

ORDINANCE NO. F-1456

AN ORDINANCE AMENDING THE WHEATON ZONING ORDINANCE MAP AND GRANTING SIX PERIMETER LANDSCAPING SETBACK VARIATIONS FOR PROPERTY COMMONLY KNOWN AS 411 EAST ROOSEVELT ROAD - WARDEN

WHEREAS, written application has been made to amend the Zoning Map, which is attached to and forms a part of the Zoning Ordinance of Wheaton, Illinois, to rezone, reclassify and secure six perimeter landscaping setback variations in order to renovate and expand the existing structure to slightly less than 5,000 square feet and construct a new 29 stall parking lot, all on certain property legally described herein within the city limits of Wheaton, Illinois ("City"), and commonly known as 411 East Roosevelt Road ("subject property"); and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the City Zoning Ordinance, a public hearing was conducted by the Planning and Zoning Board on August 25, 2009, September 9, 2009 and October 27, 2009 to consider the requested zoning amendment and variations; and the Board has recommended approval of the rezoning and variation requests.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: Pursuant to the findings of fact made and determined by the Planning and Zoning Board, the Zoning Map which is attached to and forms a part of the City Zoning Ordinance is amended by removing the following-described property from the R-4 Residential District Zoning classification and adding and including the subject property in the O-R Office Research District Zoning classification:

PARCEL 1: LOT 12 IN BLOCK 4 IN LINCOLN HIGHWAY SUBDIVISION OF THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 21, 1921 AS DOCUMENT 146122, IN DUPAGE COUNTY, (EXCEPT THE SOUTHERLY PORTION OF LOT 12 DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF LOT 12 AND PROCEEDING NORTH A DISTANCE OF 20 FEET ALONG THE WEST LINE; THENCE PROCEEDING EASTERLY TO A POINT ON THE EAST LINE AND LOCATED 16 FEET NORTH OF THE SOUTHEAST CORNER; THENCE SOUTH A DISTANCE OF 16 FEET; THENCE WEST ALONG THE SOUTH LINE A DISTANCE OF 66 FEET TO THE POINT OF BEGINNING.

PARCEL 2: LOT 13 IN BLOCK 4 IN LINCOLN HIGHWAY SUBDIVISION OF THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 21, 1921 AS DOCUMENT 146122, IN DUPAGE COUNTY, (EXCEPT THE SOUTHERLY PORTION OF LOT 13 DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF LOT 13 AND PROCEEDING NORTH A DISTANCE OF 16 FEET ALONG THE WEST LINE; THENCE PROCEEDING EASTERLY TO A POINT ON THE EAST LINE AND LOCATED 12 FEET NORTH OF THE SOUTHEAST CORNER; THENCE SOUTH A DISTANCE OF 12 FEET; THENCE WEST ALONG THE SOUTH LINE A DISTANCE OF 66 FEET TO THE POINT OF BEGINNING.

P.I.N. 05-16-422-012; -013

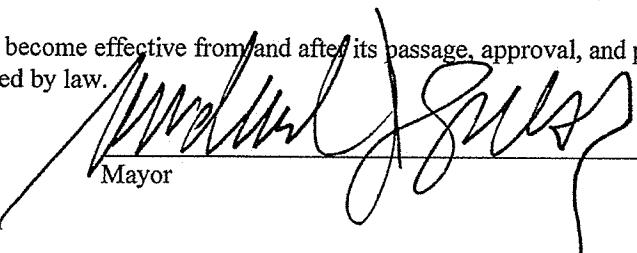
The subject property is commonly known as 411 East Roosevelt Road, Wheaton, IL 60187.

Section 2: Pursuant to the Findings of Fact made and determined by the Planning and Zoning Board, six variations to the Wheaton Zoning Ordinance for perimeter landscaping setbacks are hereby granted, in full compliance with the following plans: "Proposed Site Plan", prepared by Ashley Rearick Architects, Glen Ellyn, IL, dated October 6, 2009, "Civil Site Plans", sheets C1 - C10, prepared by Tech 1 Engineering, Aurora, IL, dated July 15, 2009 and revised October 6, 2009; "Proposed Elevations and Floor Plans", sheets 1-7, prepared by Ashley Rearick Architects, Glen Ellyn, IL, dated July 22, 2009 and "Landscaping Plan", dated July 22, 2009 and in further compliance with the following conditions, restrictions, and requirements:

1. The proposed fence along the north property line shall be an 8 foot tall solid vinyl fence and along the east property line shall be an 8 foot tall tapering to 6 foot tall solid vinyl fence ending at the building setback line for the property to the east;
2. Prior to issuance of a site development permit, the applicant shall submit a lighting plan for staff approval;
3. The applicant shall submit a plat of consolidation for the property including proper utility and stormwater management easements prior to the issuance of a building permit;
4. The engineering plans shall be revised to include a storm sewer drain for the on-site depressional area;
5. The applicant shall obtain a highway permit from the Illinois Department of Transportation (IDOT) for the proposed drive approach and public sidewalk work in the Roosevelt Road right-of-way;
6. The landscape plan shall be revised to replace the existing sugar maples with a different species of tree for staff approval;
7. Prior to site plan approval, the applicant shall submit a tree survey showing the location, size and species of all of the existing trees on the property with a trunk size of six (6) inches or greater;
8. The applicant shall stripe parking stall 12 for a turnaround area;
9. The applicant shall work with staff to enlarge the radius of the northeast corner of the landscaped island to at least a 15 foot radius;
10. The applicant shall reduce the length of all of the parking stalls to 16.5 feet with the extra space added to abutting landscape/ sidewalk areas; and
11. The applicant shall move the monument sign 5 feet to the west.

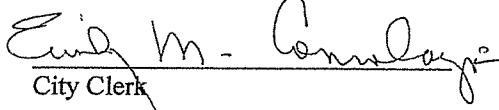
Section 3: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 4: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.



Mayor

ATTEST:



Cindy M. Connolly
City Clerk

Roll Call Vote:

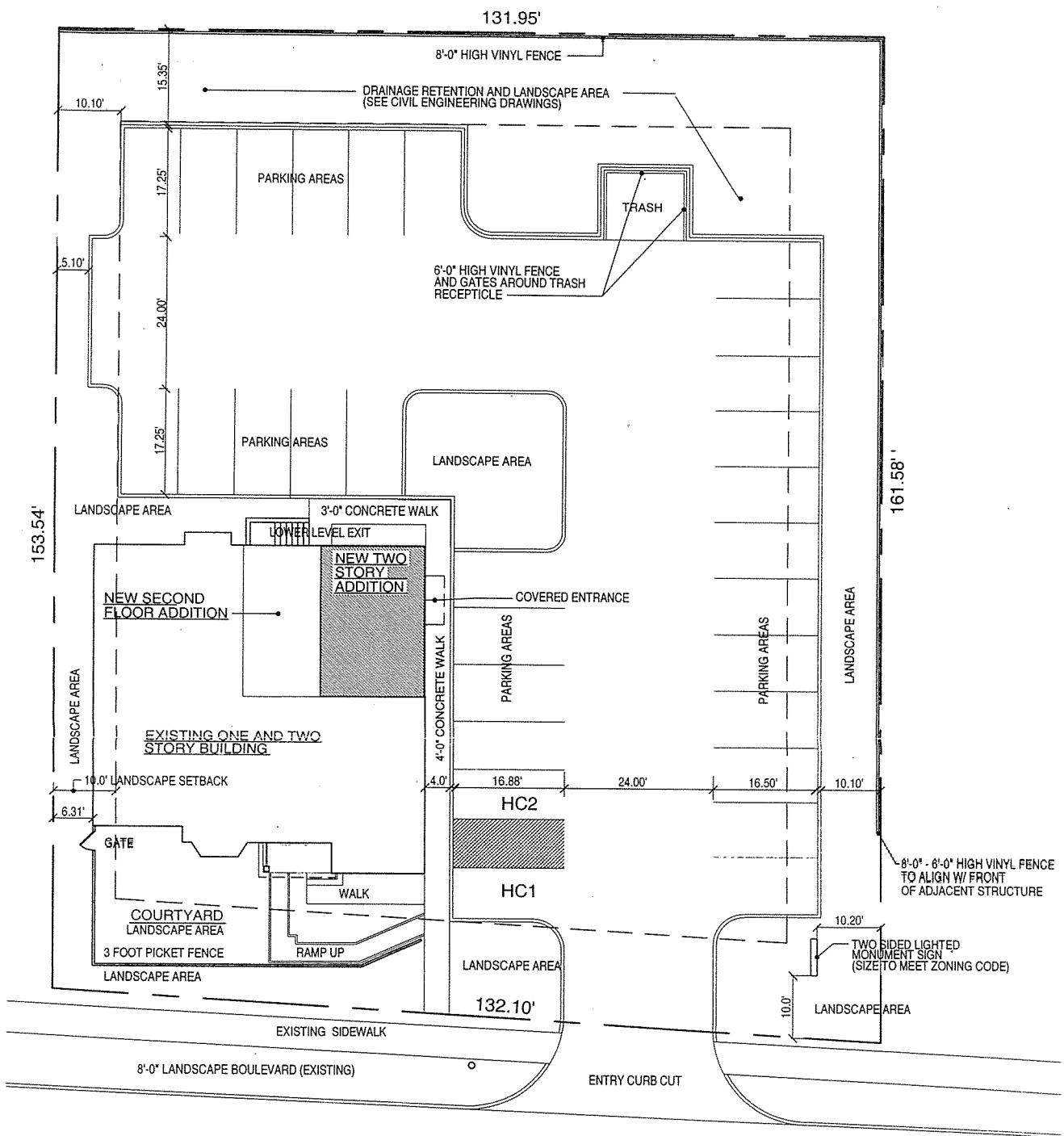
Ayes:	Councilman Suess Councilwoman Corry Councilman Mouhelis Mayor Gresk Councilman Prendiville Councilman Scalzo
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Nays:	Councilman Levine
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Absent:	None
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Motion Carried

