

ORDINANCE NO. F-1508

**AN ORDINANCE AMENDING THE WHEATON ZONING ORDINANCE MAP AND GRANTING
TWO PERIMETER LANDSCAPING SETBACK VARIATIONS FOR PROPERTY COMMONLY
KNOWN AS 1621 AND 1703 EAST ROOSEVELT ROAD – SIDDIQUI**

WHEREAS, written application has been made to amend the Zoning Map, which is attached to and forms a part of the Zoning Ordinance of Wheaton, Illinois, to rezone, reclassify and secure two perimeter landscaping setback variations in order to construct a 6,000 square foot medical office building, all on certain property legally described herein within the city limits of Wheaton, Illinois ("City"), and commonly known as 1621 and 1703 East Roosevelt Road ("Subject Property"); and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the City Zoning Ordinance, a public hearing was conducted by the Planning and Zoning Board on July 27, 2010 to consider the requested zoning amendment and variations; and the Board has recommended approval of the rezoning and variation requests.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: Pursuant to the findings of fact made and determined by the Planning and Zoning Board, the Zoning Map which is attached to and forms a part of the City Zoning Ordinance is amended by removing the following described property from the C-3 General Business District and the R-7 Residential District and adding the subject property in the O-R Office Research District Zoning classification:

LOT 12 AND 13 IN BLOCK 21 IN ARTHUR T. MCINTOSH AND COMPANY'S LORRAINE ROAD SUBDIVISION, IN THE SOUTH ½ OF SECTION 15, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 6, 1925, IN BLOCK 14 OF PLATS, PAGE 36, AS DOCUMENT NO. 202765, AND THE CERTIFICATE OF CORRECTION RECORDED OCTOBER 29, 1927 AS DOCUMENT NO. 245767 (EXCEPT THE SOUTH 5.0 FEET THEREOF TAKEN FOR HIGHWAY PURPOSES PER DOCUMENT NO. R88-024313), IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS.

LOT 14 (EXCEPT THE SOUTH 5 FEET TAKEN BY CONDEMNATION CASE 89ED14) IN BLOCK 21 IN ARTHUR T. MCINTOSH AND CO.'S LORRAINE ROAD SUBDIVISION, BEING A SUBDIVISION IN THE SOUTH ½ OF SECTION 15, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 6, 1925 AS DOCUMENT NO. 202765, AND THE CERTIFICATE OF CORRECTION FILED OCTOBER 29, 1927 AS DOCUMENT NO. 245767 IN DUPAGE COUNTY, ILLINOIS.

05-15-327-036; -037; -038

The Subject Property is commonly known as 1621 and 1703 East Roosevelt Road, Wheaton, IL 60187.

Section 2: Pursuant to the Findings of Fact made and determined by the Planning and Zoning Board, rezoning of the property and two variations to the Wheaton Zoning Ordinance for perimeter landscaping setbacks are hereby granted, in full compliance with the following plans: "Site Plan" and "Preliminary Engineering Plan", prepared by Webster, McGrath & Ahlberg, Wheaton, IL, dated June 11, 2010; "Elevations and Floor Plans" and "Landscape Plan", prepared by Suber F. Zummerwala &

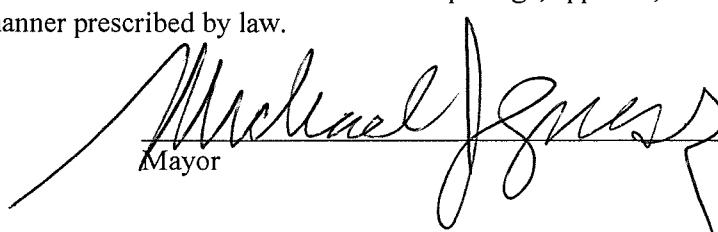
Associates, Roselle, IL, dated June 11, 2010 and in further compliance with the following conditions, restrictions, and requirements:

1. The applicant shall provide a plan for the required screening of the AC units for staff approval.
2. The two crabapples trees shown on the Landscape Plan shall be replaced by another species of tree included on the City's permitted parkway tree list.
3. The six foot tall wood fence shown on the Landscape Plan shall be a solid board-on-board fence.
4. Prior to issuance of a certificate of occupancy, the applicant shall submit a report to the City outlining what environmentally friendly practices were incorporated into the construction of the project.
5. The proposed monument and wall signs shall be revised to comply with Article 23 of the Wheaton Zoning Ordinance.
6. The applicant shall submit a plat of consolidation of the Subject Property prior to issuance of a stormwater management permit for the construction of the building. The plat shall indicate a stormwater management easement over the stormwater detention areas.
7. The applicant shall secure a permit from the Illinois Department of Transportation for the construction of improvements located within the right-of-way of Roosevelt Road, including the connection to the storm sewer.
8. The Site Plan shall include parking lot lighting in accordance with the City Zoning Ordinance parking standards.
9. The applicant shall provide color samples of the exterior building materials for staff approval.
10. The applicant shall donate the cost of public sidewalk construction to the City in lieu of constructing public sidewalk along Roosevelt Road.

Section 3: The owner of the Subject Property shall maintain all landscaping and plantings on the Subject Property so that the number, quality, and character of the landscaping shall not be less than that which is illustrated on the Landscape Plan. In the event any landscaping, plantings, or vegetation on the subject property dies, in whole or in part, at any time, the owner shall, forthwith, replace the non-viable landscape vegetation

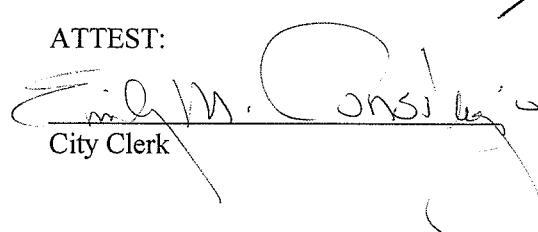
Section 4: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 5: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.



Michael J. Jones
Mayor

ATTEST:



Emily W. Conkle
City Clerk

Roll Call Vote:

Ayes: Councilman Suess
Councilwoman Corry
Councilman Mouhelis
Mayor Gresk
Councilman Prendiville
Councilman Scalzo

Nays: None

Absent: Councilman Levine

Motion Carried Unanimously

Passed: September 7, 2010
Published: September 8, 2010

HANDICAP PARKING STALL

SITE PLAN

ALL WORKS, PLANS AND DRAWINGS ARE THE PROPERTY OF THE CONTRACTOR. UNLESS OTHERWISE AGREED, THE CONTRACTOR IS NOT RESPONSIBLE FOR THE ACCURACY OF THE PLANS AND DRAWINGS. THE CONTRACTOR IS NOT RESPONSIBLE FOR ANY CHANGES MADE TO THE PLANS AND DRAWINGS BY THE CONTRACTOR'S CONSULTANTS, SUBCONTRACTORS, OR OTHER PARTIES. THE CONTRACTOR IS NOT RESPONSIBLE FOR ANY CHANGES MADE TO THE PLANS AND DRAWINGS BY THE CONTRACTOR'S CONSULTANTS, SUBCONTRACTORS, OR OTHER PARTIES.



1621 & 1703 EAST ROOSEVELT ROAD

Prepared for:
RMA BUILDERS
6325 East Court
Cherry Valley, IL 61016
(217) 515-1725

