

ORDINANCE NO. F-1436

**AN ORDINANCE AMENDING THE WHEATON ZONING ORDINANCE MAP
AND GRANTING ZONING VARIATIONS FOR A CERTAIN PARCEL OF PROPERTY
COMMONLY KNOWN AS 631 SOUTH HALE STREET - FOY**

WHEREAS, written application has been made to amend the Zoning Map, which is attached to and forms a part of the Zoning Ordinance of Wheaton, Illinois, to rezone, reclassify and secure zoning variations in order to use the existing single-family house as an office building and construct a new parking lot, all on certain property legally described herein within the city limits of Wheaton, Illinois ("City"), and commonly known as 631 South Hale Street ("subject property"); and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the City Zoning Ordinance, a public hearing was conducted by the Planning and Zoning Board on June 9, 2009 to consider the requested zoning amendment and variations; and the Board has recommended approval of the rezoning and variation requests.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: Pursuant to the findings of fact made and determined by the Planning and Zoning Board, the Zoning Map which is attached to and forms a part of the City Zoning Ordinance is amended by removing the following described property from the R-4 Residential District Zoning classification and adding and including the subject property in the O-R Office Research District Zoning classification:

LOT 15 EXCEPT THAT PART OF LOT 15 IN BLOCK 3 IN W.I. AND W.E. WHEATON'S RESUBDIVISION OF LOT 2, IN SECTION 16, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 9, 1924 AS DOCUMENT 116426 IN DUPAGE COUNTY, ILLINOIS, BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF AFORESAID LOT 15, IN BLOCK 3 IN W.I. AND F.E. WHEATON'S RESUBDIVISION OF LOT 2 AS MONUMENTED AND OCCUPIED THENCE ON AN ASSUMED BEARING OF NORTH 00 DEGREES 50 MINUTES 38 SECONDS WEST 10.00 FEET ALONG THE WEST LINE OF SAID LOT 15 TO A POINT BEING MONUMENTED BY AN ILLINOIS DEPARTMENT OF TRANSPORTATION, DIVISION OF HIGHWAYS SURVEY MARKER: THENCE SOUTH 46 DEGREES 05 MINUTES 25 SECONDS EAST 14.08 FEET TO A POINT ON THE SOUTH LINE OF SAID LOT 15. SAID POINT BEING MONUMENTED BY AN ILLINOIS DEPARTMENT OF TRANSPORTATION, DIVISION OF HIGHWAYS SURVEY MARKER: THENCE SOUTH 88 DEGREES 39 MINUTES 48 SECONDS WEST 10.00 FEET ALONG SAID SOUTH LINE OF LOT 15 TO THE POINT OF BEGINNING, IN BLOCK 3 IN W.I. AND F.E. WHEATON'S RESUBDIVISION OF LOT 2 IN BLOCK 1 AND ALL OF BLOCK 4 OF J.C. WHEATON'S 2ND ADDITION TO WHEATON, IN SECTION 16, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID RESUBDIVISION RECORDED MAY 9, 1914 AS DOCUMENT 116426, IN DUPAGE COUNTY, ILLINOIS.

P.I.N. 05-16-337-019

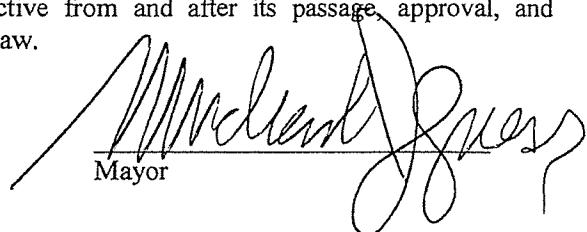
The subject property is commonly known as 631 South Hale Street, Wheaton, IL 60187.

Section 2: Pursuant to the Findings of Fact made and determined by the Planning and Zoning Board, a zoning variation is hereby granted from the provisions of Article 6.6.2b(1) of the Wheaton Zoning Ordinance to allow an interior side yard landscaping setback of 0 feet in lieu of the required 15.0 feet, a zoning variation is hereby granted from the provisions of Article 6.6.2a(1) of the Wheaton Zoning Ordinance to allow a corner side yard landscaping setback of 4.7 feet in lieu of the required 15.0 feet, and a zoning variation is hereby granted from the provisions of Article 22.5.15 of the Wheaton Zoning Ordinance to allow eight parking spaces in lieu of the required 9 parking spaces; all in full compliance with the following plans: "631 South Hale Street - Proposed Conversion of Existing Single Family Home to Office Research Use", dated May 21, 2009, all prepared by The Keating Group, Wheaton, IL and in further compliance with the following conditions, restrictions, and requirements:

1. That the location of any and all trash receptacle enclosures shall comply with the applicable requirements of the City of Wheaton Zoning Ordinance;
2. Prior to the issuance of a site development permit, the applicant shall provide a sign plan for approval by the Director of Planning and Economic Development;
3. The storm sewer system design should be modified to spread the flow of the discharged water over a broader area to minimize soil erosion;
4. A plat of easement grant for the stormwater management area shall be provided as part of the permitting process; and
5. The areas within the building designated as storage shall remain designated as storage.

