

ORDINANCE NO. F-1516

AN ORDINANCE GRANTING A FRONT YARD SETBACK VARIATION ON A CERTAIN PIECE OF PROPERTY COMMONLY KNOWN AS 1018 GREENWOOD DRIVE – MC DANIEL

WHEREAS, written application has been made requesting a variation to Article 9.2.5 of the Wheaton Zoning Ordinance to allow the construction of a garage addition with a front yard setback of 36.57 feet in lieu of the required 51.98 feet, on certain property legally described herein and commonly known as 1018 Greenwood Drive, Wheaton, Illinois 60189; and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on September 14, 2010, to consider the variation request; and the Planning and Zoning Board has recommended approval of the zoning variation.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: Pursuant to the Findings of Fact made and determined by the Wheaton Planning and Zoning Board, a front yard setback of 36.57 feet in lieu of the required 51.98 feet is granted for a garage addition in full compliance with the site plan, elevations and floor plan dated January 22, 2010 that are on file in the Department of Planning and Economic Development, to allow the construction on the following-described real estate:

LOT 3 IN ROY F. OLSON'S SUBDIVISION OF PART OF LOT 18 OF THE PLAT OF COUNTY CLERK'S ASSESSMENT SUBDIVISION OF THAT PART OF SECTION 20, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING WEST OF WARRENVILLE ROAD AND NORTH OF THE CENTER OF UNION DRAINAGE DITCH NO. 1, ACCORDING TO THE PLAT OF SAID OLSON'S SUBDIVISION RECORDED AUGUST 19, 1953 AS DOCUMENT 692436, IN DUPAGE COUNTY, ILLINOIS.

P.I.N.: 05-20-210-026

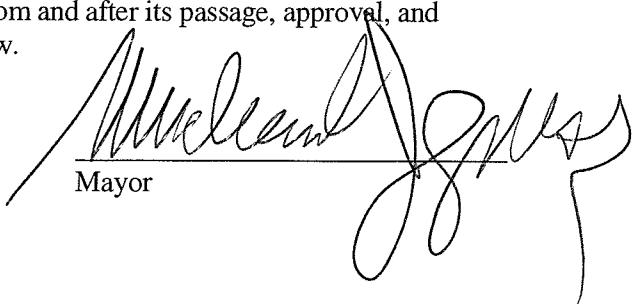
The subject property is commonly known as 1018 Greenwood Drive, Wheaton, Illinois 60189.

Section 2: The variation provided for in Section 1 of this ordinance shall be subject to the following conditions, restrictions and requirements:

1. The applicant shall provide a proposed grading plan that demonstrates that stormwater will drain away from the garage addition.

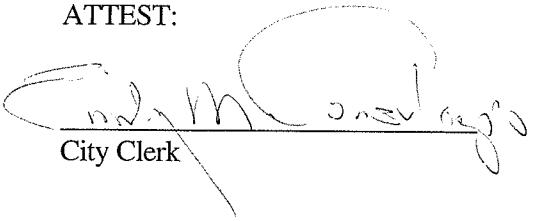
Section 3: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 4: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.



Mayor

ATTEST:


City Clerk

Roll Call Vote

Ayes:

Councilman Suess
Councilwoman Corry
Councilman Levine
Councilman Mouhelis
Mayor Gresk
Councilman Prendiville
Councilman Scalzo