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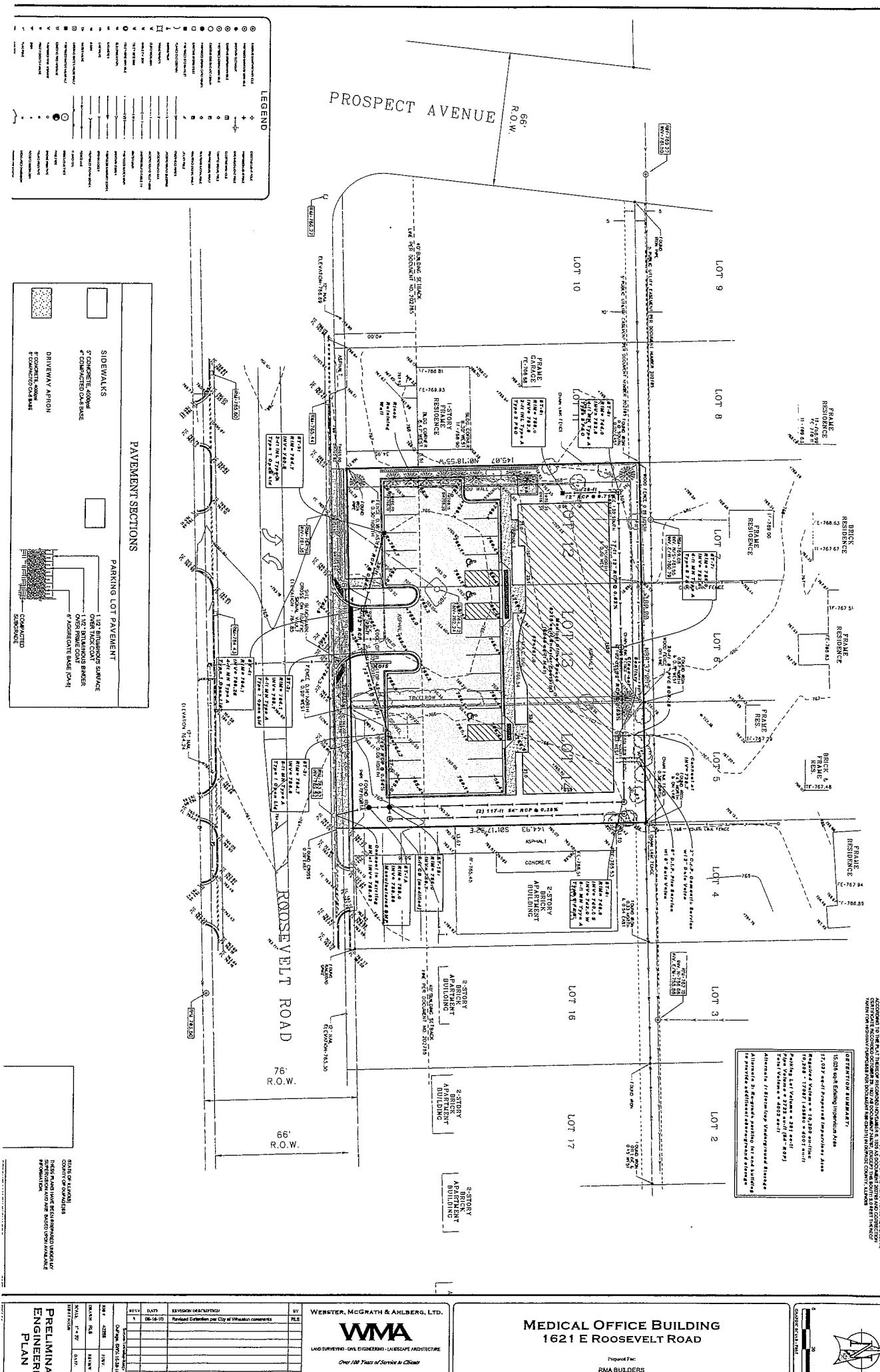
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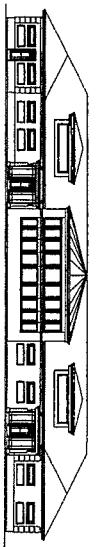
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Women's & Children's Clinic (by Women MDs)



1621 E. ROOSEVELT ROAD
WHEATON, ILLINOIS

DRAWING INDEX

NO.	DESCRIPTION
1	TITLE SHT, LOCATION PLAN
2	BUILDING ELEVATIONS
3	FLOOR PLAN
4	SIGN DETAILS

PROJECT DATA

USE AND OCCUPANCY CLASS: BUSINESS GROUP
PROPOSED BUILDING CLIMATE AREA: 6215 SF
CONSTRUCTION TYPE: IIB
NUMBER OF FLOORS: 1
TOTAL BUILDING HEIGHT: 24 FT
BUILDING CODE DATA:

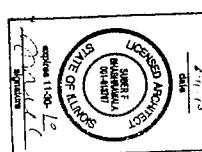


LOCATION PLAN
NO SCALE
NORTH

Suber F. Zummerwala & Associates
ARCHITECTS & PLANNERS
333 W. Irving Park Road, Suite # 202
R o s e l l e , I L 6 0 1 7 2
PH 630.351.1593

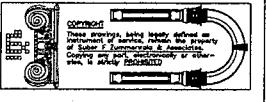
PRELIMINARY—
NOT FOR CONSTRUCTION

FIRE PROTECTION
EXTERIOR MEANING WALLS: 1 NO
COMMONS MEANING WALLS: 1 NO
INTERIOR MEANING WALLS: 0 NO
COLLAPSING CONSTRUCTION: 0 NO
PROVIDE OPENING PROTECTION IN RATED ASSEMBLIES
SAME AS RATED ASSEMBLIES



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by Women MDs
1621 E. ROOSEVELT ROAD
WHEATON, ILLINOIS

Suber F. Zummerwala & Associates
ARCHITECTS & PLANNERS
333 W. Irving Park Road, Suite # 202
R o s e l l e , I L 6 0 1 7 2
PH 630.351.1593
DESIGN FIRM LIC. NO. 184004407

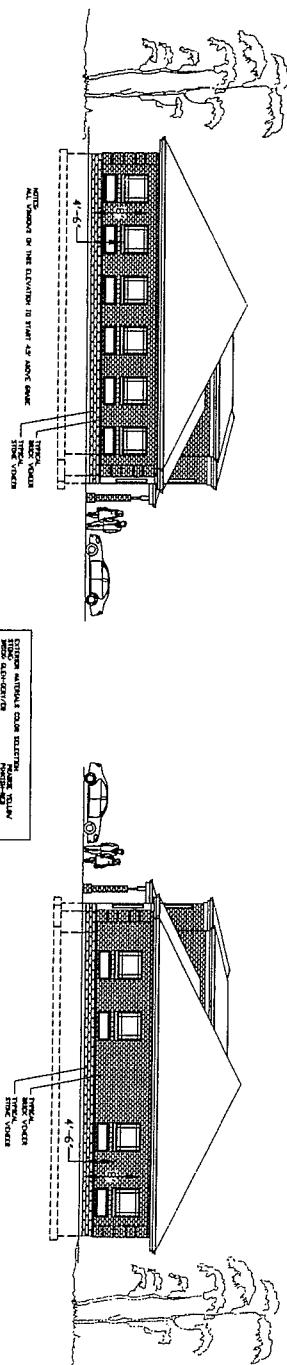


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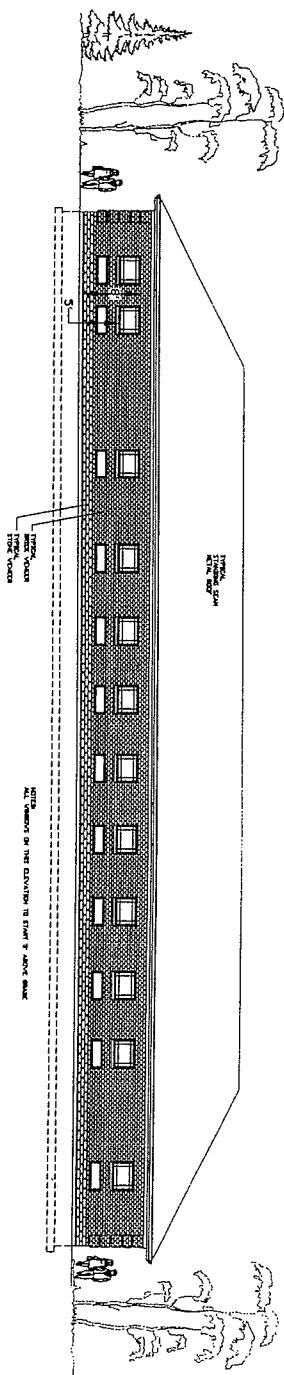
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3	10.22	