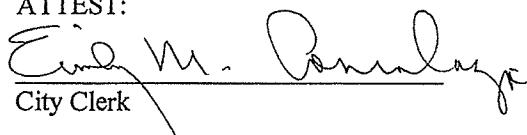
Section 3: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 4: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.



Mayor Gresk

ATTEST:



Cindy M. Ronday
City Clerk

Roll Call Vote:

Ayes:	Councilman Prendiville Councilman Scalzo Councilman Suess Councilwoman Corry Councilman Levine Councilman Mouhelis Mayor Gresk
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Nays:	None
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Absent:	None
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Motion Carried Unanimously

Passed: July 6, 2009
Published: July 7, 2009

631 S. Hale St.

**Proposed conversion
of Existing Single
Family Home
to Office Research
Use**

Issued:5.21.2009

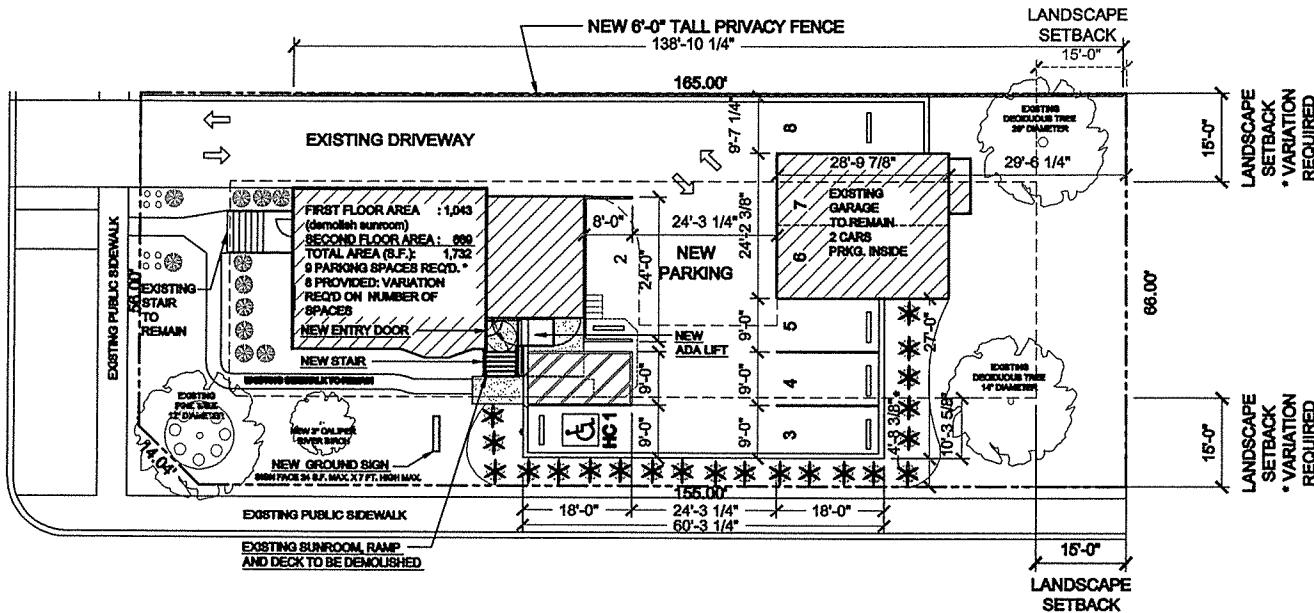


**631 S. Hale St.
Wheaton, IL 60187**

THE KEATING GROUP, P.C.
T: (630) 260-3840

522 W. WESLEY WHEATON, IL 60187
www.thekeatinggroup.com

Hale St.