Nays: None

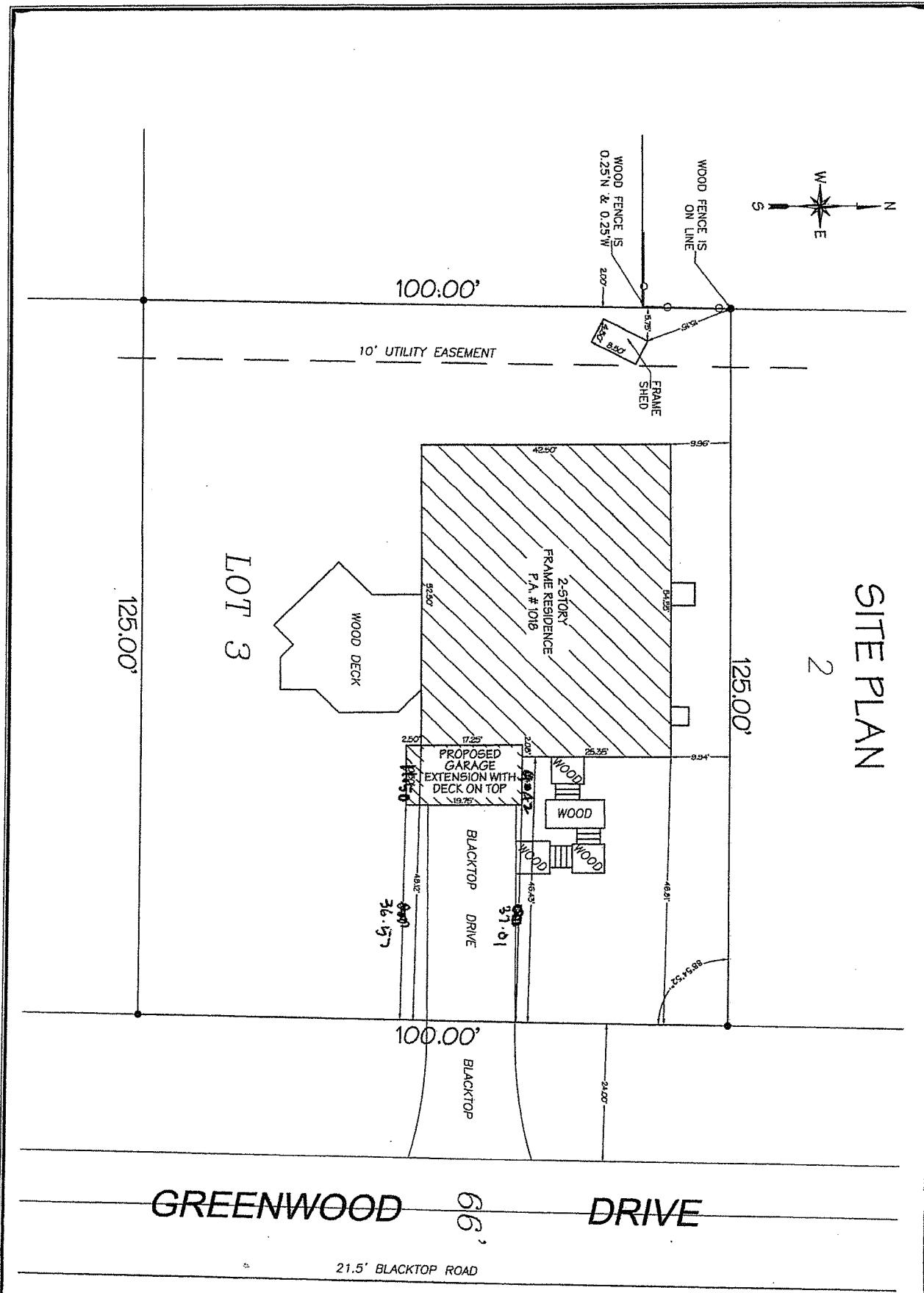
Absent: None

Motion Carried Unanimously

Passed: October 4, 2010
