

ORDINANCE NO. F-1428

**AN ORDINANCE GRANTING A REAR YARD SETBACK VARIATION ON A CERTAIN
PIECE OF PROPERTY COMMONLY KNOWN AS 218 WEST HARRISON AVENUE - DUGAN**

WHEREAS, written application has been made requesting a variation to Article 3.4A.8b of the Wheaton Zoning Ordinance to allow the construction of an exterior staircase for a detached garage with a rear yard setback of 3.3 feet in lieu of the required 6.8 feet on certain property legally described herein and commonly known as 218 West Harrison Avenue, Wheaton, Illinois; and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on April 14, 2009 and April 28, 2009 to consider the variation request; and the Planning and Zoning Board has recommended approval of the zoning variation.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: Pursuant to the Findings of Fact made and determined by the Wheaton Planning and Zoning Board, a rear yard setback of 3.3 feet in lieu of the required 6.8 feet is granted for an exterior staircase for a detached garage in full compliance with the site plan that is on file in the Department of Planning and Economic Development on the following-described real estate:

THE WEST 85 FEET OF THE EAST 165 FEET OF THE SOUTH 181.5 FEET OF THE NORTH 214.5 FEET OF BLOCK 6 IN MALLORY'S ADDITION TO THE VILLAGE OF WHEATON, BEING A SUBDIVISION OF PART OF THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 16, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 2, 1875 AS DOCUMENT 20408, IN DU PAGE COUNTY, ILLINOIS.

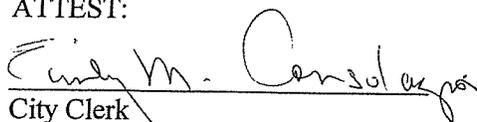
P.I.N.: 05-16-101-005

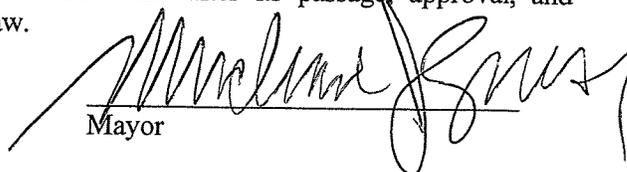
The subject property is commonly known as 218 West Harrison Avenue, Wheaton, IL 60187.

Section 2: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 3: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.

ATTEST:


City Clerk


Mayor

R 2009-114994

Roll Call Vote:

Ayes: Councilman Scalzo
Councilman Sues
Councilwoman Corry
Councilman Levine
Councilman Mouhelis
Mayor Gresk
Councilman Prendiville