Roosevelt Road

1 SITE PLAN
SCALE: 1"

SCALE: 1" = 20'-0"

SEE SITE GRADING PLAN PREPARED BY DAVE JOHNSON AND ASSOCIATES: CIVIL ENGINEERS AND SURVEYORS FOR FURTHER INFORMATION

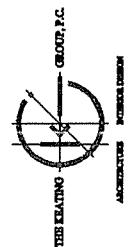
NORTH

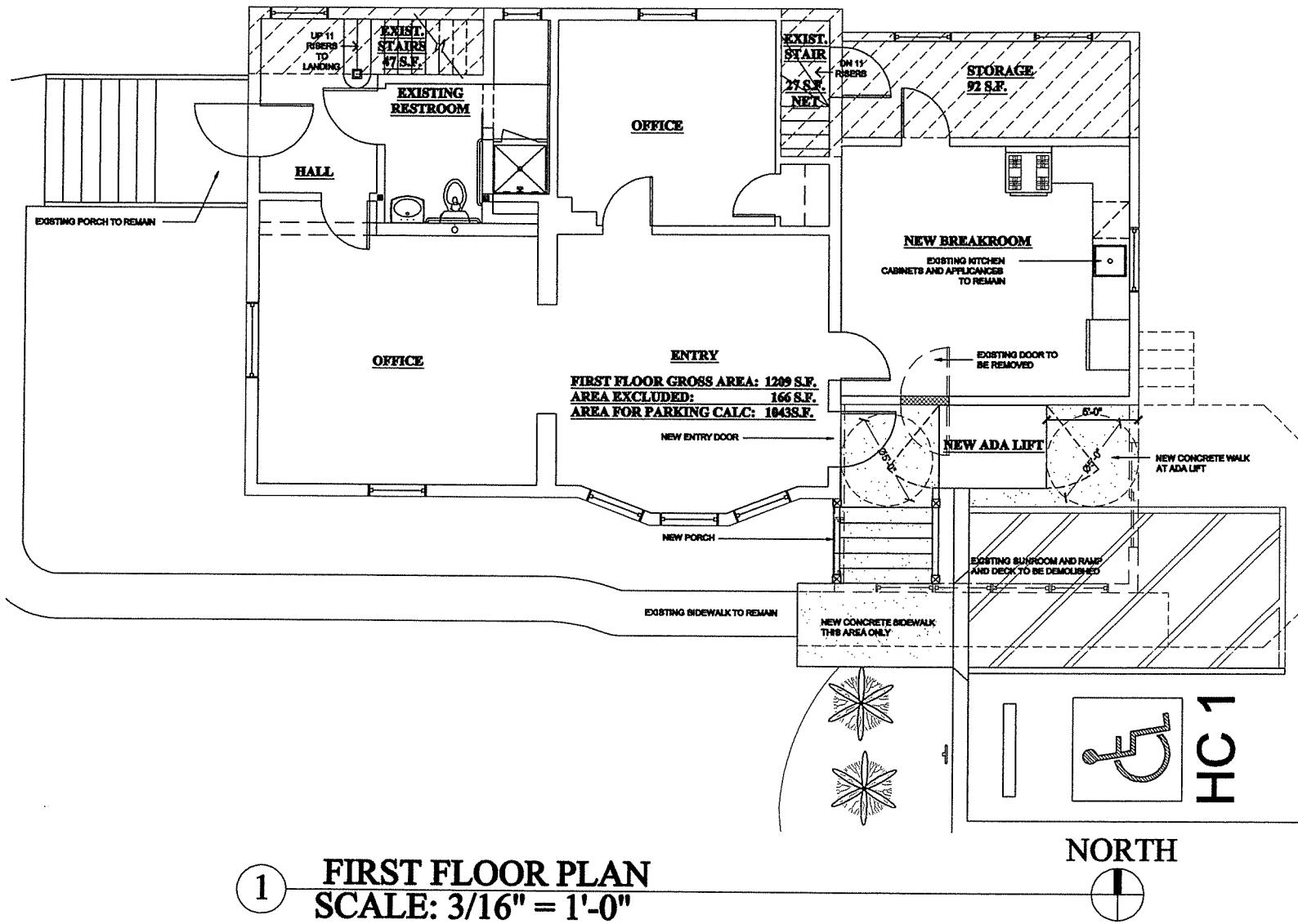


631 S. Hale St.
Wheaton, IL 60187

522 W. WESLEY WHEATON, IL 60187
www.thekeatinggroup.com

THE KBATING GROUP, P.C.
T: (630) 260-3840 F: (630) 260-3841



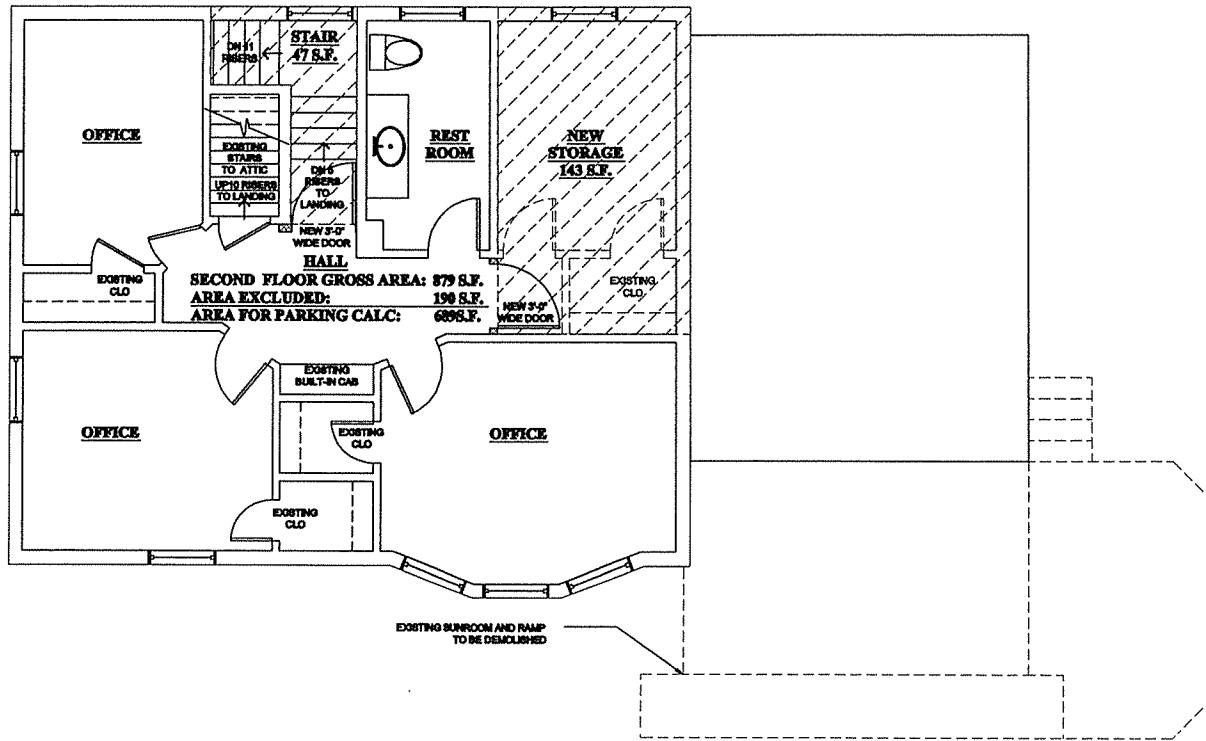


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Wheaton, IL 60187

THE KATING GROUP, P.C.
ARCHITECTURE PROFESSIONAL

522 W. WESLEY WHEATON, IL 60187
www.thekatinggroup.com

T: (630) 266-3840 F: (630) 266-3841



① EXISTING SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"

NORTH

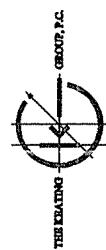
631 S. Hale St.
Wheaton, IL 60187

THE KEATING GROUP, P.C.
522 W. WESLEY WHEATON, IL 60187
T: (630) 266-3840 F: (630) 266-3841
www.thekeatinggroup.com



1 WEST ELEVATION
SCALE: 3/16" = 1'-0"

631 S. Hale St. Wheaton, IL 60187	522 W. WESLEY WHEATON, IL 60187	www.thekatingroup.com
THE KATING GROUP, P.C. T: (630) 260-3840	E: (630) 260-3841	





1 SOUTH ELEVATION

SCALE: 3/16" = 1'-0"

631 S. Hale St.
Wheaton, IL 60187

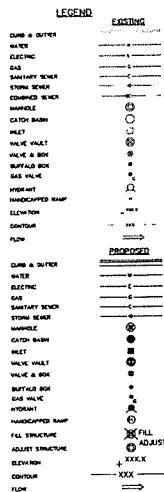
322 W. WESLEY WHEATON, IL 60187
www.thekreatinggroup.com