Published: October 5, 2010

SITE PLAN

2

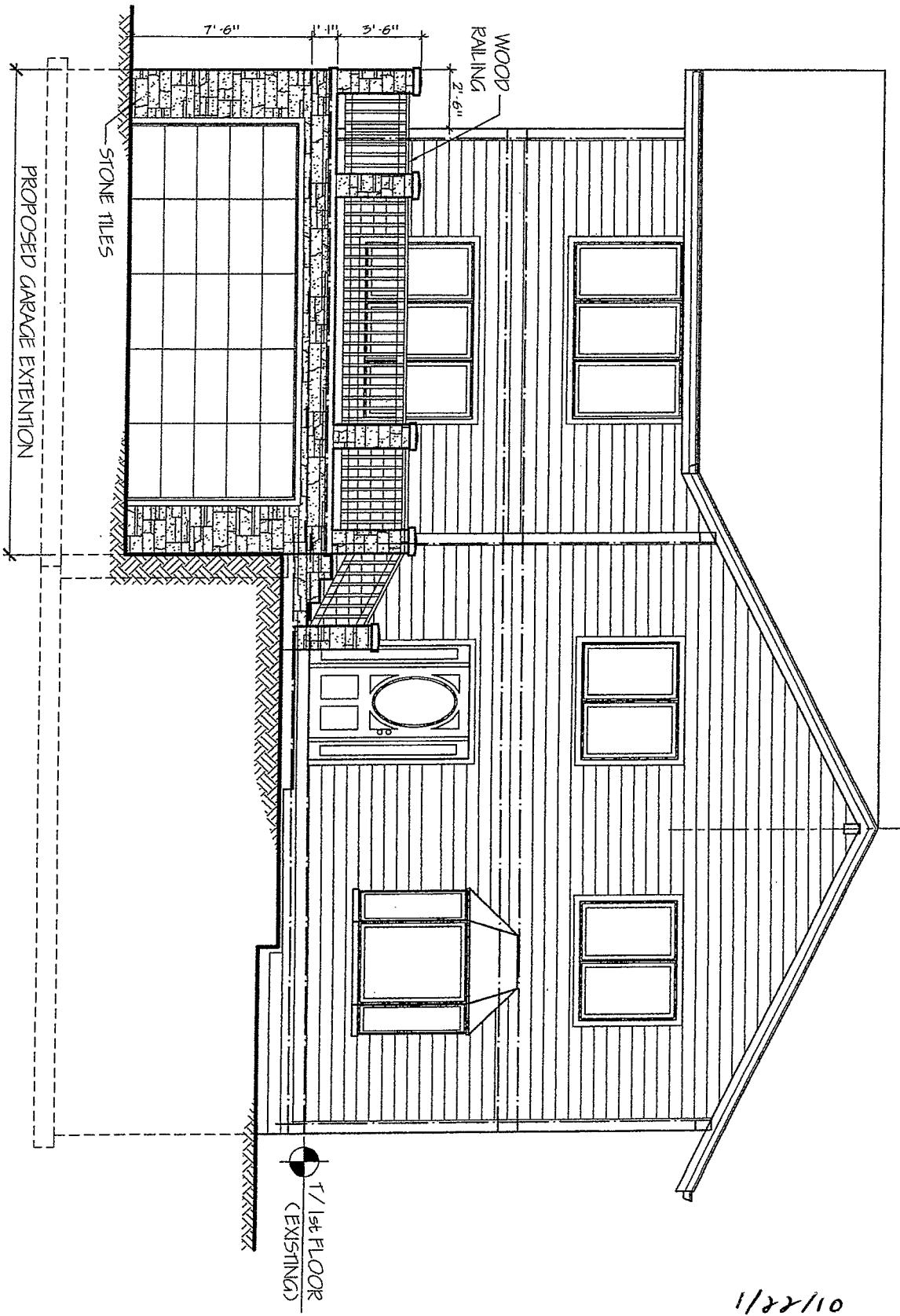


SHEET TITLE:
SITE PLAN

SITE PLAN