Passed: December 7, 2009
Published: December 8, 2009



ROOSEVELT ROAD

PROPOSED SITE PLAN

SCALE: 1/16" = 1'-0"



OFFICE BUILDING ADVANCED HEALTH CARE
411 ROOSEVELT ROAD, WHEATON, IL 60187



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REVISED 10/6/09

*CIVIL SITE PLANS
FOR
ADVANCED HEALTHCARE-PARKING LOT
SITE IMPROVEMENTS*

JURISDICTIONS

CITY OF WHEATON, ILLINOIS
DUPAGE COUNTY, IL.

CONTROL POINTS

SITE BENCHMARK

TOP OF HYDRANT APPROXIMATELY 60 FEET EAST OF
SOUTH EAST PROPERTY CORNER ON NORTH SIDE
OF ROOSEVELT RD. ELEV.=773.40

REFERENCE BENCHMARK - M121001
A BRONZE DISK MONUMENT ESTABLISHED IN CONCRETE
BY THE U.S. NATIONAL SURVEYORING & PLATING CO. MAPS
AND PLATS ON THE WEST SIDE OF PRESIDENT STREET
320 FEET SOUTH OF ROOSEVELT ROAD AT 'T' INTER-
SECTION WITH TAFT AVENUE.
ELEVATION = 761.79 (NGVD 29)

ZONING

EXISTING: R-4 (RESIDENTIAL)
PROPOSED: O-R (OFFICE-RESEARCH)

PREPARED FOR

Chris Warden

Advanced Healthcare
721 East Roosevelt Rd.
Wheaton, Illinois, 60187
(630)890-3414

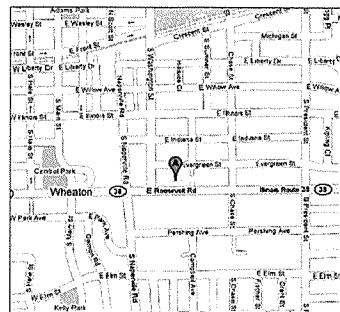
DESIGN ENGINEERS STATEMENT

TO THE BEST OF MY KNOWLEDGE, ALL APPROVEMENT PLANS AND SPECIFICATIONS
FOR THESE DRAWINGS ARE IN CONFORMITY WITH THE STANDARDS OF THE CITY
OF WHEATON AND THE COUNTY OF DUPAGE, AND ARE IN ACCORDANCE WITH GOOD
ENGINEERING PRINCIPLES.



Anthony V. Chappagne
Registered Professional Engineer 62053303
Expires 11/30/09

411 East Roosevelt Rd.
Wheaton, IL.



(A) LOCATION MAP

RE-ZONING SET: 10/06/09
RE-ZONING SET: 7/18/09



TECH 1 ENGINEERING RESOURCE LLC
2410 RED BUD LANE, AURORA, IL 60502
(630)375-9000

GENERAL NOTES & SPECIFICATIONS

GENERAL
PROJECT SPECIFICATIONS

1. CONTRACTOR WILL PROVIDE ALL DREDGINGS AND REMOVALS OF THE STATE, COMMUNITY, AND LOCAL SYSTEMS. ALL PROPOSED IMPROVEMENTS ARE TO BE CONDUCTED IN ACCORDANCE WITH THE STANDARDS FOR DESIGN AND BASIC CONSTRUCTION, AS WELL AS THE STANDARD SPECIFICATIONS FOR VARIOUS TYPES OF WORK, AS PUBLISHED BY THE STATE AND LOCAL GOVERNMENTS.
2. THE CONTRACTOR SHALL INFORM STURGEON BAY LAND OWNERSHIP INC. AND TECH ENGINEERING INC., THE LVI ENGINEERS AND DURER, THE STATE OF WISCONSIN, AND THE LOCAL GOVERNMENT OF THE CONTRACTOR'S SOLE RESPONSIBILITY FOR CONDUCTING WORK IN ACCORDANCE WITH THE STANDARDS FOR DESIGN AND ALL GOVERNMENTAL AUTHORITIES HAVING JURISDICTION OVER THIS DEVELOPMENT.
3. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS, METHODS, PROCEDURES AND EQUIPMENT USED IN THE CONDUCT OF THIS PROJECT.
4. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING, PROTECTING AND MAINTAINING OF PUBLIC UTILITIES LINES AND APPURTENANCES.
5. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL PERMITS THAT ARE REQUIRED BY THE LOCAL AUTHORITIES.
6. THE MUNICIPALITY SHALL HAVE THE AUTHORITY TO INSPECT, APPROVE, AND REJECT THE CONTRACTOR'S WORK AND THE CONTRACTOR'S WORKMANSHIP.
7. PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS, THE CONTRACTOR MUST CALL THE STATE OF WISCONSIN, THE LOCAL ESTIMATING OFFICE, AND THE STATE'S ELECTRIC, TELEPHONE AT 1-800-432-1234, AND THE LOCAL UTILITIES.
8. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT DRAWINGS AND PLANS OF THE IMPROVEMENTS AS THEY ARE CONDUCTED AND APPROVED BY THE ENGINEER.
9. THE PROPOSED IMPROVEMENTS ARE TO BE CONDUCTED IN ACCORDANCE WITH THE ENGINEERING PLANS AND APPROVED BY THE MUNICIPALITY.
10. THE CONTRACTOR IS RESPONSIBLE FOR THE QUALITY OF THE CONTRACTOR'S WORK AND TO BE VERIFIED PRIOR TO CONSTRUCTION.

STORM SEWER SPECIFICATIONS

STORMWATER OIL & SEDIMENT SEPARATOR

4. SEE SUPPLEMENTAL BEST MANAGEMENT PRACTICES (BMP) REPORT FOR SPECIFICATION AND OTHER INFORMATION

GRADING

1. UNSTABLE SOIL SHALL BE REMOVED OR STABILIZED.
2. CONTRACTOR IS TO MAINTAIN A POSITIVE BRAINAGE PATTERN AT THE END OF EACH DAY. CARE SHOULD BE TAKEN TO INSURE THAT BRAINAGE IS NOT RE-BROUDED OR RE-MOVED IN A WAY THAT MAY BE HARMFUL TO ADJACENT LAND.
3. ALL FILL SHALL BE PLACED IN 6' LIFTS COMPACTED TO 95% STANDARD LABORATORY DENSITY.
4. EROSION CONTROL SHALL BE PROVIDED PRIOR TO ANY DISTURBANCES.
5. PROVIDE TEMPORARY RESEED FOR THE FOLLOWING UNLESS OTHERWISE NOTED:
a. 10' X 10' IN SODDED AREAS
b. 4' X 4' IN PLANTING AREAS
6. GRADE IS TO BE PROVIDED BY CONTRACTOR.
7. ALL GRAADING IS TO BE CONDUCTED IN 6" LIFTS WITHIN A TOLERANCE OF 6" OF THE PROPOSED ELEVATION OR SUB-SURFACE ELEVATION.

