

ORDINANCE NO. F-1561

**AN ORDINANCE APPROVING PRELIMINARY PLAT OF SUBDIVISION AND VARIATIONS
FOR CERTAIN PARCELS OF PROPERTY COMMONLY KNOWN AS THE NORTHEAST
CORNER OF CROSS STREET AND SEMINARY AVENUE - ST. JOHN LUTHERAN CHURCH**

WHEREAS, written application has been made for a subdivision and variation request, all on certain property legally described herein within the city limits of Wheaton, Illinois ("City"), and commonly known as the northeast corner of Cross Street and Seminary Avenue ("Subject Property"); and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the City Zoning Ordinance, a public hearing was conducted by the Planning and Zoning Board on March 8, 2011 and March 22, 2011 to consider the zoning application; and the Board has recommended approval of the subdivision and variation request.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: The following described property has been and continues to be zoned and classified in the R-4 Residential District zoning classification:

LOT 4, 5, 6, 7, 8 AND 9 IN BLOCK 18 IN LYMAN E. DEWOLF AND GUY TRACY'S ADDITION TO THE TOWN OF WHEATON, BEING A SUBDIVISION IN THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 16, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 8, 1857 AS DOCUMENT NUMBER 11622, IN DUPAGE COUNTY ILLINOIS.

The Subject Property is commonly known as the northeast corner of Cross Street and Seminary Avenue, Wheaton, IL 60187.

Section 2: Pursuant to the findings of fact made and determined by the Planning and Zoning Board, preliminary plat of subdivision of St. John Lutheran Subdivision, prepared by Dave Johnson and Associates, dated January 11, 2011 is hereby approved on the Subject Property subject to the following conditions, restrictions and requirements:

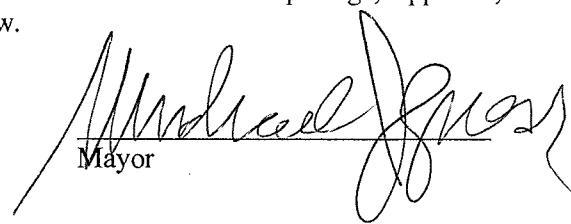
1. A variance is hereby granted from Section 62-286, street lighting, of the City Code to waive the requirement to construct a City street lighting system along Cross Street and Union Avenue as part of the required subdivision improvements.
2. The existing stormwater detention volume on the site shall be retained as part of the new development of the site.
3. The owner shall remove the gate system(s) from the public right-of-way used for closing Cross Street.
4. All defective or damaged public sidewalks fronting the subdivision along Cross Street, Union Avenue and Seminary Street shall be repaired as part of the required subdivision improvements.

Section 3: Pursuant to the Findings of Fact made and determined by the Wheaton Planning and Zoning Board, the following variations are granted for the existing house at 203 East Seminary Avenue: A variation to Article 10.2.5 of the Wheaton Zoning Ordinance to allow a front yard setback for the existing house of 27.96 feet in lieu of the required 30.0 feet; a variation to Article 3.4A.5d of the Wheaton Zoning Ordinance to allow a corner side yard setback for the existing house of 13.75 feet in lieu of the required 20.0 feet; a variation to Article 3.4A.5d of the Wheaton Zoning Ordinance to allow a corner side yard

setback for the existing detached garage of 11.89 feet in lieu of the required 20.0 feet; and a variation request is to Article 3.4A.8a of the Wheaton Zoning Ordinance to allow an interior side yard setback for the existing shed of 2.0 feet in lieu of the required 3.0 feet.

Section 4: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 5: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.



