crossover	㉞
㉟	Gravel Crossover	㉟
㊱	Top of Retaining Wall	㊱
㊲	Top of Retaining Wall	㊲
㊳	Gravel Crossover	㊳
㊴	Gravel Crossover	㊴
㊵	Gravel Crossover	㊵
㊶	Gravel Crossover	㊶
㊷	Gravel Crossover	㊷
㊸	Gravel Crossover	㊸
㊹	Gravel Crossover	㊹
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㊼	Gravel Crossover	㊼
㊽	Gravel Crossover	㊽
㊾	Gravel Crossover	㊾
㊿	Gravel Crossover	㊿

GENERAL NOTES

The Location of Existing Underground Utilities, Such As Watermain, Sewers, Gas Lines, Etc., As Shown On The Plans, Shall Be Determined From The Best Available Information And Be Given For The Convenience Of The Constructor. However, The Owner and The Engineer Do Not Assume Responsibility In The Event That During Construction, Utilities Other Than Those Shown May Be Encountered, and That The Actual Location of Those Which Are Shown May Be Different From The Location As Shown On The Drawings. Consider Engineer Immediately If Surface and/or Subsurface Features Are Different Than Shown On The Drawings.

Contractor Shall Notify The Engineer Without Delay of Any Discrepancies Between the Drawings and Existing Field Conditions.

Contractor Shall Notify The Owner, Engineer and The City of Wheaton A Minimum of 48 Hours in Advance of Performing Any Work.

Any Work.

All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work As Shown Hereon Shall Be Restored to Original Condition to the Satisfaction of the Owner at No Additional Cost to the Owner. It is incumbent Upon Contractor to Show That Damaged Areas Were Not Disturbed By Construction Operations.

These Drawings Assume That The Contractor Will Utilize An Electronic Drawing File and Stake All Site Improvements Using Coordinates Tied Into The Control Points. The Dimensions Indicated On The Drawings Are For The Convenience Of The Contractor Only.

No Person May Utilize The Information Contained Within These Drawings Without Written Approval From Eriksson Engineering Associates, Ltd.

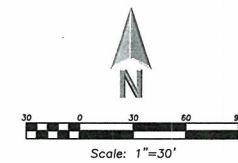
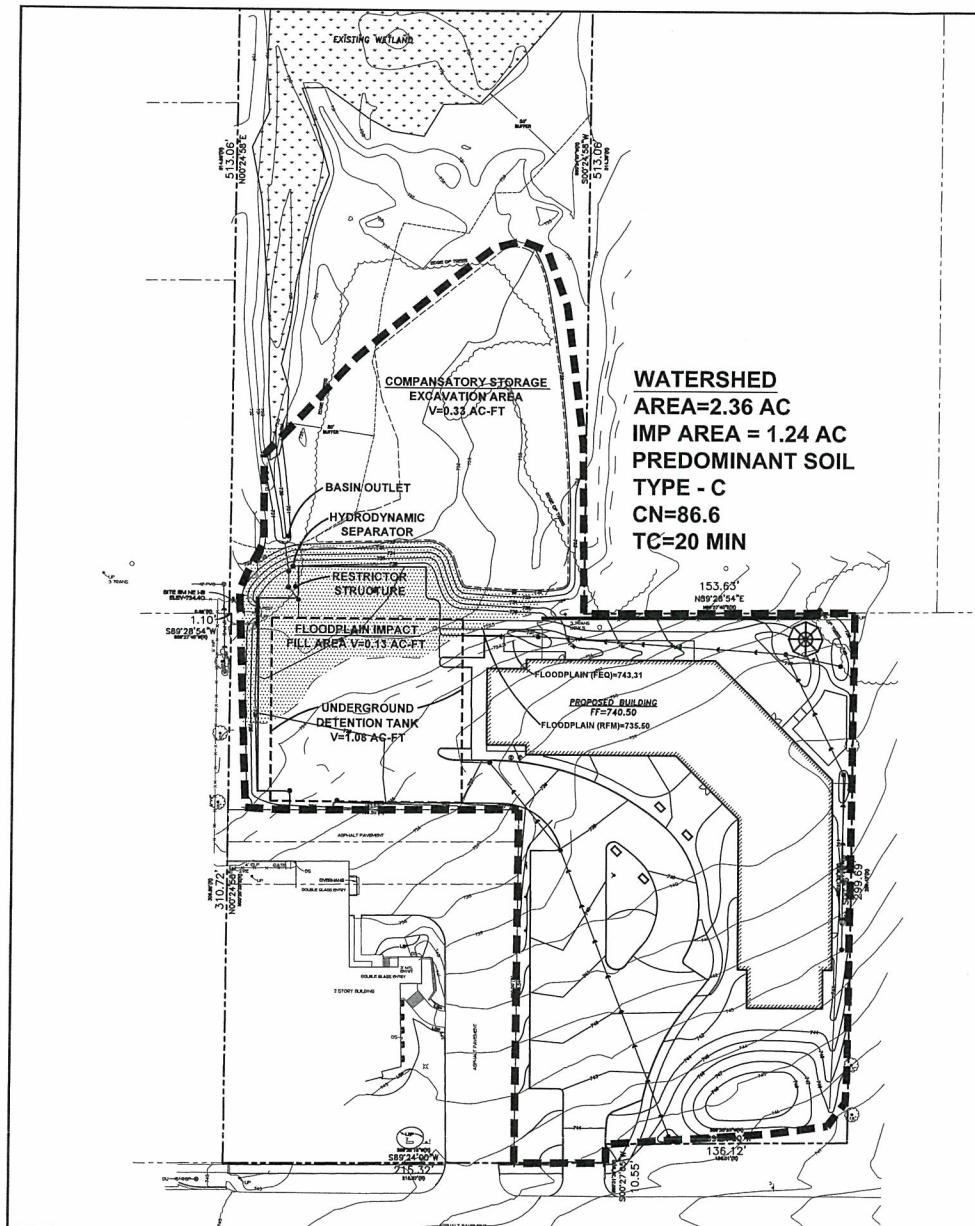
The Engineer is furnishing these drawings for construction purposes as a convenience to the owner, architect, or surveyor. Prior to the use of these drawings for construction purposes, the user of this media shall verify all dimensions and locations of buildings with the foundation drawings and architectural site plan. If conflicts exist the user of this information shall contact the engineer.