THE KREATING GROUP, P.C.
T: (630) 260-3840 F: (630) 260-3841



CIVIL ENGINEERING PLANS
631 S. HALE STREET
WHEATON, IL 60187



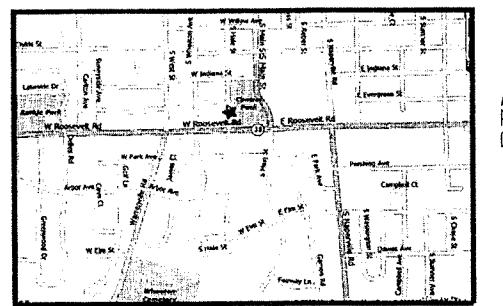
INDEX TO DRAWINGS

COVERSHEET

1. GEOMETRY PLAN

2. UTILITY PLAN

3. GRADING PLAN



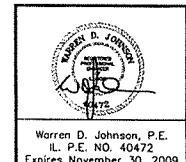
 SITE LOCATION



ENGINEER:

D.J.A. CIVIL ENGINEERS & SURVEYORS

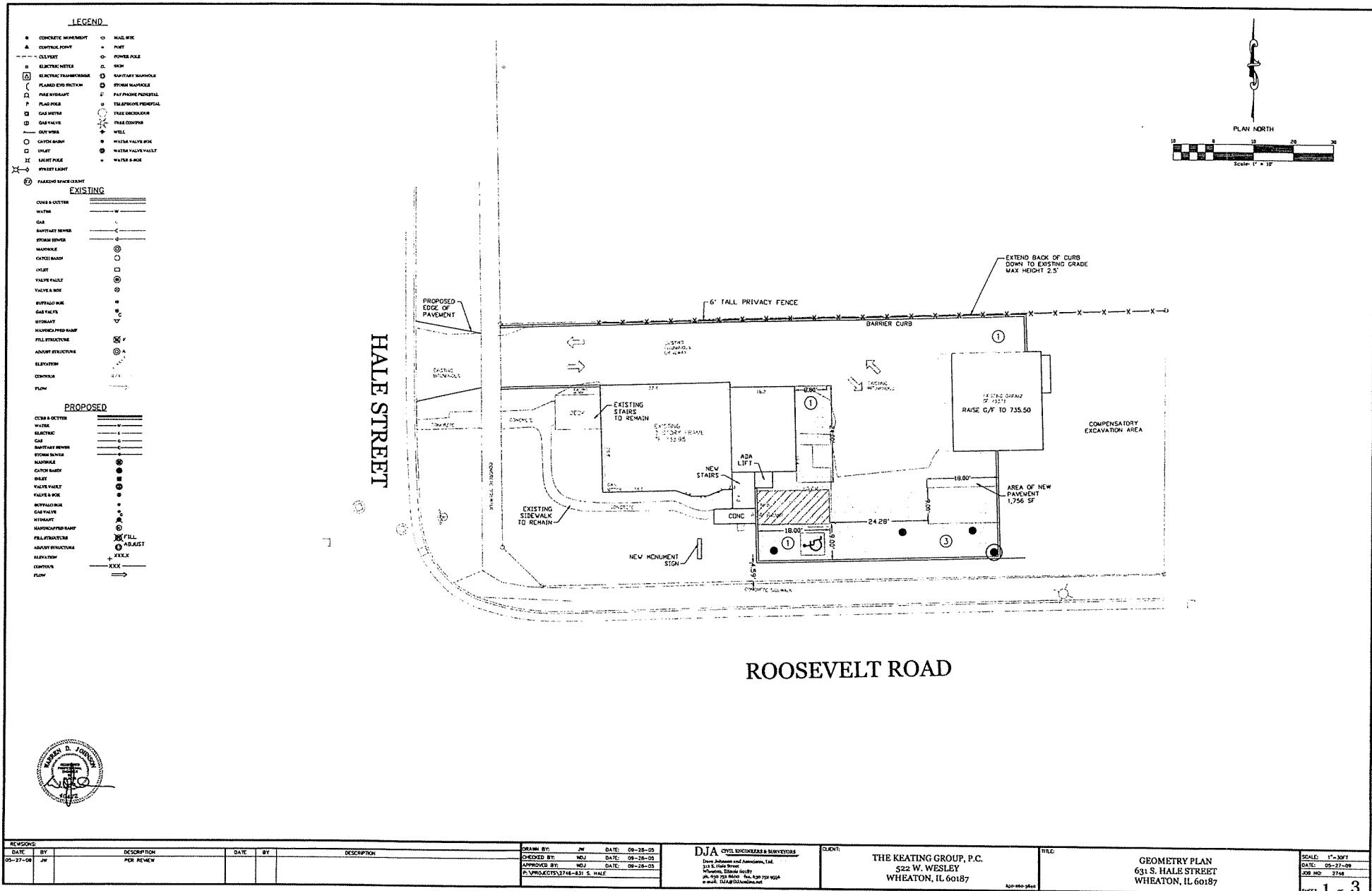
DAVE JOHNSON and ASSOCIATES, Ltd.
312 S. Hale Street Wheaton, IL 60187
ph. 630 752 8600 fax. 630 752 9556
www.DJAonline.net