1018 Greenwood Rd,
Wheaton, IL 60187

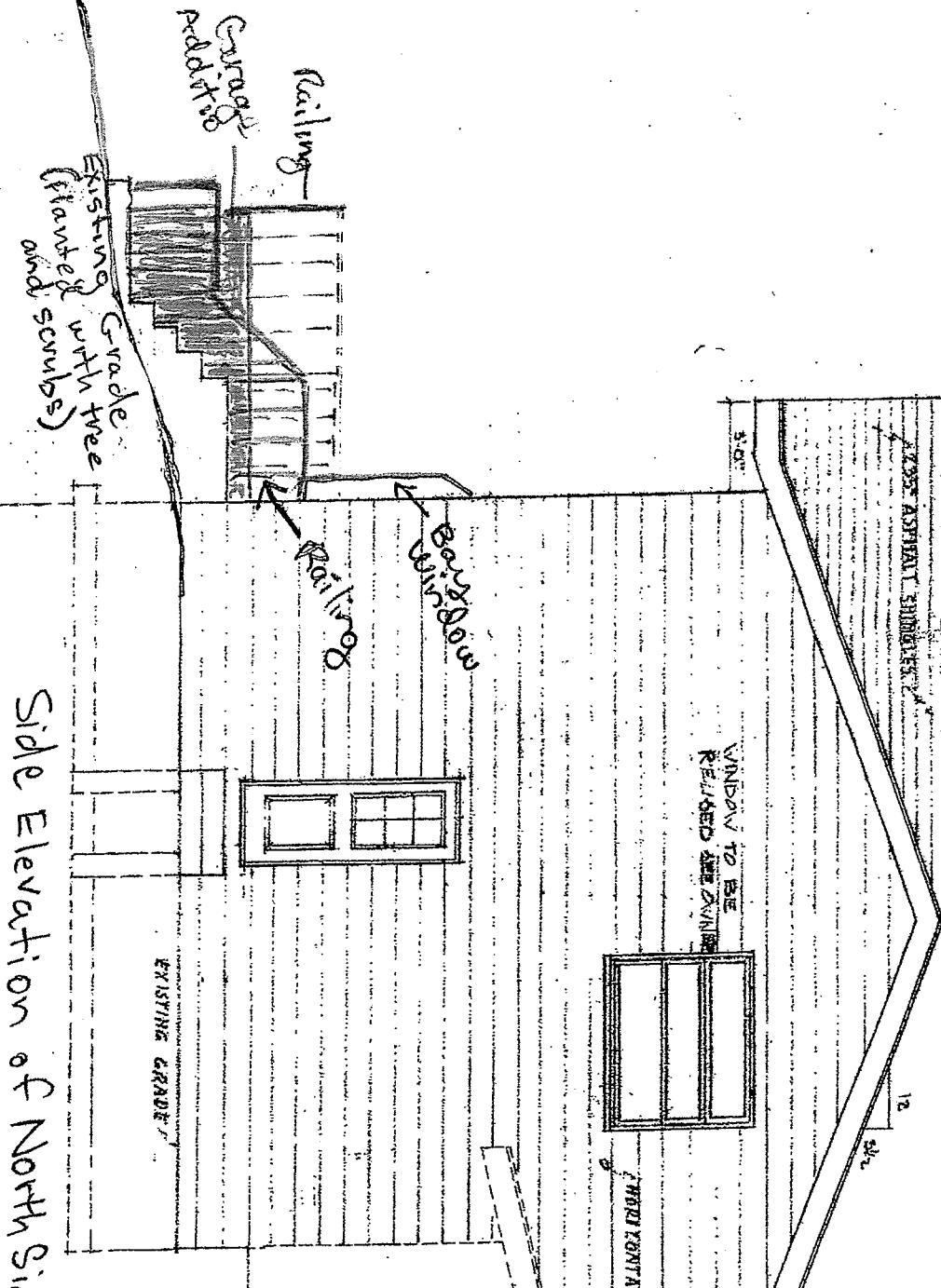
EAST ELEVATION- proposed

SCALE: 3/16" = 1'-0"