PAVEMENT

1. DEMOLITION
2. A. EXCAVATE TO VIBRIO SUBGRADE AND RONDOON 200L BEARING CAPACITY OF 2000 PSF.
3. B. IT IS RECOMMENDED TO HAVE A GEOTECHNICAL INSPECTOR PRESENT DURING THE EXCAVATION OPERATIONS, FILL PLACEMENT, TESTING AND INSPECTION OF THE SOILS, ETC. IN ORDER TO VERIFY THE SOIL CONDITIONS AND TO ENSURE THAT PROPER REMEDIAL MEASURES ARE TAKEN.
4. C. A PROOF-HOLE WITH A HEAVY LOAD TRUCK AND VISUAL INSPECTION OF THE EXPOSED MATERIAL SHOULD BE PERFORMED PRIOR TO PLACEMENT OF ADDITIONAL MATERIAL. THE EXPOSED MATERIAL AREAS DETECTED BY THE PROOF-HOLE SHOULD BE EXCAVATED AND REPLACED.

CONCRETE

CONCRETE

1. 4500 PSI AIA ENTHRALLED STRENGTH
2. TYPE B-KIZ BARRIER CURB PER DETAIL ON 4" MM. GRANULAR CA-6 BASE THROUGHOUT PARKING LOT.

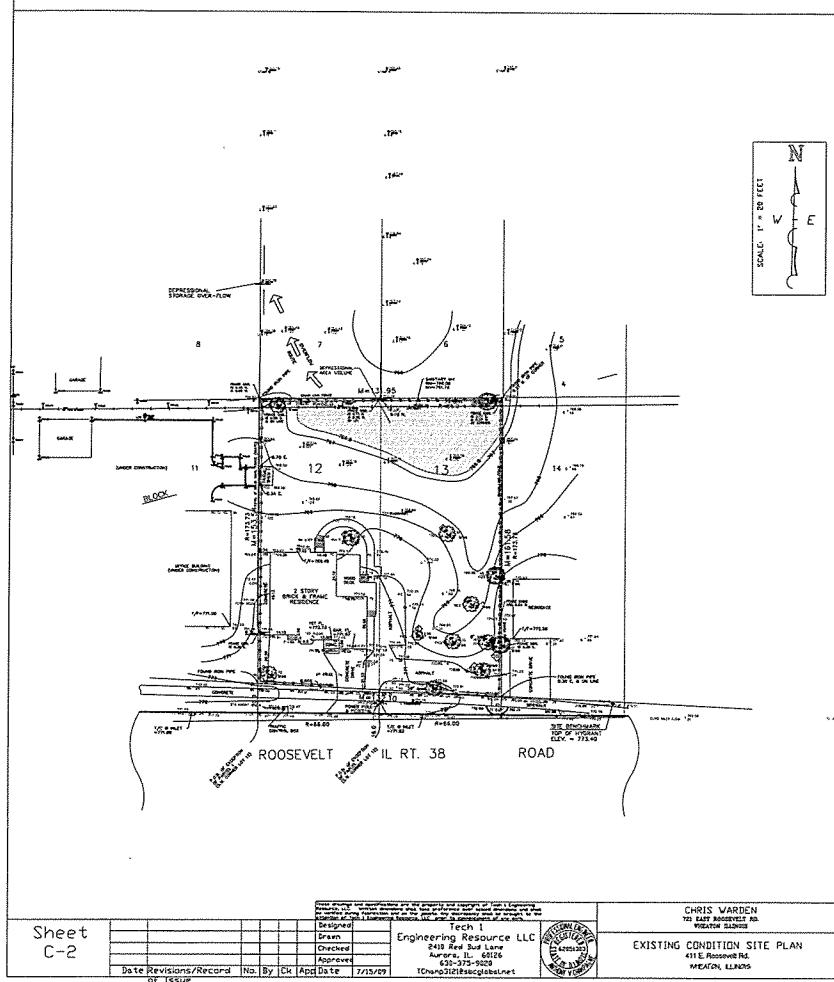
SEGMENTAL BLOCK RETAINING WALL

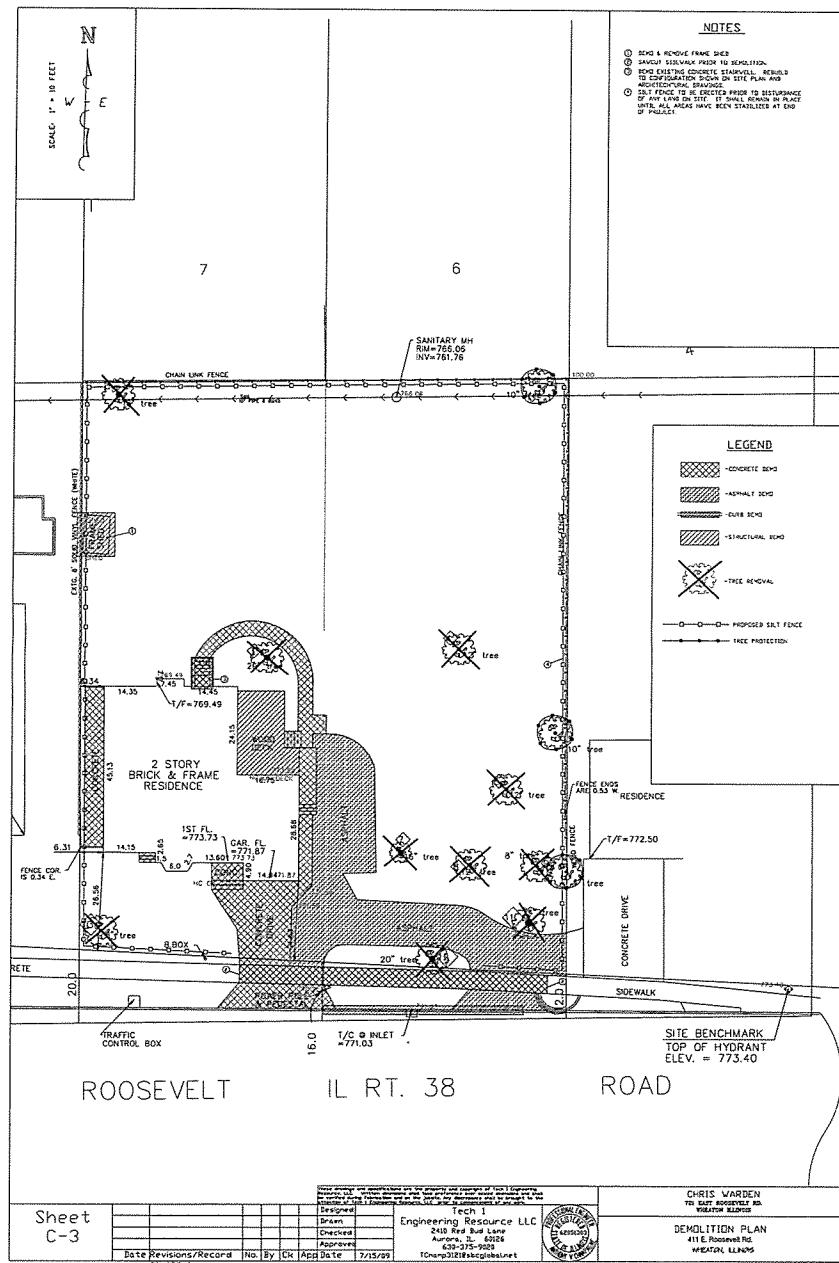
1. REFER TO MANUFACTURER'S SPECIFICATIONS AND INFORMATION FOR MATERIAL SELECTION AND INSTALLATION