Michael J. Gresk
Mayor

ATTEST:



Aaron Bennett Hagan
City Clerk

Roll Call Vote

Ayes:	Councilman Prendiville Mayor Gresk Councilman Rutledge Councilman Scalzo Councilwoman Corry
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Nays:	None
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Absent:	Councilman Mouhelia Councilman Suess
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Motion Carried Unanimously

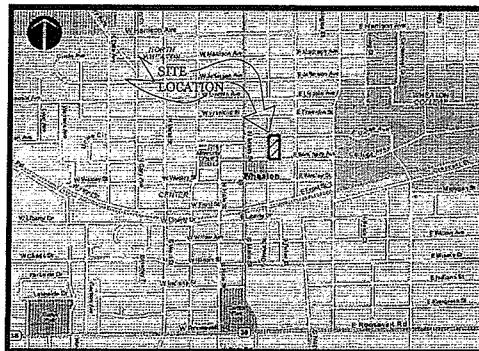
Passed: April 18, 2011
Published: April 19, 2011

86h F-561

ST JOHN LUTHERAN SUBDIVISION WHEATON, IL 60187

LEGEND

EXISTING	
CURB & GUTTER	=====
WATER	—W—
ELECTRIC	—E—
GAS	—G—
SANITARY SEWER	—C—
STORM SEWER	—S—
STORM MANHOLE	◎
SANITARY MANHOLE	◎
CATCH BASIN	○
INLET	□
VALVE VAULT	◎
BUFFALO BOX	●
GAS VALVE	■
HYDRANT	▽
CONTOUR	—XXX—
FLOW	→
CONCRETE MONUMENT	■
ELECTRIC TRANSFORMER	▲
ELECTRIC METER	▢
WELL	◆
FLARED END SECTION	○
FLAG POLE	P
GUY WIRE	—
LIGHT POLE	—
STREET LIGHT	○
PARKING SPACE COUNT	○
MAIL BOX	□
POST	●
POWER POLE	○
SIGN	▲
TREE DECIDUOUS	○
TREE CONIFER	●
GAS METER	■
CULVERT	====
PROPOSED	
CURB & GUTTER	=====
WATER	—W—
ELECTRIC	—E—
GAS	—G—
SANITARY SEWER	—C—
STORM SEWER	—S—
MANHOLE	◎
ELEVATION	+ XXX.X
CATCH BASIN	○
CONTOUR	—XXX—
INLET	■
FLOW	→
VALVE VAULT	◎
VALVE & BOX	○
BUFFALO BOX	●
GAS VALVE	■
HYDRANT	▽
HANDICAPPED RAMP	◎
ADJUST STRUCTURE	◎ A



SITE LOCATION MAP (N.T.S.)

PREPARED FOR:

ST JOHN LUTHERAN CHURCH
125 EAST SEMINARY AVENUE
WHEATON, IL 60187
(630) 668-0701

INDEX TO DRAWINGS

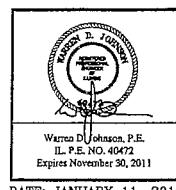
1. COVER SHEET
2. TOPOGRAPHIC SURVEY
3. PRELIMINARY PLAT OF SUBDIVISION
4. SUBDIVISION IMPROVEMENT PLAN
5. LOT GRADING PLAN
6. DETAILS



ENGINEER:

DJA CIVIL ENGINEERS & SURVEYORS

DAVE JOHNSON and ASSOCIATES, Ltd.
312 S. Hale Street Wheaton, IL 60187
ph. 630 752 8600 fax. 630 752 9556