Nays: None

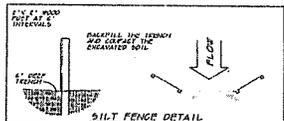
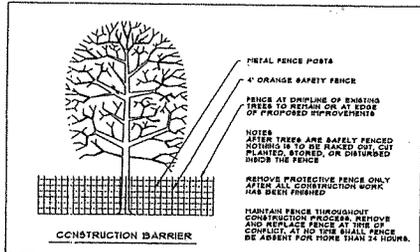
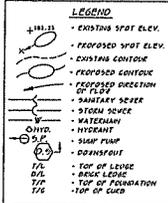
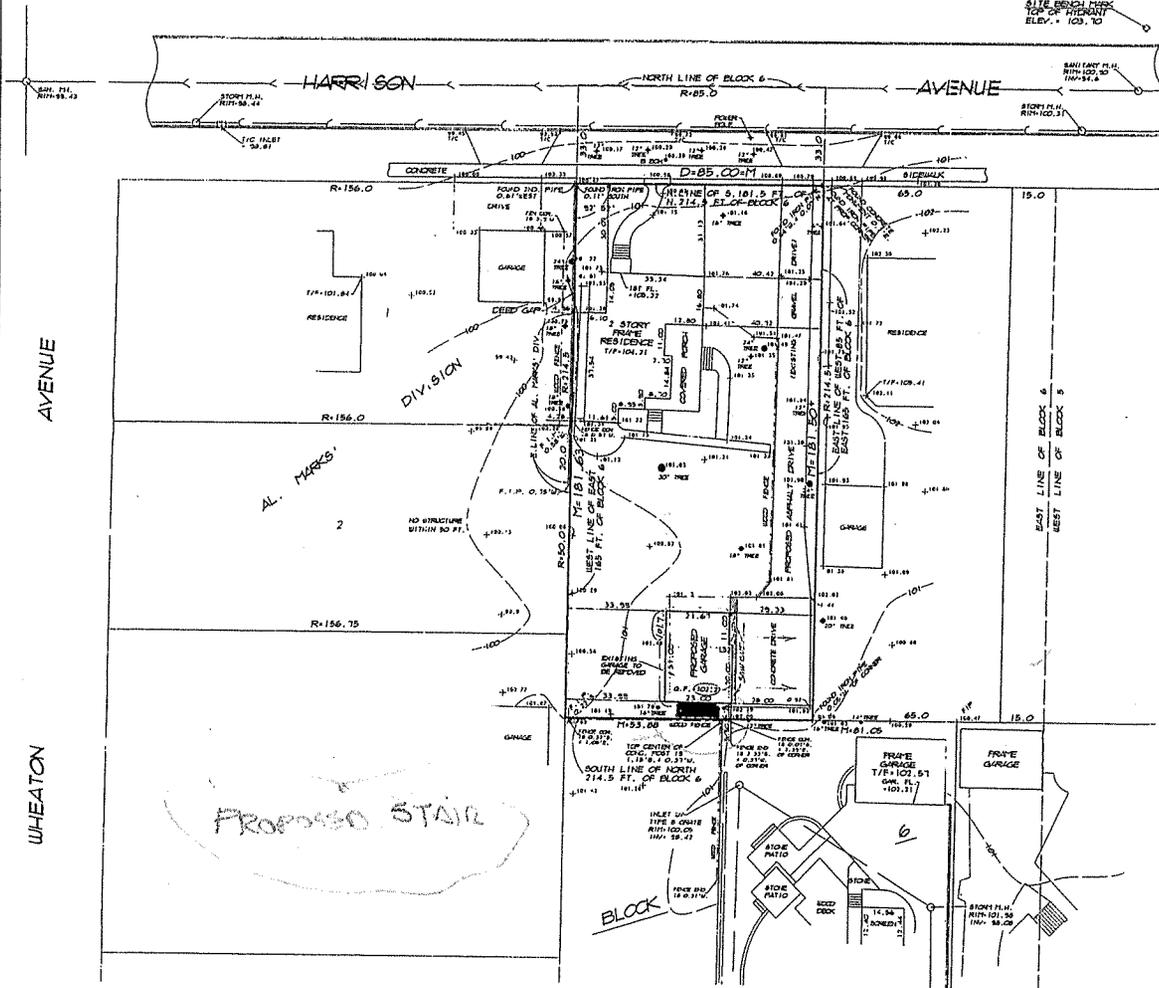
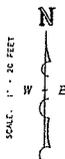
Absent: None

Motion Carried Unanimously

Passed: May 4, 2009
Published: May 5, 2009

LEGAL DESCRIPTION

THE WEST 85 FEET OF THE EAST 160 FEET OF SOUTH 101.5 FEET OF THE NORTH 214.5 FEET OF BLOCK 6 IN HALLOR'S ADDITION TO THE VILLAGE OF WHEATON, BEING A SUBDIVISION OF PART OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF SECTION 16, TOWNSHIP 33 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 2, 1975 AS DOCUMENT 20400, IN DU PAGE COUNTY, ILLINOIS.



REVISION CONTROL NOTES

- REVISION FROM PREVIOUS EDITION: REVISED ENDS OF PERMANENT DRIVE LANE TO ACCORDANCE WITH THE CITY OF WHEATON SPECIFICATIONS.
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REVISIONS

PREPARED FOR:
BILL & JEN DUGAN

SITE PLAN

PROJECT LOCATION:
218 W. HARRISON AVE.
WHEATON, IL.



STATE OF ILLINOIS }
COUNTY OF DU PAGE } S.S.