EROSION CONTROL

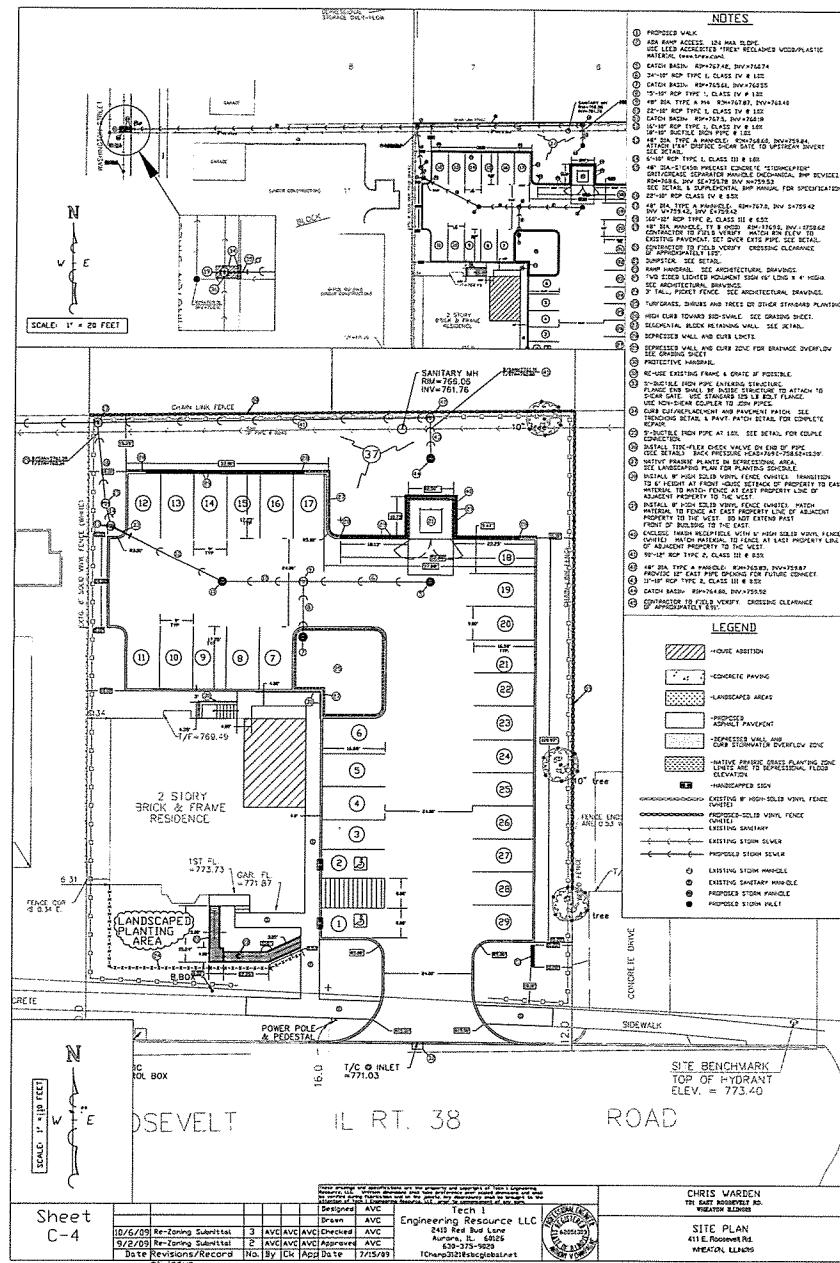
Existing Depressional Area
Detention Volume

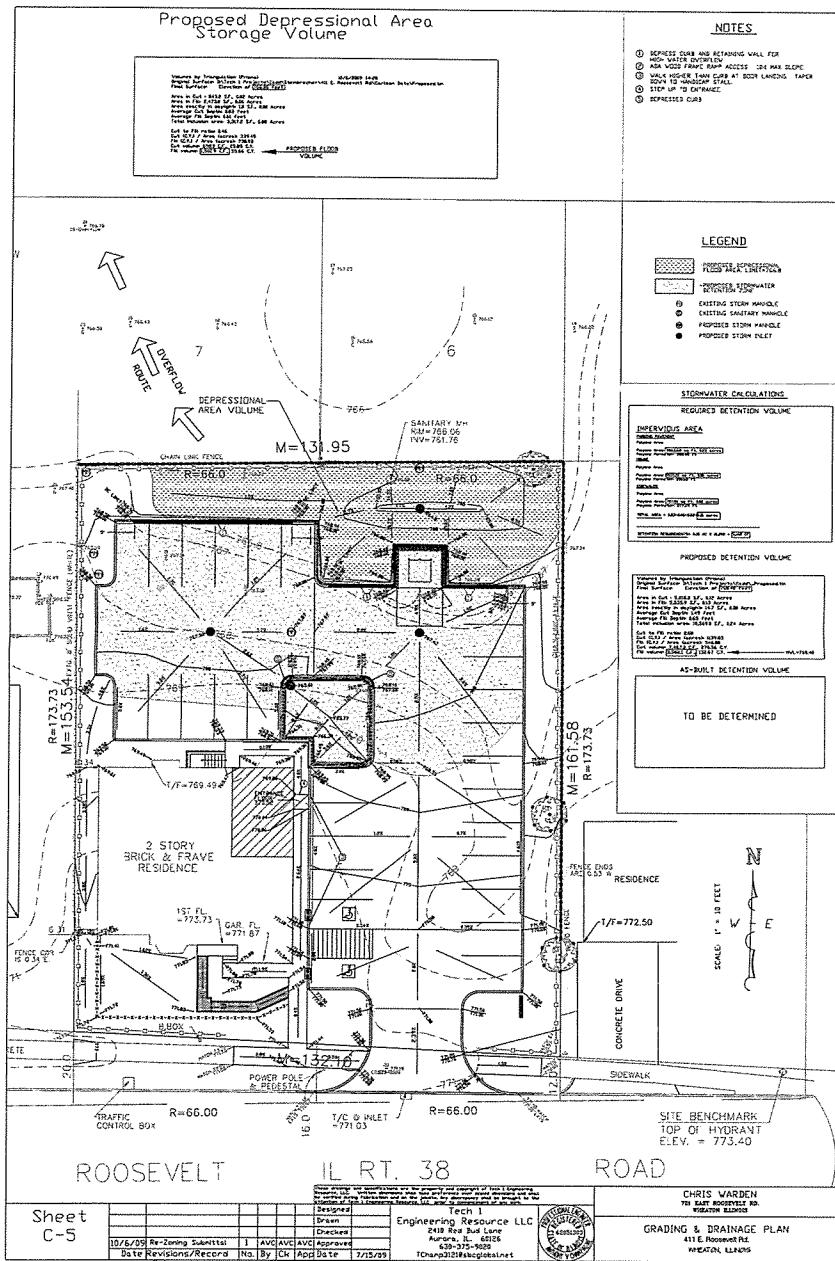
Volume Report 5/6/2009 15:06
Comparing GRID File: C:\Tech 1\Projects\Cadd\Steinbrecher\411 E Roosevelt Rd\Carlson Data\Extg Drpr Area Valgrd
and GRID File: C:\Tech 1\Projects\Cadd\Steinbrecher\411 E. Roosevelt Rd\Carlson Data\DS HwL.grd
Grid size: 100' x 100' Grid cell size: 10' x 10' Y: 200
Grid resolution: X1, Y: 10 Grid cell size: X 200, Y: 200
Warning: grid files do not match on resolution of first.
Area in SF: 3,283.3 SF, .007 Acres
Area in Acre: 0.00032833
Area in SF: 3,283.3 SF, .008 Acres
Total inclusion area: 3,505.1 SF, .008 Acres
Cut in SF: 218.8 SF
Average Cut Depth: 0.05 Average Fill Depth: 0.42
Max Cut Depth: 0.12 Max Fill Depth: 1.12
Cut in CY: 0.000000 CY
Fill (CY) / Acres (acres): 628.49
Cut volume: 195.65 CY
Fill volume: 1,364.57 CY