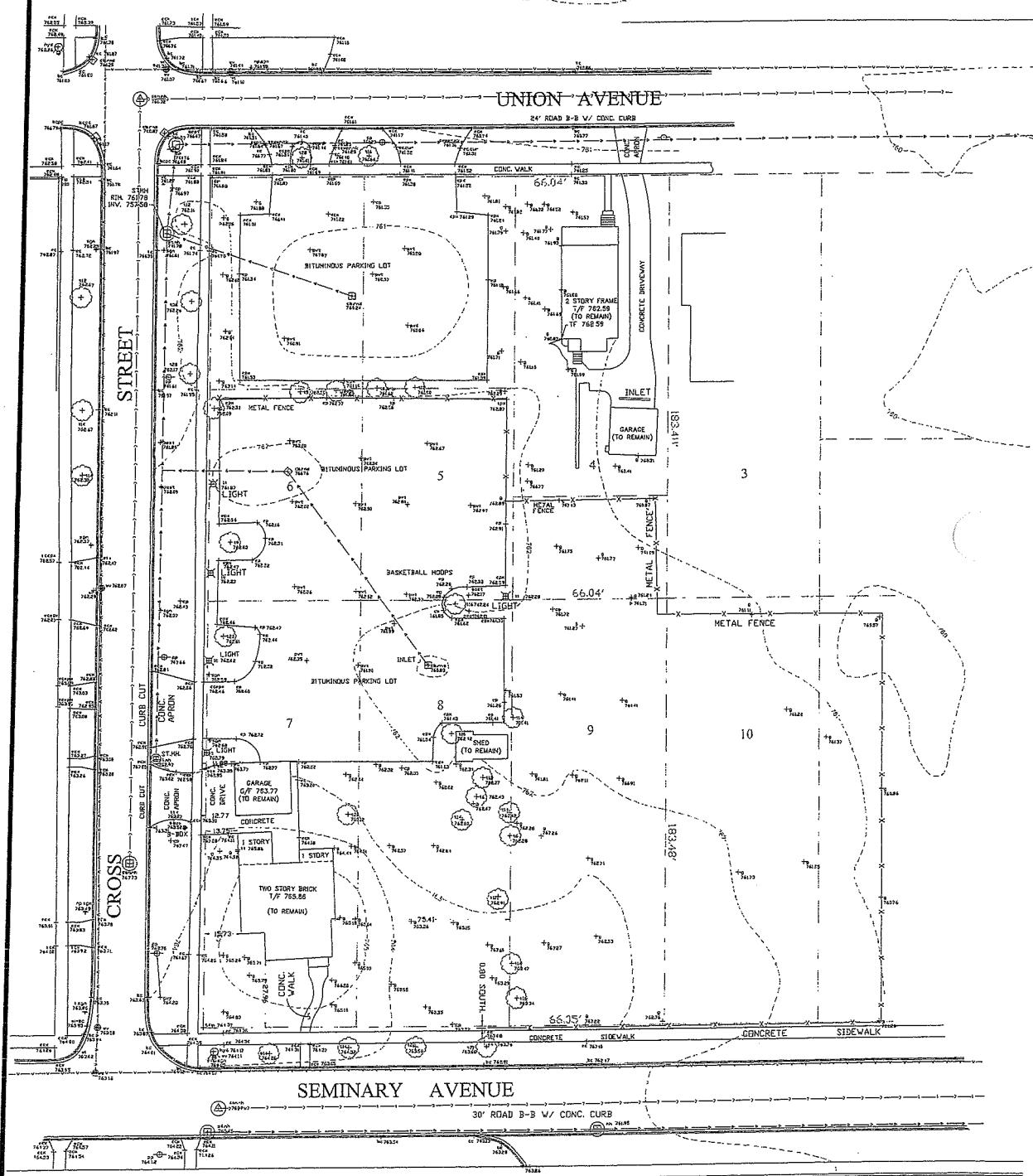
Warren D. Johnson, P.E.
IL. P.E. NO. 40472
Expires November 30, 2011