SCALE 1/8" = 1'

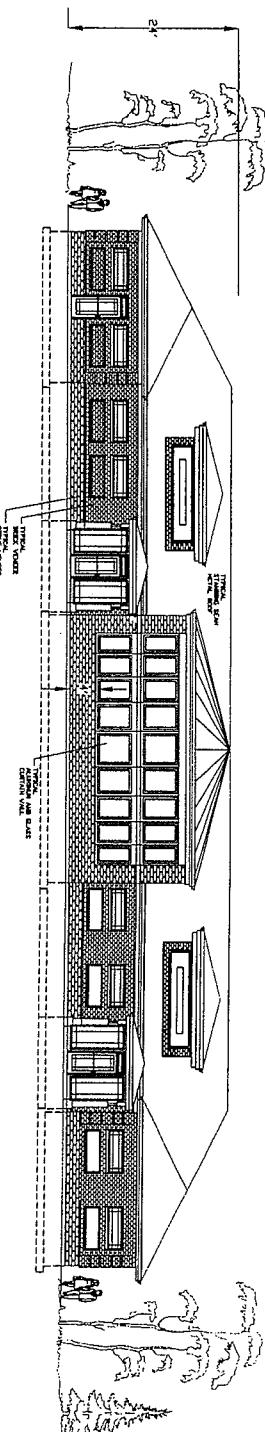
LEFT SIDE ELEVATION



REAR ELEVATION



FRONT ELEVATION

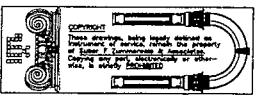


RIGHT SIDE ELEVATION

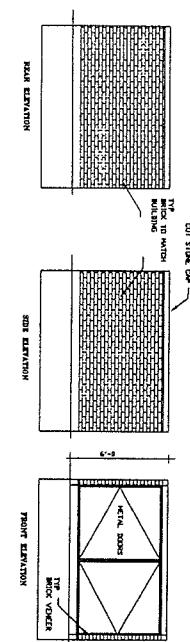
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2	REV B	6/1/16
3	REV C	6/1/16
4	REV D	6/1/16

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WHEATON, ILLINOIS

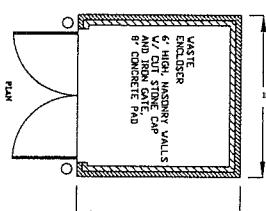
Suber F Zummerwala & Associates
ARCHITECTS & PLANNERS
135 W. DuPage Park Road, Suite # 200
Roselle, IL 60172
PH 630.351.1593
DESIGN FIRM LLC NO. 184.0004493



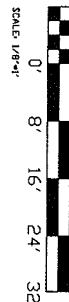
NOTICE: This set of drawings for a custom designed STRUCTURE is the copyrighted INTELECTUAL property of SUBER F ZUMMERWAL & ASSOCIATES, ARCHITECTS. These drawings are not to be reproduced by anyone method, including blueprinting, xerostating, tracing, photography, electronic, redrawing, or any other means without written consent of THE ARCHITECT. They may not be knowingly furnished to others for ANY OTHER BUILDING from THESE PLANS.