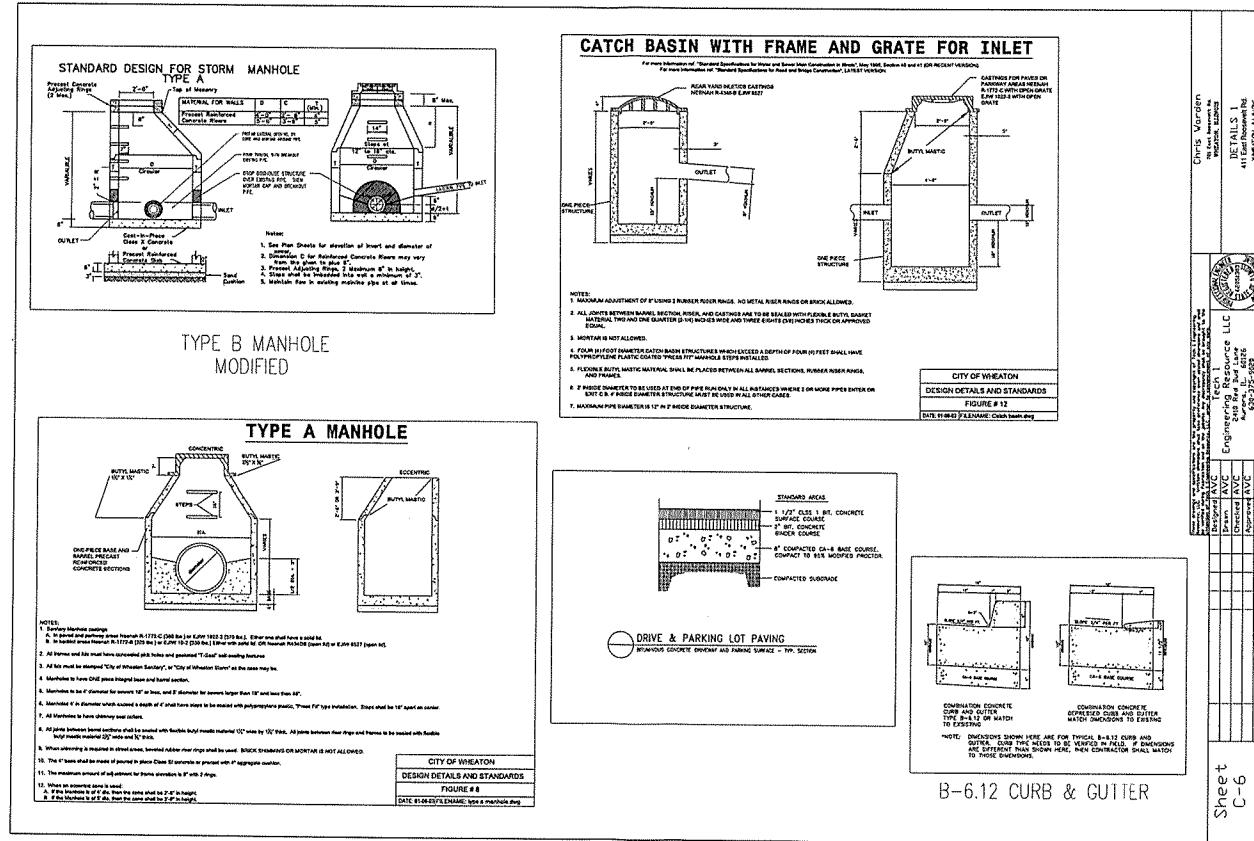




<p style="text-align: center;">Sheet C-3</p> <p style="text-align: center;">Date: 7/15/05</p> <p style="text-align: center;">Revised: 7/15/05</p> <p style="text-align: center;">Approved: 7/15/05</p> <p style="text-align: center;">Comments: 100% DUE 10/15/05</p>									
<p style="text-align: center;">Description</p>		<p style="text-align: center;">Tech 1</p> <p style="text-align: center;">Engineering Resource LLC</p> <p style="text-align: center;">2410 16th St. Suite 100</p> <p style="text-align: center;">Aurora, CO 80016</p> <p style="text-align: center;">(303) 364-1100</p> <p style="text-align: center;">FAX: (303) 364-1101</p>							
		<p style="text-align: center;">FAX: (303) 364-1101</p>							
<p style="text-align: center;">Revisions/Record</p>		No.	By	Chk	App'd	Date			