DATE: JANUARY 11, 2011

TOPOGRAPHIC SURVEY

NORTH
SCALE: 1 IN. = 20

NORTH
SCALE: 1 IN. = 20



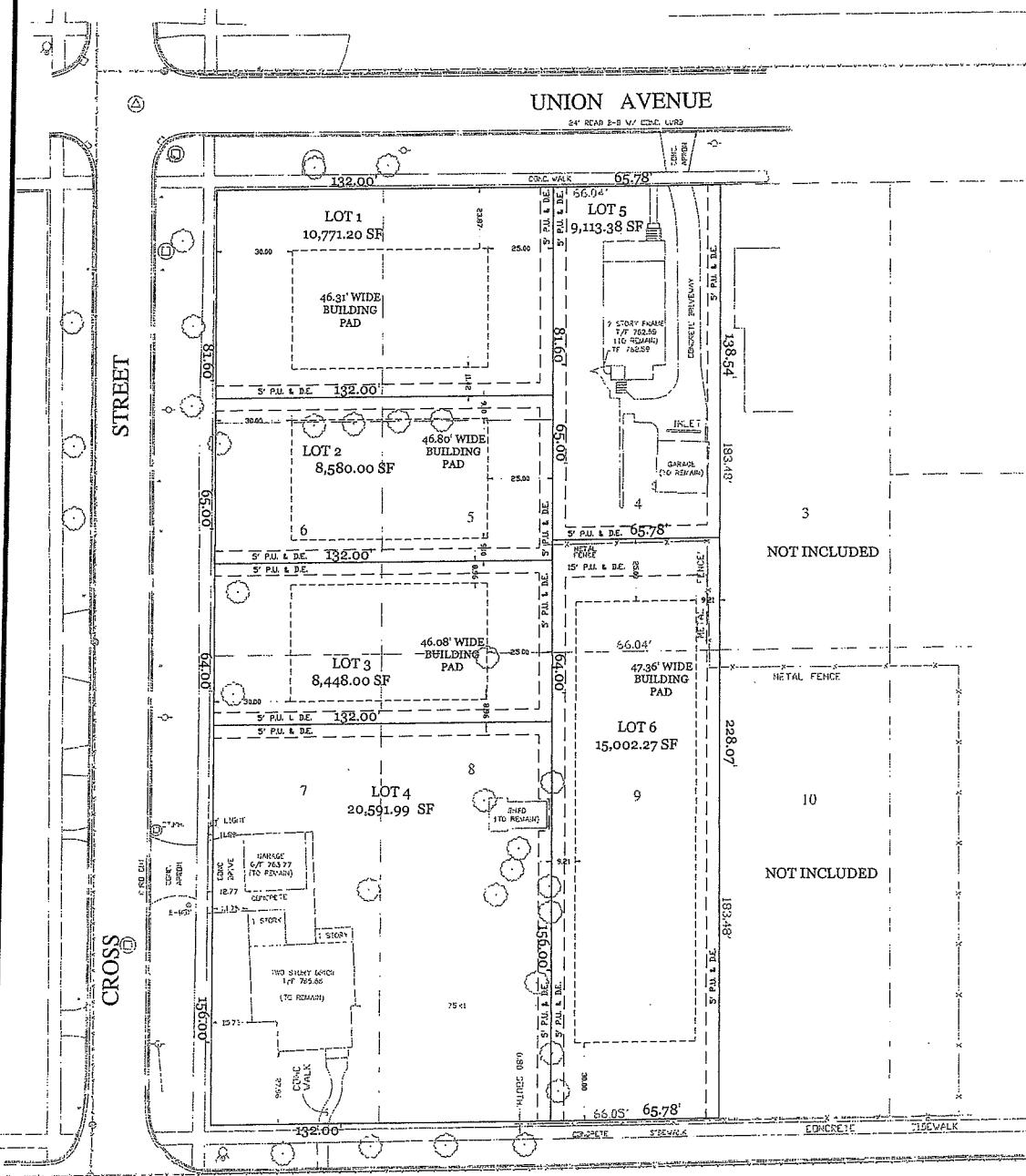
ORDER NO.: 2953
SHEET 2 OF 6

DJA CIVIL ENGINEERS & SURVEYORS
Dale Jenkins and Associates, Ltd.
312 S. Main Street
Whitman, Illinois 60187
ph 630 752 8500 fax 630 753 9555
e-mail: DJA@DJAJenkins.com

PRELIMINARY PLAT OF SUBDIVISION

LOTS 4, 5, 6, 7, 8, AND 9 IN BLOCK 16 IN LYMAN E. DEWOLF AND GUY TRACY'S ADDITION TO THE TOWN OF WHEATON, BEING A SUBDIVISION IN THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 16, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRTY-PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 8, 1857 AS DOCUMENT NUMBER 11622, IN DUPAGE COUNTY, ILLINOIS.