Warren D. Johnson, P.E.
IL. P.E. NO. 40472
Expires November 30, 2009

DATE 05-27-09

REVISED: 05-27-09 PER REVIEW COMMENTS



LEGEND

CONCRETE MONUMENT	MAIL BOX
CONTINUOUS FENCE	PORT
DRIVEWAY	POWER POLE
ELECTRIC METER	NEW
ELECTRIC TRANSFORMER	SANITARY MANHOLE
FLAMMABLE BULKHEAD	PHONE MANHOLE
PIPE HYDRANT	PAINTED MANHOLE
PLATE POLE	PAINTED PEDESTAL
PIPE NUT	TELEPHONE PEDESTAL
PIPE VALVE	PIPE DRAINAGE
PIPE VALVE	TREE CONIFER
PIPE VALVE	WALL
CATCH BASIN	WATER VALVE BOX
DRIVE	WATER VALVE VAULT
LIGHT POLE	WATER & SEW
STRAIGHT LIGHT	

PARKING SPACES COUNT

EXISTING

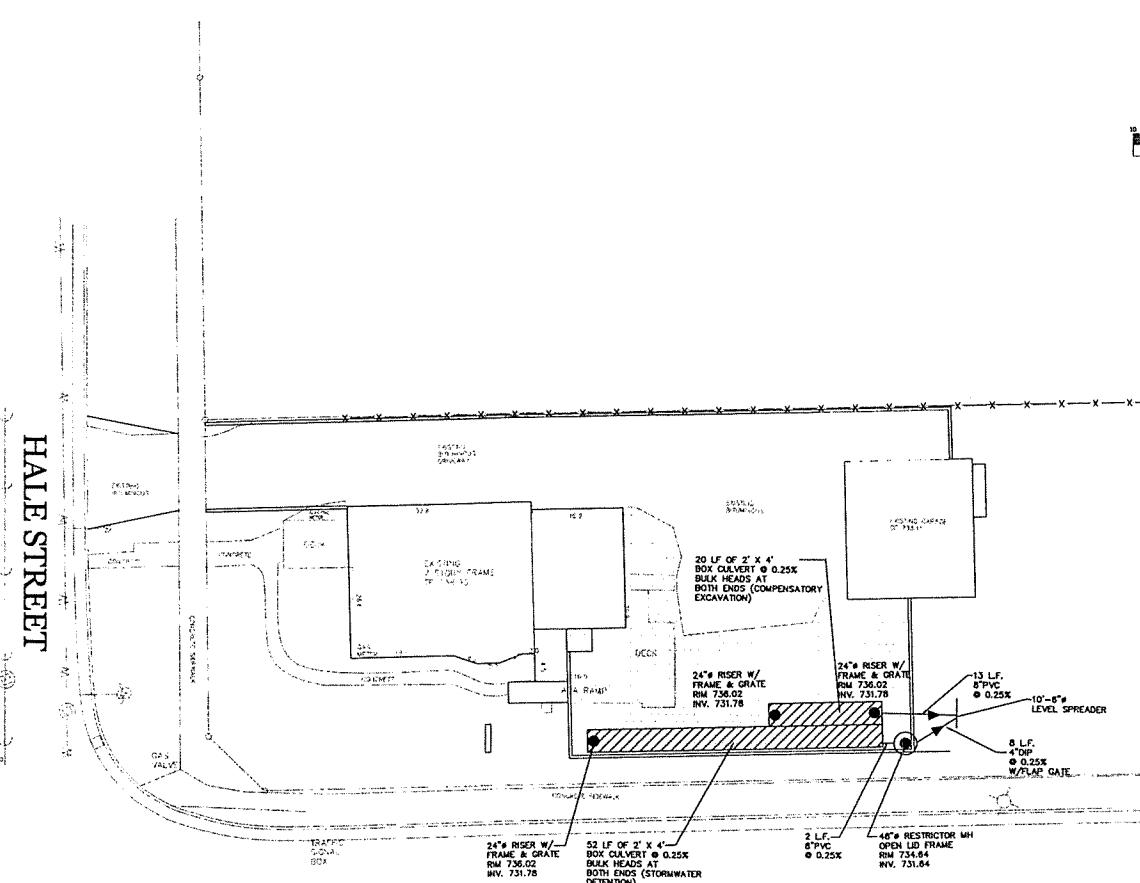
CURB & GUTTER	
WATER	W
GAS	G
SANITARY SEWER	S
STORM SEWER	
MANHOLE	○
CATCH BASIN	○
DRIVE	□
VALVE VAULT	
VALVE BOX	○
BUFFALO BOX	
GAS VALVE	●
HYDRANT	□
HARDSCAPED RAMP	○
PIPE STRUCTURE	○
ADJUST STRUCTURE	○
ELEVATION	
CONTOUR	
FLOW	→