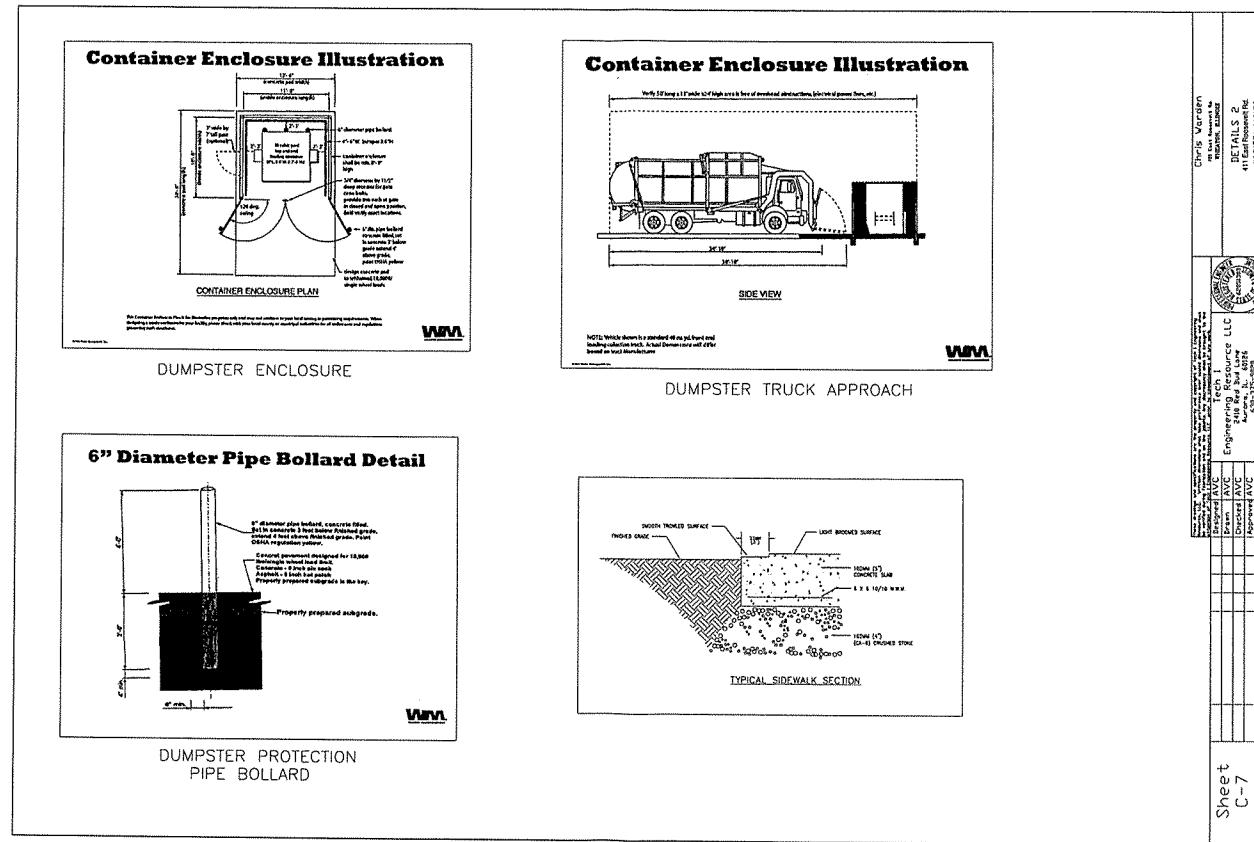


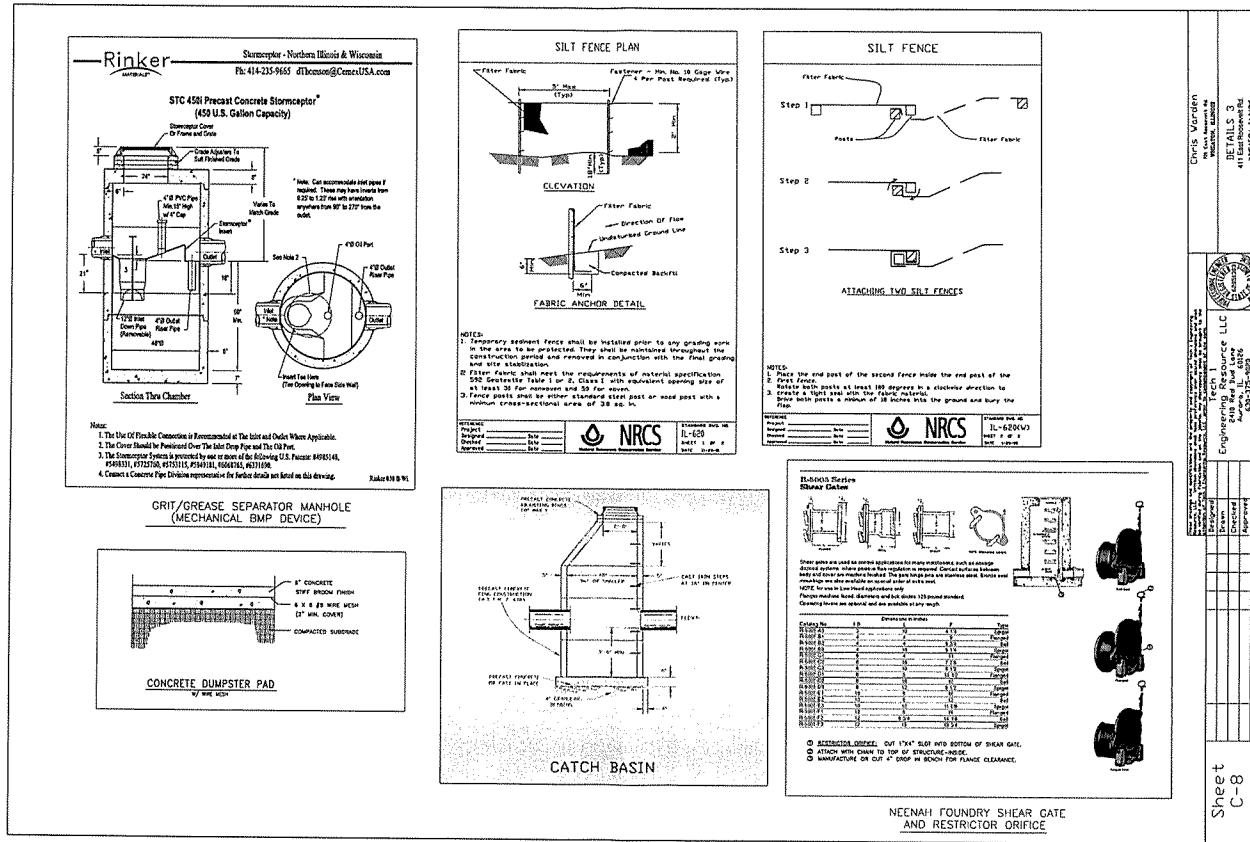


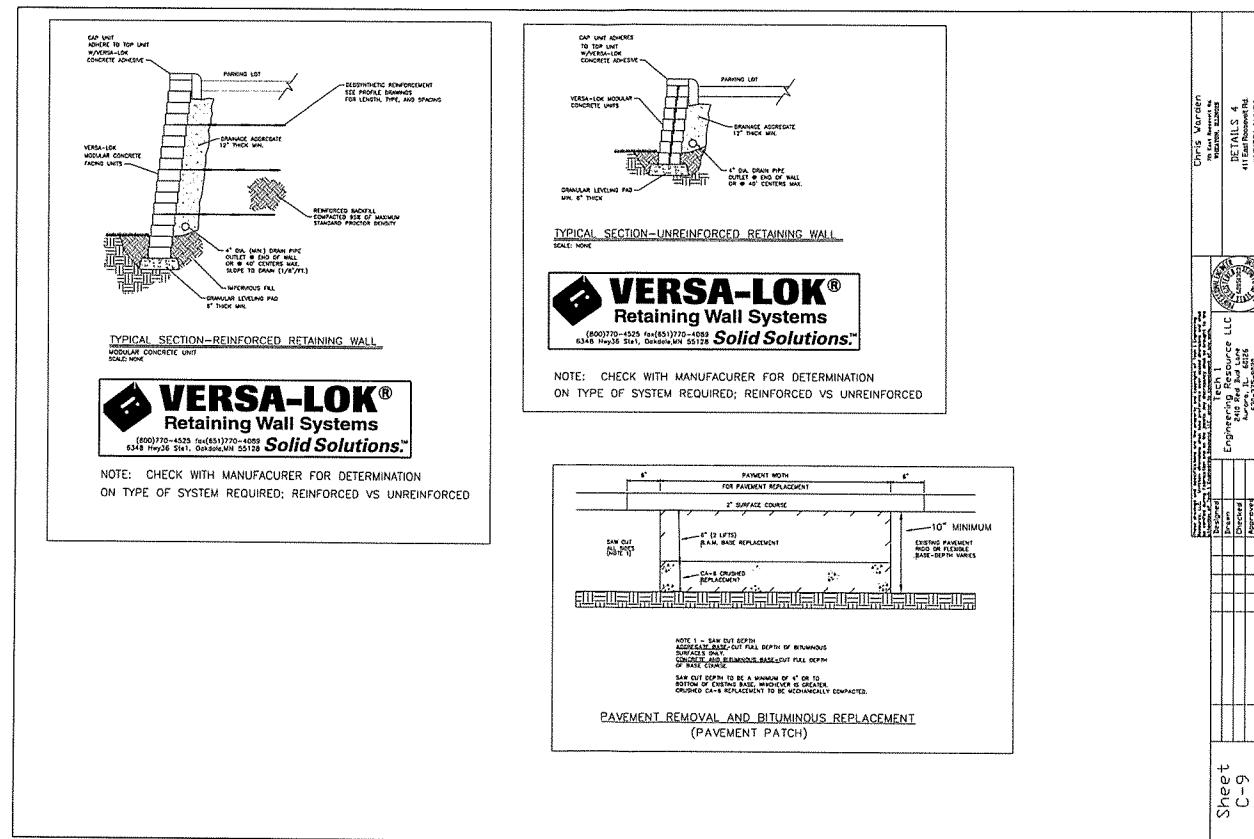


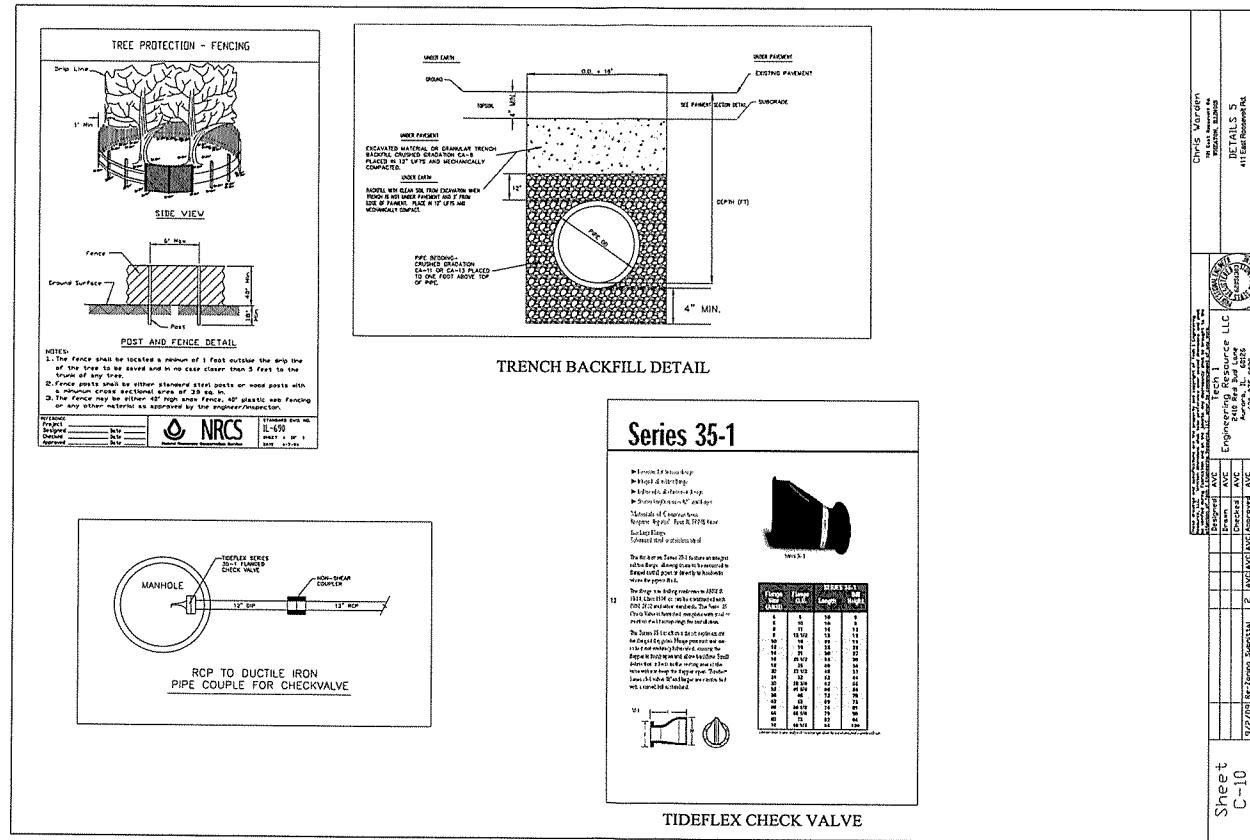