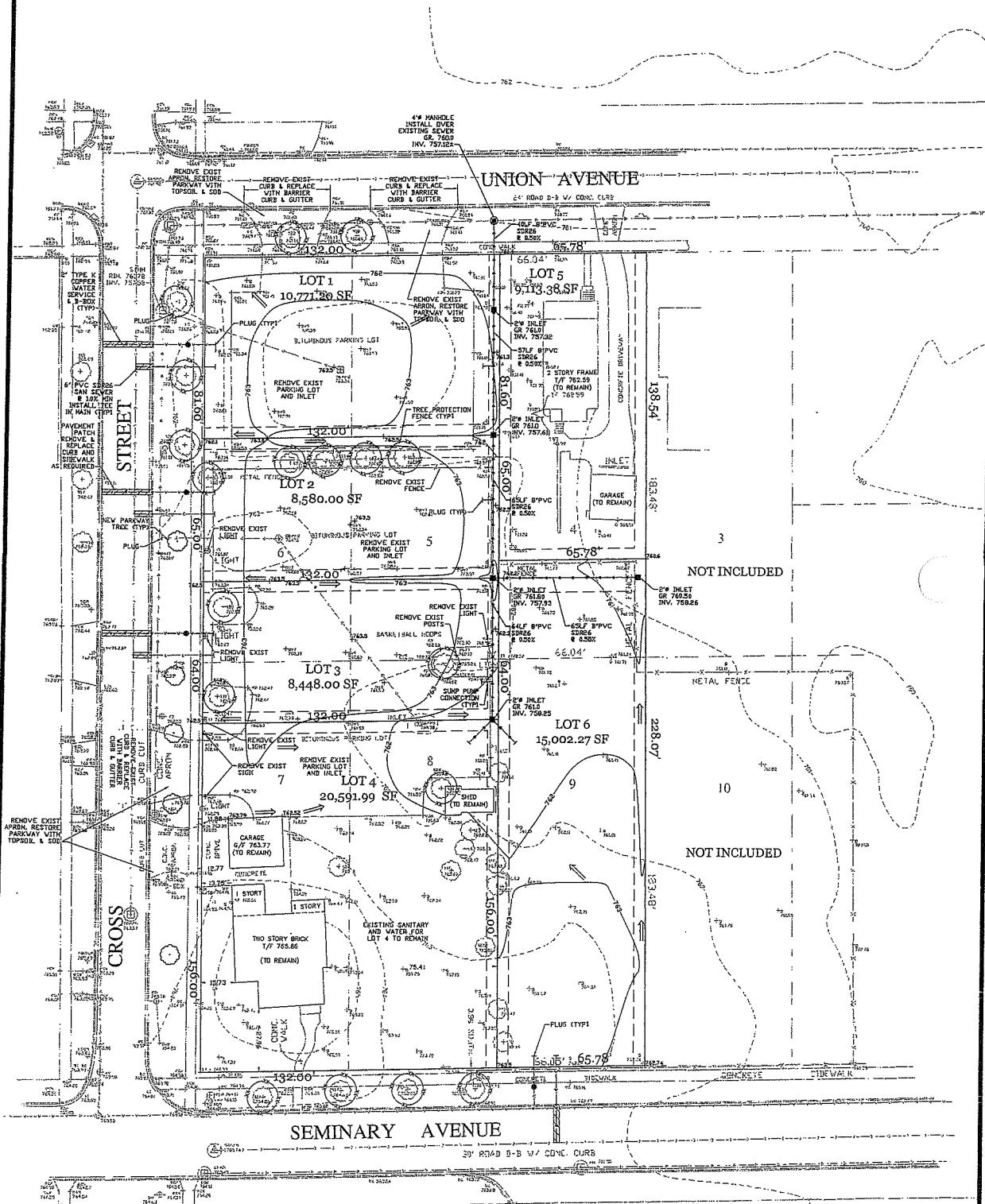
A compass rose is positioned at the top center of the map, with a vertical line extending downwards. Below the compass rose, the word "NORTH" is printed in capital letters. At the bottom of the map, a scale bar is located, with the text "SCALE: 1 IN.= 20 FT." written horizontally next to it.