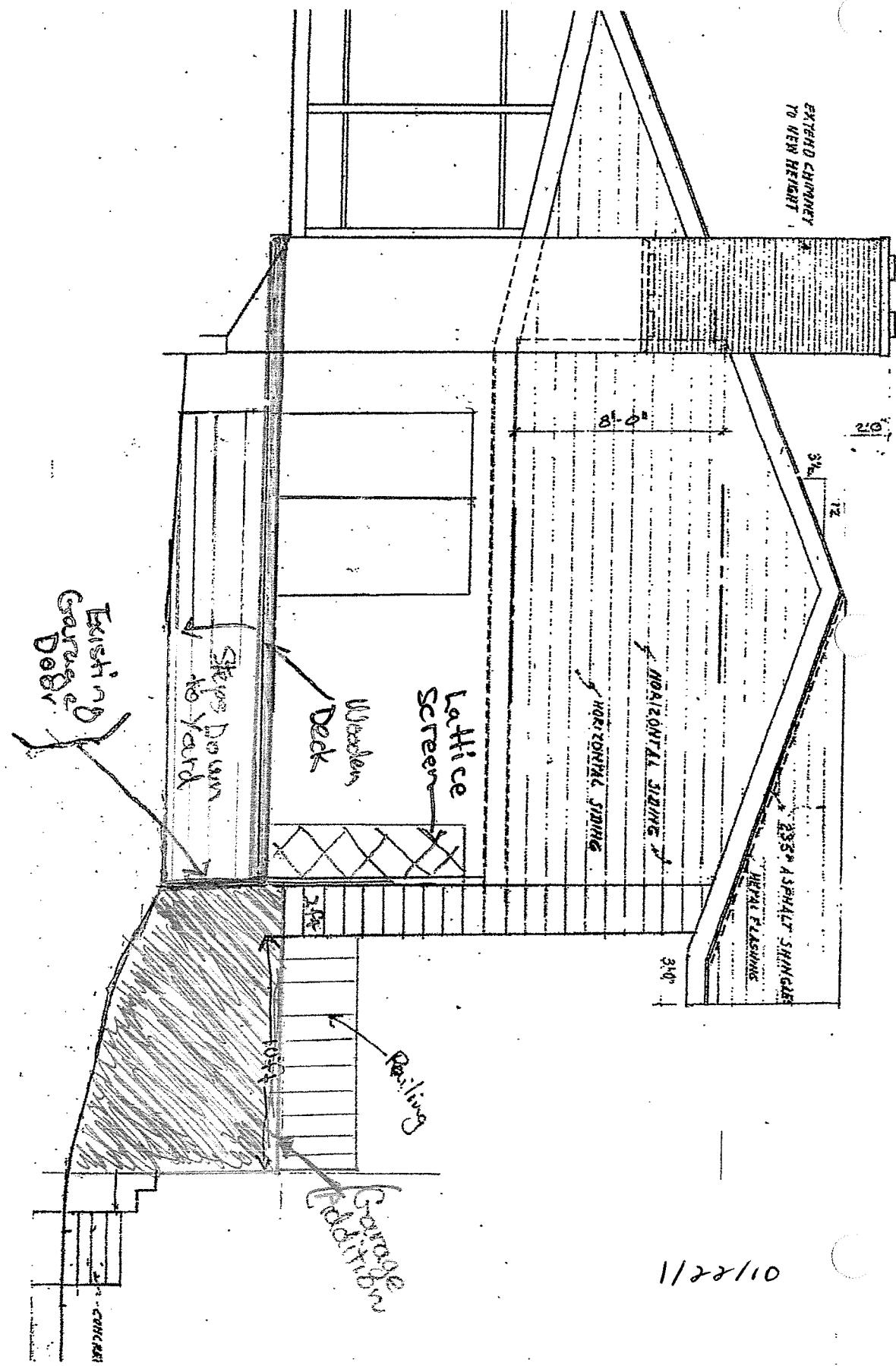
FRONT ELEVATION

GARAGE EXTENTION
1018 GREENWOOD DR., WHEATON, IL



Side Elevation of North Side of House

1122110



FLOOR PLAN- proposed

SCALE: 3/16" = 1'-0"