Contractor Shall Provide An As-built Survey Prepared By A Licensed Professional Land Surveyor In Accordance With The Authorities Having Jurisdiction Which May Include All Detention Basins, Including All Storm and Sanitary Sewers and Structure Locations, Sizes, Rim and Invert Elevations, Final Detention Volume Calculations For The Basin(s) and Watermain and Valve and Appurtenance Locations.

The Illinois Department Of Transportation Standard Specifications For Road And Bridge Construction Latest Edition And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.

PAVING LEGEND

 Asphalt Pavement Section
 Concrete Driveway Section
 Concrete Sidewalk Section



EXISTING		PROPOSED
Manhole		⊗
Open Basin	⊗	⊗
Area Drain	△	△
Open Out		○
Open Out	○	○
Flow Past Section		□
Storm Sewer	—	—
Sanitary Sewer	—	—
Combined Sewer	—	—
Water Main	—	—
Gas Line	—	—
Drainage Area	—	—
Drainage Basin (Barrel)	—	—
Telephone Line	—	—
Fire Hydrant		△
Water Vault		⊗
Ballast Box		⊗
Dumped		⊗
Gas Valve		⊗
Conduit Station		⊗
Head Hole		⊗
LIGHT Pole		⊗
Utility Pole		⊗
Telephone Pole		⊗
Telephone Manhole		⊗
Sign		⊗
Fence		⊗
Assemble		⊗
Parting Wall		⊗
Curb & Gutter		⊗
Depressed Curb		⊗
Curb Extension		⊗
Radius Extension		⊗
Flare-out Extension		⊗
Side-slope Extension		⊗
Ground Extension		⊗
Top of Retaining Wall		⊗
Center Line		⊗
Outline Line		⊗
Reference Line		⊗
Drainage Line		⊗
Drainage		⊗
Tree Protection		⊗
Facility of Line		⊗

The Location of Existing Underground Utilities, Such As Watermain, Sewers, Gas Lines, Etc., As Shown on the Plans, Has Been Determined From The Best Available Information and is Given For The Convenience of The Contractor. However, The Owner and The Engineer Do Not Assume Responsibility in the Event That During Construction, Utilities Other Than Those Shown May Be Encountered. The Location of The Utilities of Those Which Are Shown May Be Different From The Location As Shown On The Drawings. Contact Engineer Immediately if Surface and/or Subsurface Features Are Different Than Shown On The Drawings.

Contractor Shall Notify The Owner, Engineer and The City of
Wheaton A Minimum of 48 Hours in Advance of Performing
Any Work.

These drawings illustrate that the Contractor will utilize the Electronic Drawing File and Stake All Site Improvements Using Coordinates Tied into The Control Points. The Dimensions Indicated On The Drawings Are For The Convenience of The Contractor Only.

The Engineer is furnishing these drawings for construction purposes as a convenience to the owner, architect, or surveyor. Prior to the use of these drawings for construction purposes, the user of this media shall verify all dimensions and locations of buildings with the foundation.

Contractor shall Provide An As-built Survey Prepared By A Licensed Professional Land Surveyor In Accordance With The Authorities Having Jurisdiction Which May Include All Detention Basins, Including All Storm and Sanitary Sewers and Structure Locations, Sizes, Rim and Invert Elevations, Final Detention

Specification For Road And Bridge Construction Latest Edition
And All Addenda Therein, Shall Govern The Earthwork And
Paving Work Under This Contract Unless Noted Otherwise.



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LICENSE NO. 184-003220
EXPIRES: 04/30/2013

Reserved for Seal:

[illegible]

Approved By:	Project No.
TLH	0000.00

DRAINAGE
EXHIBIT

Sheet No: DE 1