ORDER NO.: 2953
SHEET 3 OF 6

SUBDIVISION IMPROVEMENT PLAN

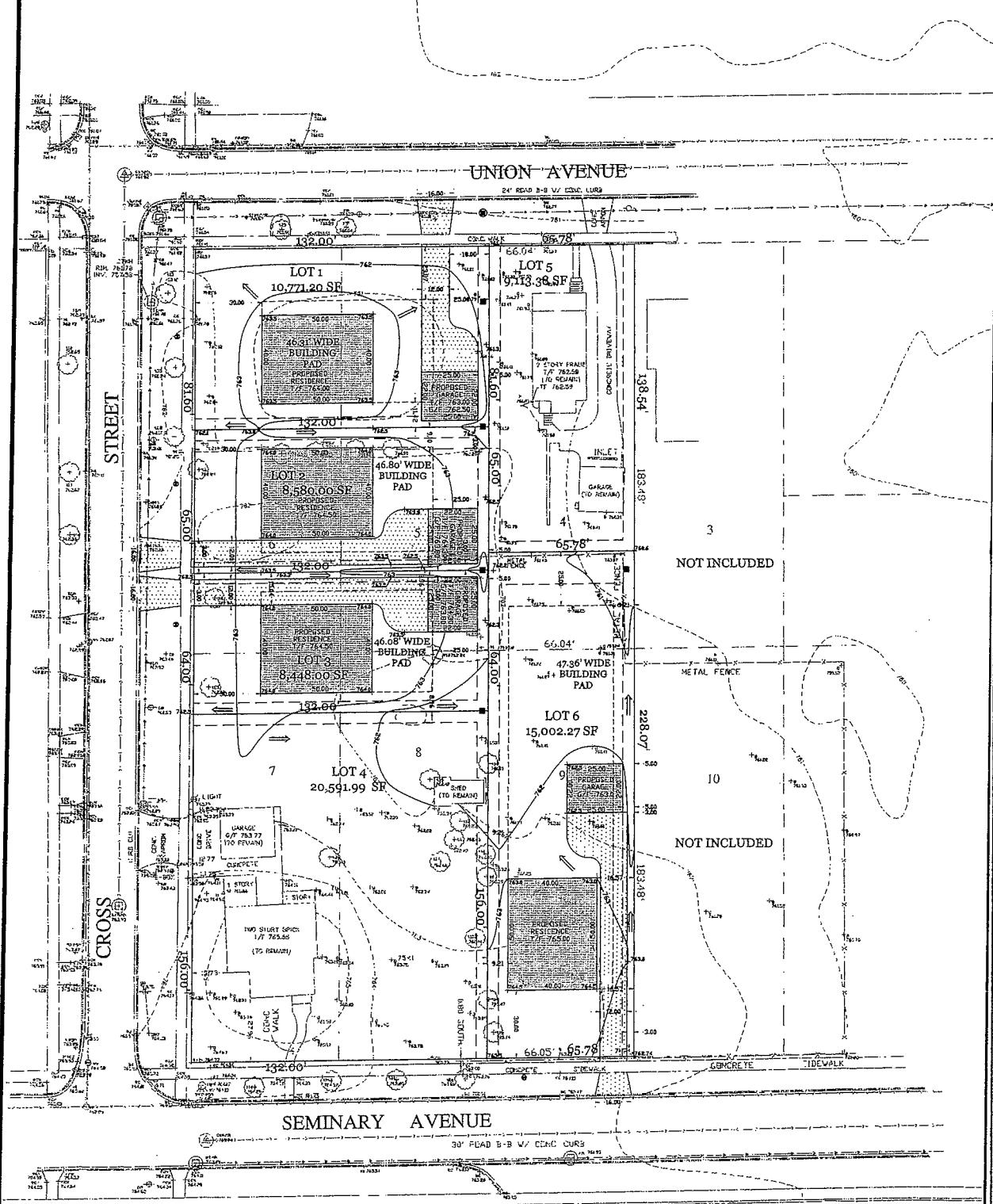
NORTH
SCALE: 1 IN. = 20 FT.