WASTE ENCLOSER details



LOOK PLAN

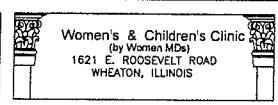
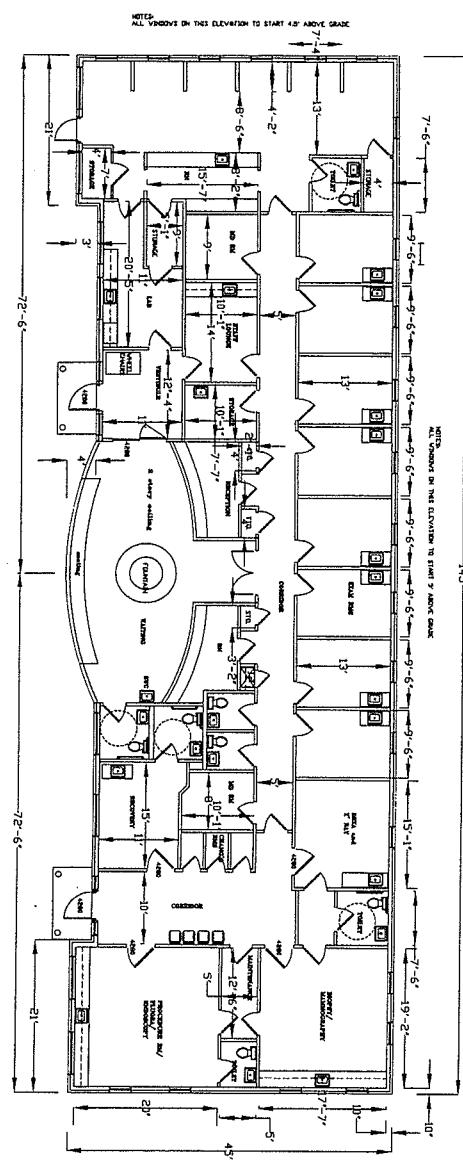


A circular icon with a horizontal line through the center, divided into four quadrants. The top-right quadrant contains a black triangle pointing right, and the bottom-right quadrant contains a black triangle pointing left. The word "MOTION" is written vertically to the right of the icon.

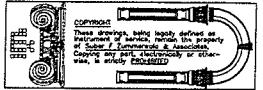
NOTICE
ALL SCAFFOLDING, HOSES, TO BE STORED IN
ALL REAR TRUCK, TRAILER, WORKSHOP
LOAD WALL OR TRAILER, WORKSHOP
OR EQUIPMENT ROOM.

NOTICE
CHAINS, HOOKS, BOLTS, WIRE, VINYL, FABRIC, SCAFFOLDING,
EQUIPMENT, AND ALLOWED VINYL
SCAFFOLDING STATION

PRELIMINARY-
NOT FOR CONSTRUCTION



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1621 E. ROOSEVELT ROAD
WHEATON, ILLINOIS



NO.	REVISION	DATE

PRELIMINARY—
NOT FOR CONSTRUCTION

ALL EXTERIOR SIGNAGE SHALL BE IN CONFORMANCE WITH THE CITY SIGN ORDINANCE SIGN FABRICATOR TO SUBMIT SHOP DRAWINGS TO VILLAGE FOR APPROVAL AND PERMIT.

③ GROUND SIGN

1. REQUIRED SIGN TO BE CONSTRUCTED OF SAME MASONRY MATERIALS AS THE BUILDING.
2. SIGN TO HAVE AN OPAQUE BACKGROUND, SO ILLUMINATION ONLY SHINES THROUGH THE LETTERS OR GRAPHICS OF A SIGN.

PLAN

10'-0

24' x 24'