To the best of my knowledge and belief that such surface waters will be planned for in accordance with generally accepted engineering practices and that the development of the subject site in accordance with the site development plan will not increase the amount or rate of run-off to so as adversely affect the quality of surface water draining onto other properties and will not damage other properties.

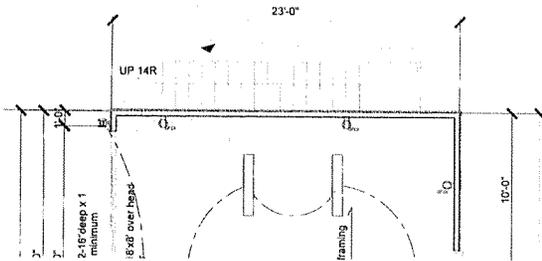
West Chicago, Illinois, November 25, 2008.

Richard J. Steinbrecher
Richard J. Steinbrecher
Professional Land Surveyor 3583
License expires Nov. 30, 2010

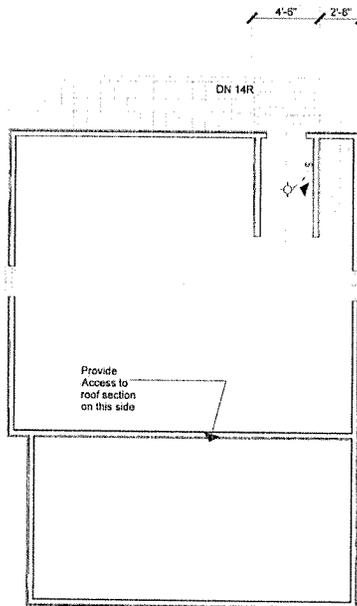
Steinbrecher Land Surveyors, Inc.
Professional Land Surveyors
Design Firm Corporation No. 184-003126
141 S. Walker Blvd., West Chicago, IL 60185-2844
(630) 293-8900 Fax 293-8902

SHEET
1 OF

NOTE: New exterior removable stair



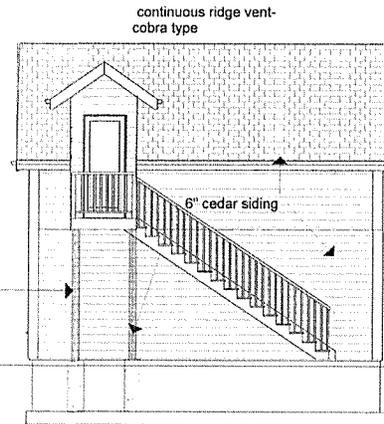
First Floor Plan-REVISED
Scale 1/4" equals 1'-0"



Second Floor Plan-REVISED
Scale 1/4" equals 1'-0"

Provide New Dormer 4'-10" wide at exterior w/ 5/12 roof w/ 2x8's @ 16" o.c. roof rafters Deck to be 2x8's @ 16" o.c. w/ 3" railings that comply w/ IBC Code for riser height, width, railing height, pickets, stringers all to be pressure treated material Floor Decking to be 5/4x6" pressured treated Provide switch to light

4x4 post into 12" round concrete zonalubes with simpson brackets x 42" deep Stair, railings and deck all to be removable as per village requirements



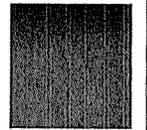
Left Side Elevation (south)-REVISED
Scale 1/4" equals 1'-0"

The only revision to this plan is the addition of the dormer and the exterior stairs-all other construction complies with last plans permitted and submitted. The stair is in the rear setback, but is removable at the cities request. Thank-you Daryl A. Drake AIA

aw/a am/ls
DRD

No.	Date	Revised

Dugan Addition
218 W. Harrison Ave..
Wheaton, Illinois



Drake Design Company
422 Phillips Avenue, Glen Ellyn, Illinois, 60137
Phone (630) 790-2545 Fax (630) 790-2665
E-Mail DRAKEDSIGNCO@yahoo.com

Designer
Job #
Date
Sheet No. G-4
Revised Feb. 27.09