PROPOSED

CURB & GUTTER	
WATER	W
ELECTRIC	○
GAS	G
SANITARY SEWER	○
STORM SEWER	
MANHOLE	○
CATCH BASIN	○
DRIVE	○
VALVE VAULT	
VALVE BOX	●
BUFFALO BOX	●
GAS VALVE	●
HYDRANT	○
HARDSCAPED RAMP	○
PIPE STRUCTURE	○
ADJUST STRUCTURE	○
ELEVATION	
CONTOUR	
FLOW	→

SAN. M.L.
INV. 736.01
INV. 731.90 N
INV. 731.41 S

HALE STREET



ROOSEVELT ROAD



REVISION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
05-27-05	JW		PER REVIEW			

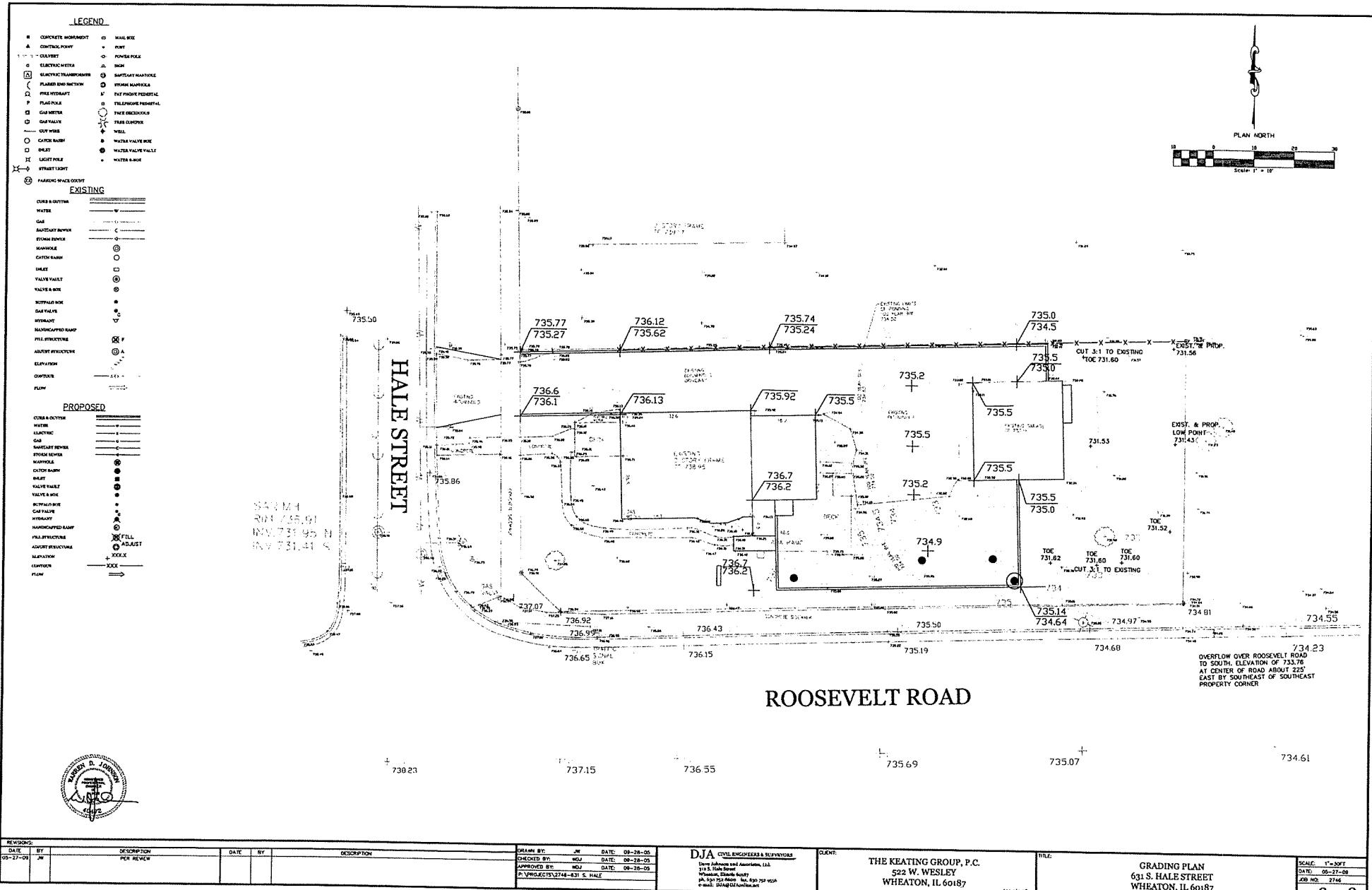
DRAWN BY: JW	DATE: 09-28-05
CHEKED BY: JW	DATE: 09-28-05
APPROVED BY: JW	DATE: 09-28-05
P. PROJECT 2744-631 S. HALE	