16' BRICK WALL

SIGN DEPTH

SECTION

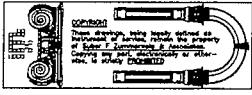
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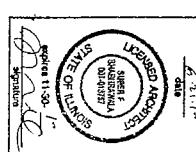
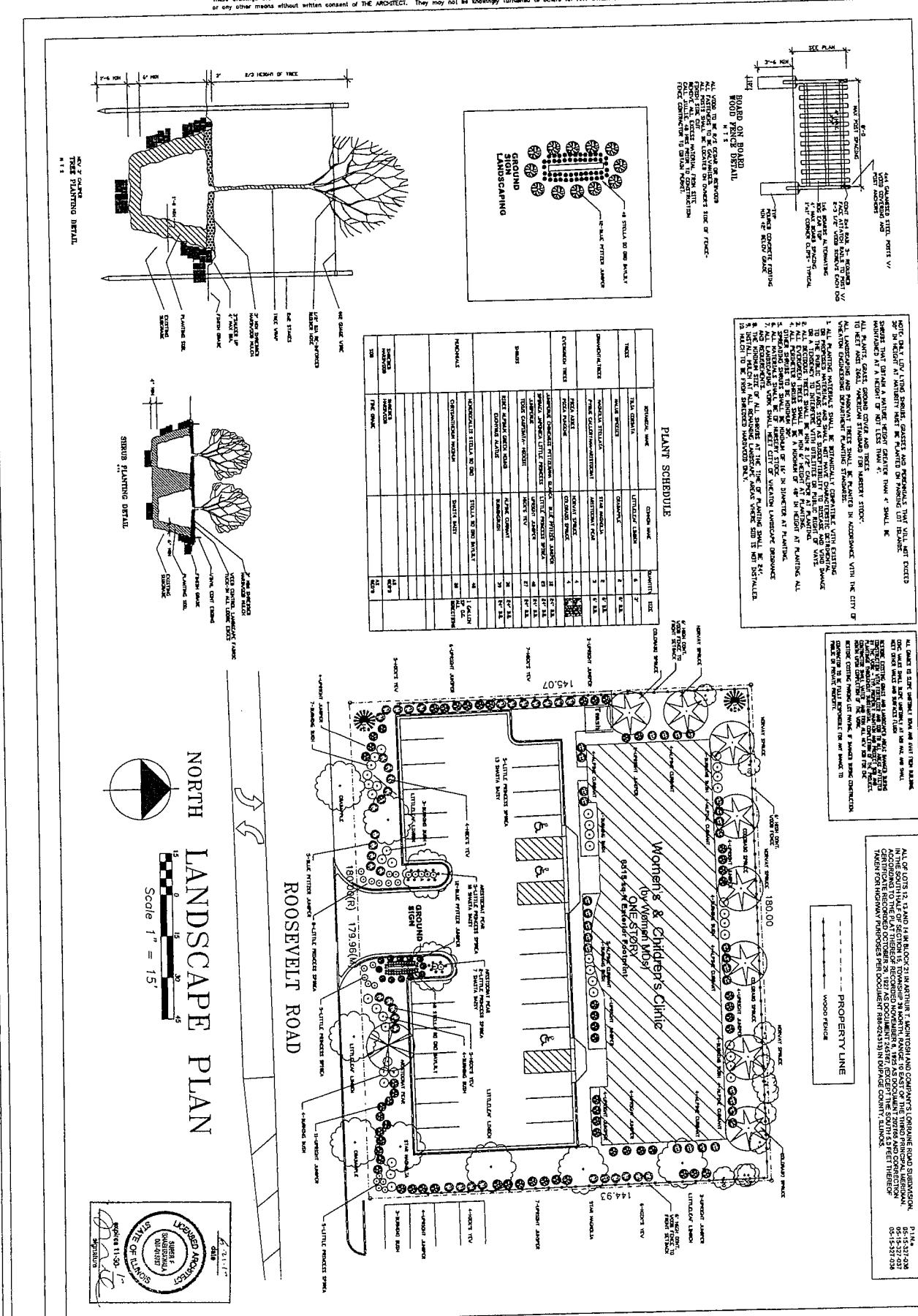
Women's & Children's C
(by Women MDs)
1621 E. ROOSEVELT ROAD
WHEATON, ILLINOIS

Suber F Zummarwala & Associates

SFA
333 W. Irving Park Road, Suite # 202
Roselle, IL 60172
PH 830.331.1593
DESIGN FIRM LIC. NO. (84)04407



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Women's & Children's
(by Women MDs)
1621 E. ROOSEVELT RO.
WHEATON, ILLINOIS

Suber F Zummerwals & Associates
ARCHITECTS & PLANNERS
333 W. Irving Park Road, Suite #202
Roselle, IL 60172
PH 708.935.1593