B-6.12 CURB & GUTTER

Sheet
C-6











PROPOSED SOUTH ELEVATION

SCALE: 3/16" = 1'-0"

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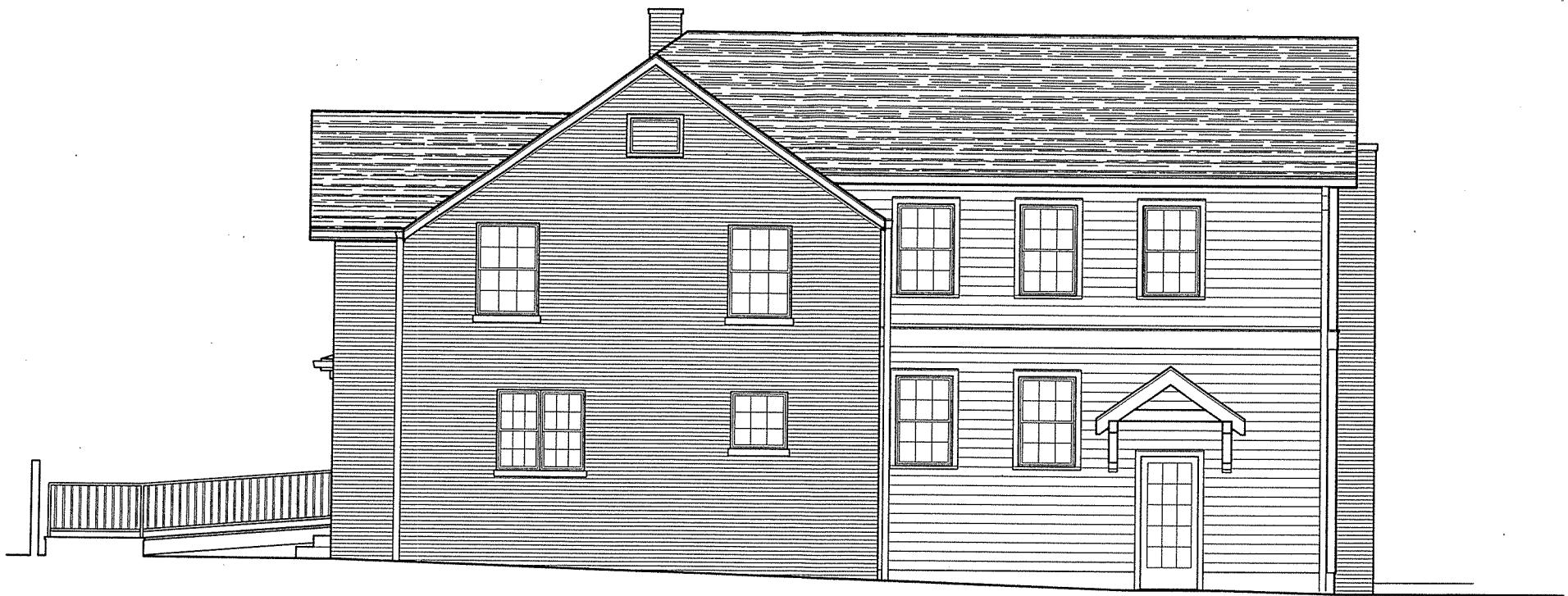