ORDER NO.: 2953
SHEET 4 OF 6

LOT GRADING PLAN

A small compass rose icon with the letter 'N' in the top circle, a vertical line pointing upwards, and the word 'NORTH' written below it.



ORDER NO.: 2953
SHEET 5 OF 6

GENERAL NOTES AND DETAILS

EXISTING GRADE	+	XXX-XX	<ol style="list-style-type: none"> ① Portable Toilets ② Refuse Disposal ③ Construction Material Storage
EXISTING CONTOUR	-	XXX	
PROPOSED GRADE	XXX	XXX	
PROPOSED CONTOUR	XXX	XXX	
DRAGAGE FLOW	→	→	
SILT FENCE	—	—	
DOWN SPOUT	○	○	
DECORATIVE STONE	DES	DES	

EROSION CONTROL PLANS

SEDIMENT AND EROSION CONTROL DEVICES SHALL BE FUNCTIONAL BEFORE LAND IS OTHERWISE DISTURBED ON THIS SITE.

THE SURFACE OF STRIPPED AREAS SHALL BE PERMANENTLY OR TEMPORARILY PROTECTED FROM SOIL EROSION WITHIN 15 DAYS AFTER FINAL GRADE IS REACHED. STRIPPED AREAS NOT AT FINAL GRADE THAT WILL REMAIN UNDISTURBED FOR MORE THAN 15 DAYS AFTER INITIAL DISTURBANCE SHALL

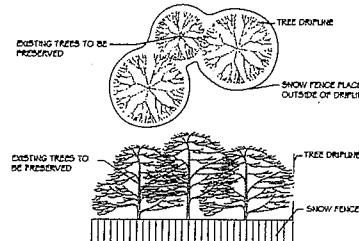
IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN 3 DAYS, THEN
SEDIMENT AND EROSION CONTROL DEVICES SHALL BE PROVIDED FOR SAID

STORM SEWER INLETS SHALL BE PROTECTED WITH SEDIMENT TRAPPING OR FILTER CONTROL DEVICES DURING CONSTRUCTION.

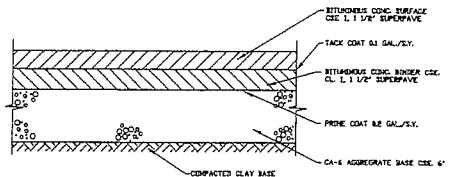
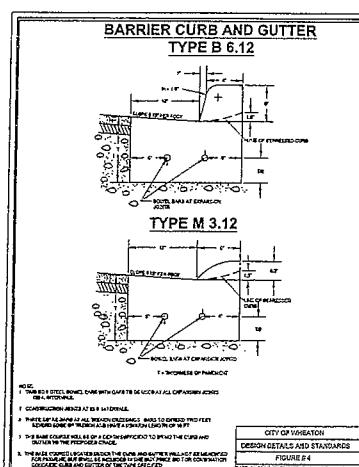
FILTER CONTROL SERVICES DURING CONSTRUCTION
WATER PUMPED OR OTHERWISE DISCHARGED FROM THE SITE
DURING CONSTRUCTION BEATERING SHALL BE FILTERED.
ANY SOIL, MUO OR DEBRIS WASHED, TRACKED, OR DEPOSITED ONTO THE
STREET SHALL BE REMOVED PRIOR TO THE END OF EACH WORK DAY.
VEHICULAR ACCESS TO THE SITE SHALL BE RESTRICTED TO A GRAVEL
DRIVE. SAID GRAVEL DRIVE SHALL BE INSTALLED BEFORE ANY
CONSTRUCTION ACTIVITIES ABOVE THE TOP OF FOUNDATION.