DJA CIVIL ENGINEERS & SURVEYORS
Dave Johnson and Associates, Inc.
315 S. Hale Street
Wheaton, IL 60187
ph. 630.252.8600 fax. 630.252.9500
e-mail: DJA@DJAinc.com

CLIENT: THE KEATING GROUP, P.C.
522 W. WESLEY
WHEATON, IL 60187
403-660-3600

UTILITY PLAN
631 S. HALE STREET
WHEATON, IL 60187

SCALE: 1"=30FT
DATE: 05-27-05
JOB NO.: 2744
SHEET 2 of 3



ROOSEVELT ROAD

ARTICLE XV
O-R OFFICE AND RESEARCH DISTRICT

15.1 Permitted Uses

1. Business and professional offices.
2. Research laboratories.

Special Use Permit Required

1. Parking lots.
2. Senior Housing Developments. The minimum lot area per dwelling unit for Independent and Assisted Living Units is 1,360 sq. ft. (126.35 sq. m.) of lot area per dwelling unit. The minimum lot area per bed for Skilled Care Units is, 880 sq. ft. (81.75 sq. m.). Senior Housing Developments shall also include the following minimum open space requirements: Independent and Assisted Living Units; Two hundred seventy-five (275) sq. ft. (25.5 sq. m.) per dwelling unit; Skilled Care Units; Seventy-five (75) sq. ft. (6.9 sq. m.) per bed.
3. Nursery schools.
4. Adult day care facilities.
5. Inns.
6. Mortuaries.
7. Private or public utility substations.

15.2 Bulk Regulations

The following bulk regulations A through F apply, whenever a lot:

1. Is less than one acre in area, or has a depth of less than 180 feet, or both; and
2. Is contiguous to property in the R-1, R-2, R-3, R-4, or R-5 districts; and
3. Abuts the right-of-way line of one or more of the following arterial streets:

Geneva Road
Roosevelt Road
Main Street

Naperville Road

- A. A maximum floor area of 10,000 square feet in any one building;
- B. A maximum building height of 35 feet or 2 1/2 stories, whichever is less;
- C. A maximum building lot coverage of 33 1/3 percent;
- D. A minimum of 30% of the lot shall be landscaped. This 30% may include setback areas and interior parking lot landscaping;
- E. Scaling of building mass to replicate a residential structure through the use of varied horizontal wall dimensions, varied roof heights, placement of windows and doors, etc.; and
- F. Minimum yards for a building and lot as required by Article VI of this code.

In all other instances, the following bulk regulations apply:

- 1. Maximum height: 70 feet or 5 stories, whichever is less.
- 2. Minimum lot size: One acre.
- 3. Minimum yards: The minimum front, side, and rear yard for a building shall be a distance equal to the height of the building. The minimum yards for a lot shall be as required by Article VI of the City code.

15.3 Standards.

All of the property located in this district is subject to the general standards and regulations of this ordinance. Property located in this district is also subject to the following additional standards:

- 1. All operations, activities (other than recreational or educational) and storage shall be conducted wholly inside a building or buildings.
- 2. No retail sales or services shall be permitted except as incidental or accessory to a permitted use.
- 3. Site plan and architectural approval (5.5) shall be required for all permitted uses listed in Section 15.1.
- 4. Downtown design review in accordance with Section 5.12 shall be required for all uses, except single-family dwellings located within the Downtown Design Review Overlay District.