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PROPOSED EAST ELEVATION

SCALE: 3/16" = 1'-0"

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PROPOSED NORTH ELEVATION

SCALE: 3/16" = 1'-0"

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PROPOSED WEST ELEVATION

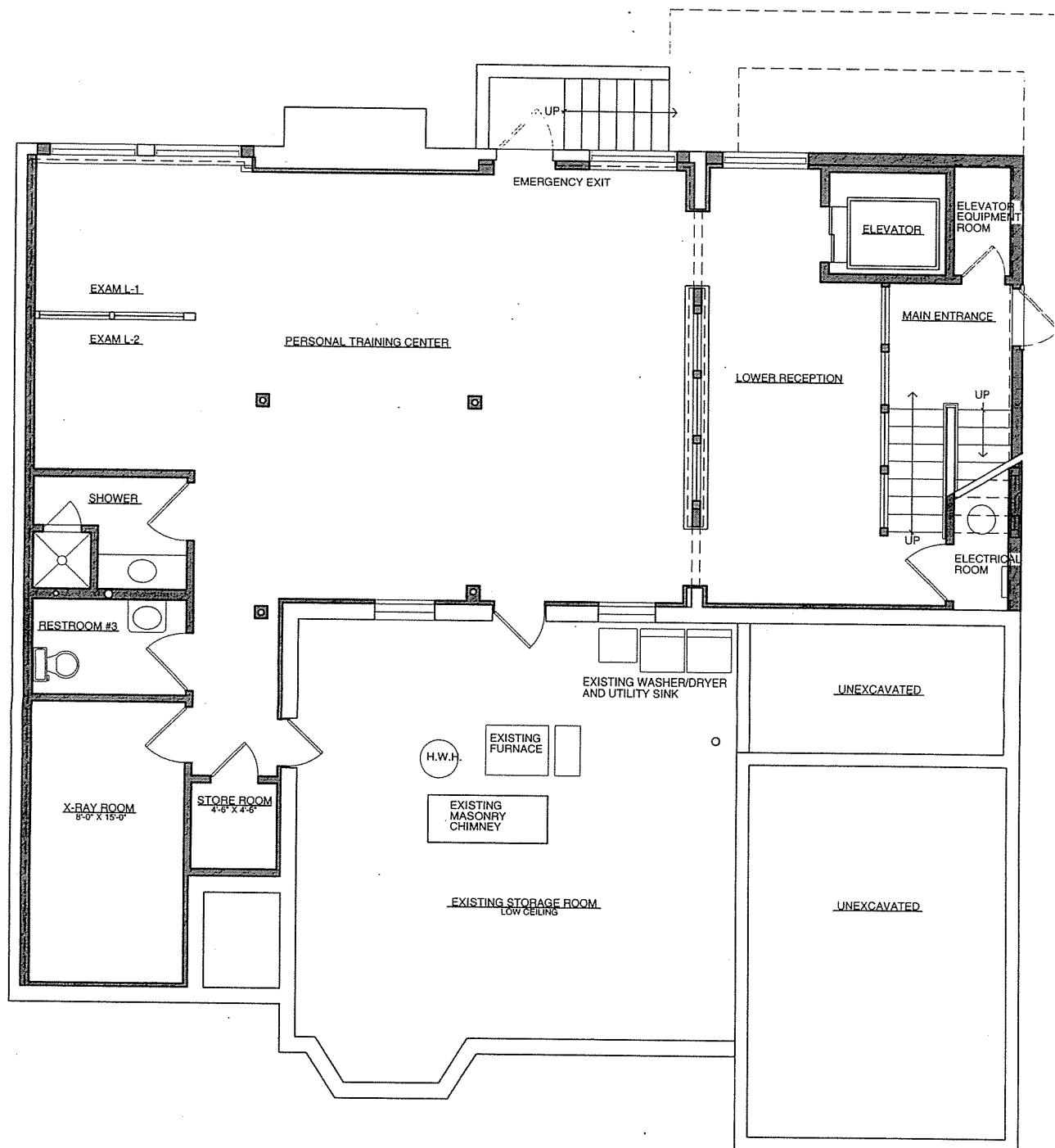
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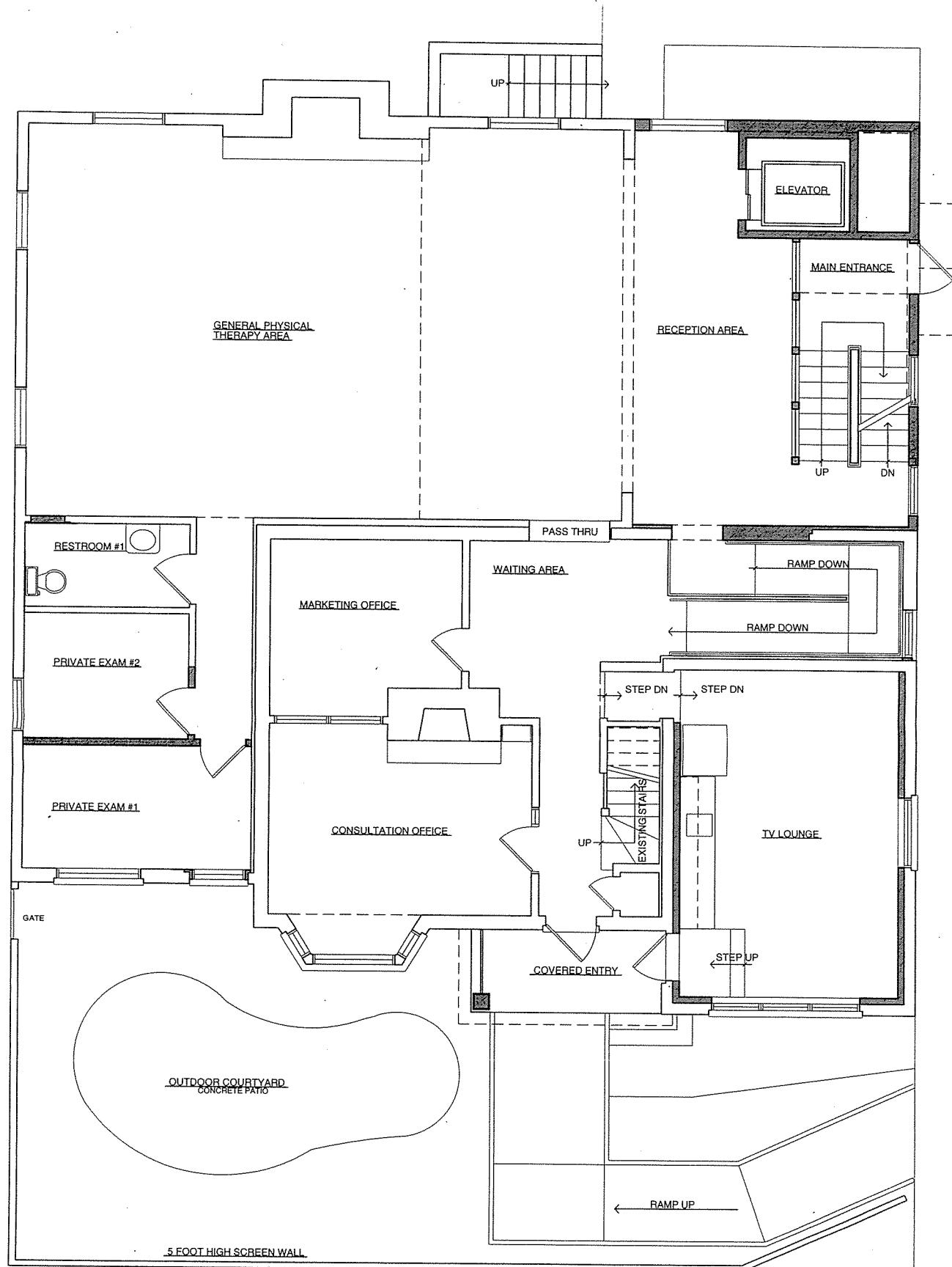
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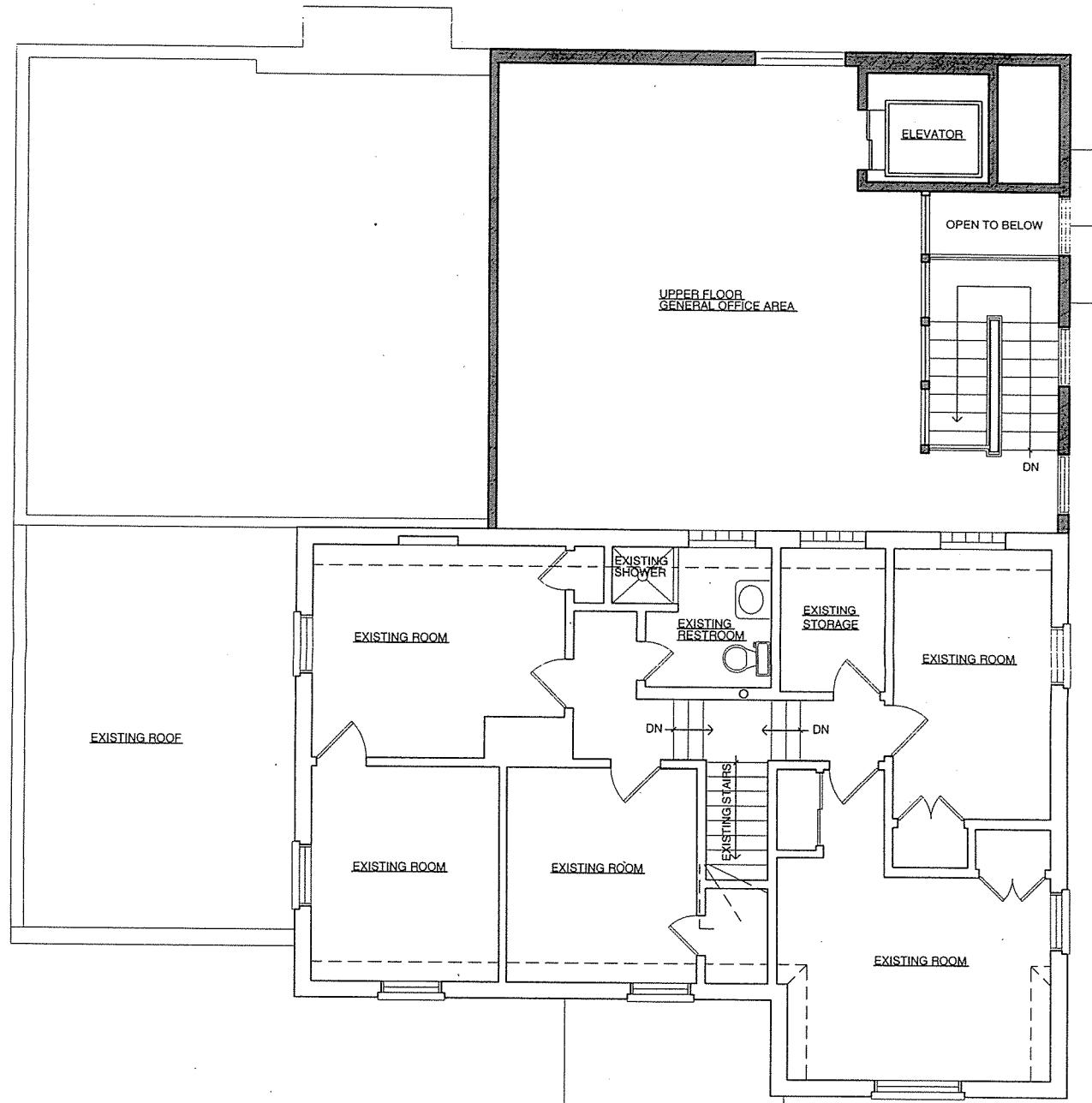
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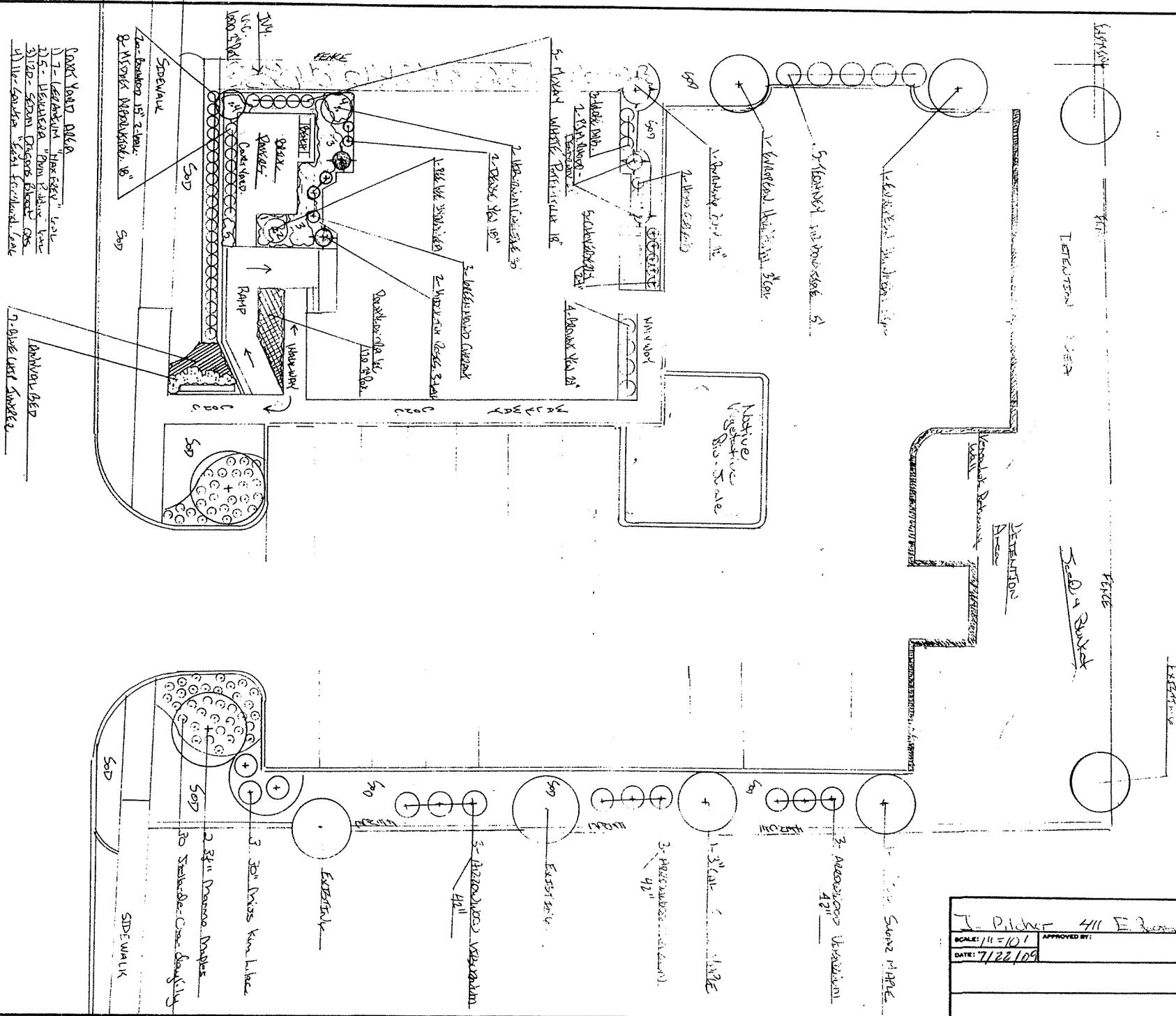
PROPOSED SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0"

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J. Pichler 411 E. Pleasant, Webster		
SCALE: 1/16 = 10'	APPROVED BY:	
DATE: 7/22/09	DRAWN BY	
	REVISED	
		DRAWING NUMBER