GENERAL NOTE

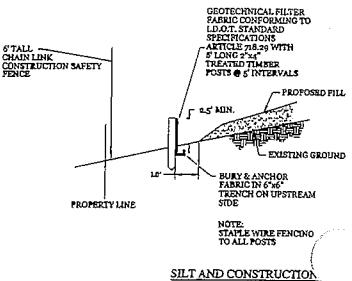
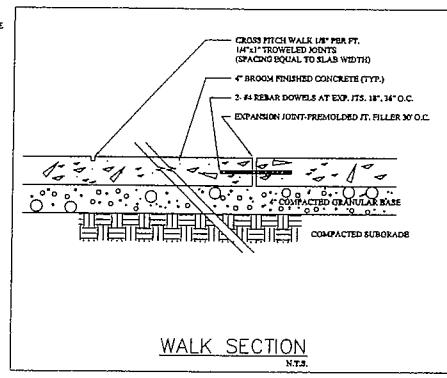
1. PROVIDE PROTECTIVE FENCING AROUND ALL PAVING AREAS. PROTECTIVE FENCING SHALL BE SNUGLY FITTED AND INSTALLED UNDER THE OUTLINE OF EACH TREE. THERE SHALL BE NO HOLLOW SPACES OR GAPS IN THE FENCING. THIS PROTECTIVE FENCING SHALL BE MAINTAINED THROUGHOUT THE ENTIRE CONSTRUCTION PHASE.
2. RESTORE ALL OPEN-CUT PORTIONS OF THE STREET IN-KIND WITH THE EXISTING MATERIALS. NEW CURBAS SHALL BE DOWELLED INTO THE EXISTING CURB.
3. RESTORE ALL EXCAVATED PORTIONS OF THE PARKWAY TO THE CITY OF WHEATON STANDARDS AND SPECIFICATIONS.
4. ENCAPSULATE THE B-BOX IN A PVC OR METAL SLEEVE IF IT FALLS OUT OF THE B-BOX DURING CONSTRUCTION OF THE STORMWATER DITCH.
5. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF WHEATON STANDARDS AND SPECIFICATIONS.
6. UTILITY WORK SHALL CONFORM WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATERMAIN CONSTRUCTION IN ILLINOIS (CURRENT EDITION).
7. ALL DESCRIPTIVE OF DAMAGED SITES MUST BE REMOVED AND RELOCATED PRIOR TO A CERTIFICATE OF OCCUPANCY BEING ISSUED.
8. EROSION CONTROL SILT BAGS MUST BE INSTALLED PRIOR TO ANY WORK ON SITE BEING PERFORMED ON SITE. MAINTAIN SILT FENCE UNTIL NATURAL VEGETATION IS STABILIZED.
9. CONSTRUCTION/MAINTENANCE OF THE BASEMENT SHALL BE CONDUCTED IN ACCORDANCE WITH THE REQUIREMENTS CONTAINED IN FEMA'S TECHNICAL BULLETIN NO. 14, GEOTECHNICAL INSPECTION AND REPORTS SHALL BE PROVIDED TO THE CITY OF WHEATON AND THE STATEMENT AT THE TIME OF FOOTING INSPECTION AND MASONRY MONITORING WINDOW WALLS ARE RECOMMENDED.



PROTECTIVE TREE FENCING



BITUMINOUS DRIVEWAY DETAIL
N.T.S.



SILT AND CONSTRUCTION
SAFETY FENCE

