

**ORDINANCE NO. F-1415**

**AN ORDINANCE AMENDING THE WHEATON ZONING MAP  
BY GRANTING A SPECIAL USE PERMIT FOR A PLANNED UNIT DEVELOPMENT/  
2185 WEST ROOSEVELT ROAD/ CHASE BANK**

**WHEREAS**, written application has been made to amend the Zoning Map, which is attached to and forms a part of the Zoning Ordinance of Wheaton, Illinois, by the issuance of a special use permit for a Planned Unit Development to allow the construction of a 2,586 square foot bank with a drive-thru and twenty-four parking spaces on property zoned C-5 Planned Commercial District, all on the property legally described herein within the city limits of Wheaton, Illinois, and commonly known as 2185 West Roosevelt Road; ("Subject Property") and

**WHEREAS**, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on December 9, 2008 and January 13, 2009, to consider the issuance of the special use permit; and the Board has recommended the issuance of the special use permit for a planned unit development.

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

**Section 1:** The following described property has been and continues to be zoned and classified in the C-5 Planned Commercial District zoning classification:

LOT 1 IN CHECKER'S CONSOLIDATION OF PART OF LOTS 10, 11 AND 12 IN BLOCK 20 IN WHEATON PARK MANOR, A SUBDIVISION IN PART OF SECTION 18, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SUBDIVISION RECORDED AS DOCUMENT R93-200556, IN DU PAGE COUNTY, ILLINOIS.

P.I.N. 05-18-311-037

The subject property is commonly known as 2185 West Roosevelt Road, Wheaton, IL 60187.

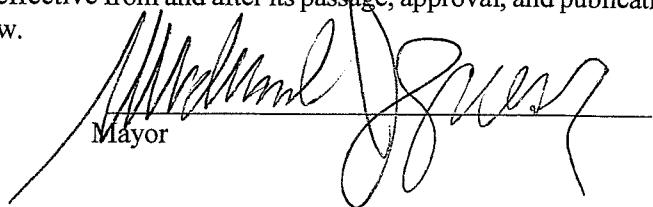
**Section 2:** Pursuant to the Findings of Fact made and determined by the Planning and Zoning Board, a special use permit for a Planned Unit Development is hereby issued on the subject property to allow the construction of a 2,586 square foot bank with a drive-thru and twenty-four parking spaces on property zoned C-5 Planned Commercial District, in full compliance with the plans entitled "Chase Bank Wheaton Site Improvement Plans, Sheets C000, C001, C100, C200, C300, C301, C400, C500, C501 and ASK01" prepared by NWS Architects, Chicago, IL, dated November 2008; "New Chase Bank, Sheets L1 and TP" prepared by Brusseau Design Group, Hoffman Estates, IL, dated November 2008; and in further compliance with the following conditions, restrictions, and requirements:

1. The applicant shall install lighting in the parking lot as required by the Zoning Ordinance;
2. The red brick shown on the building exterior shall be extended up the side of the building to replace the red EIFS band proposed along the top of the building;
3. The applicant shall fully screen all rooftop mechanical equipment with a parapet, a roof structure, or another physical design element that is integral to the overall appearance of the building as required by Article 3.4C of the Zoning Ordinance; and
4. The petitioner shall provide a copy of the Corrective Action Completion Report to the City at the time it is submitted to IEPA.

*R2009-024952*

**Section 3:** All ordinances or parts of ordinances in conflict with these provisions are repealed.

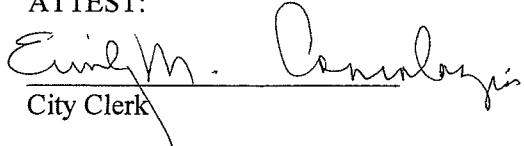
**Section 4:** This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.



Michael Gresk

Mayor

ATTEST:



Cindy M. Conroy  
City Clerk

ROLL CALL VOTE:

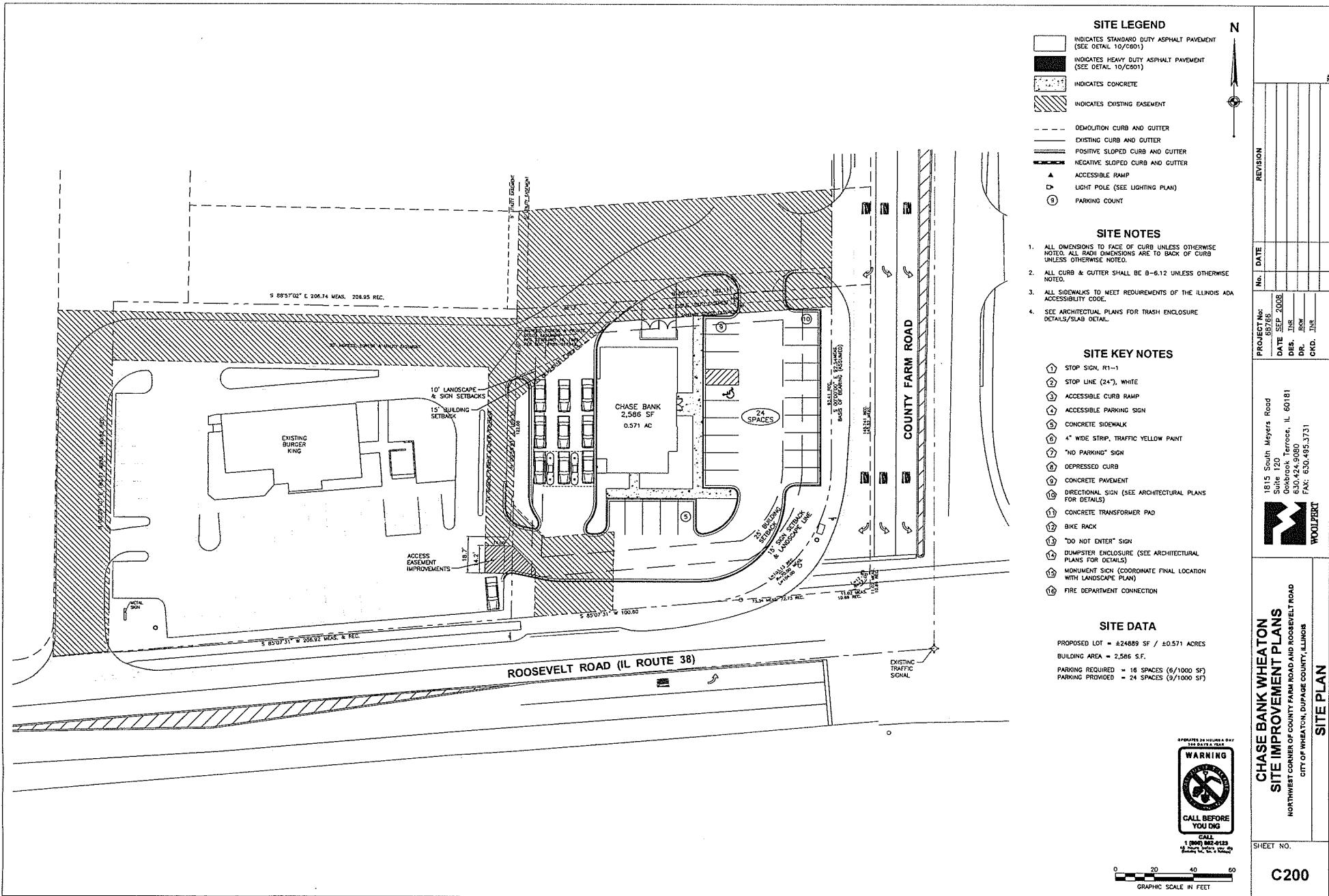
Ayes: Councilman Johnson  
Councilman Levine  
Mayor Pro Tem Mouhelis  
Councilman Prendiville  
Councilwoman Corry

Nays: None

Absent: Mayor Gresk  
Councilman Suess

Motion Carried Unanimously

Passed: January 20, 2009  
Published: January 21, 2009



# CHASE BANK WHEATON SITE IMPROVEMENT PLANS

2185 WEST ROOSEVELT ROAD  
CITY OF WHEATON, DUPAGE COUNTY, IL  
NOVEMBER 2008

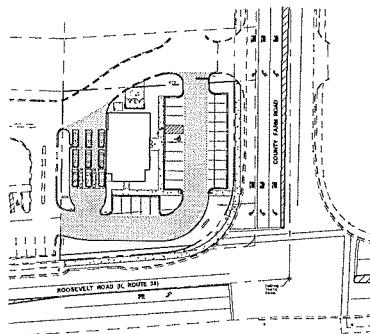
# NWS ARCHITECTS

230 W. MONROE, SUITE 210  
CHICAGO, IL 60606



WOOLPERT, INC.  
1815 South Meyers Road  
Suite 120  
Oakbrook Terrace, IL 60181  
630.424.9080  
FAX: 630.495.3731

## SITE PLAN



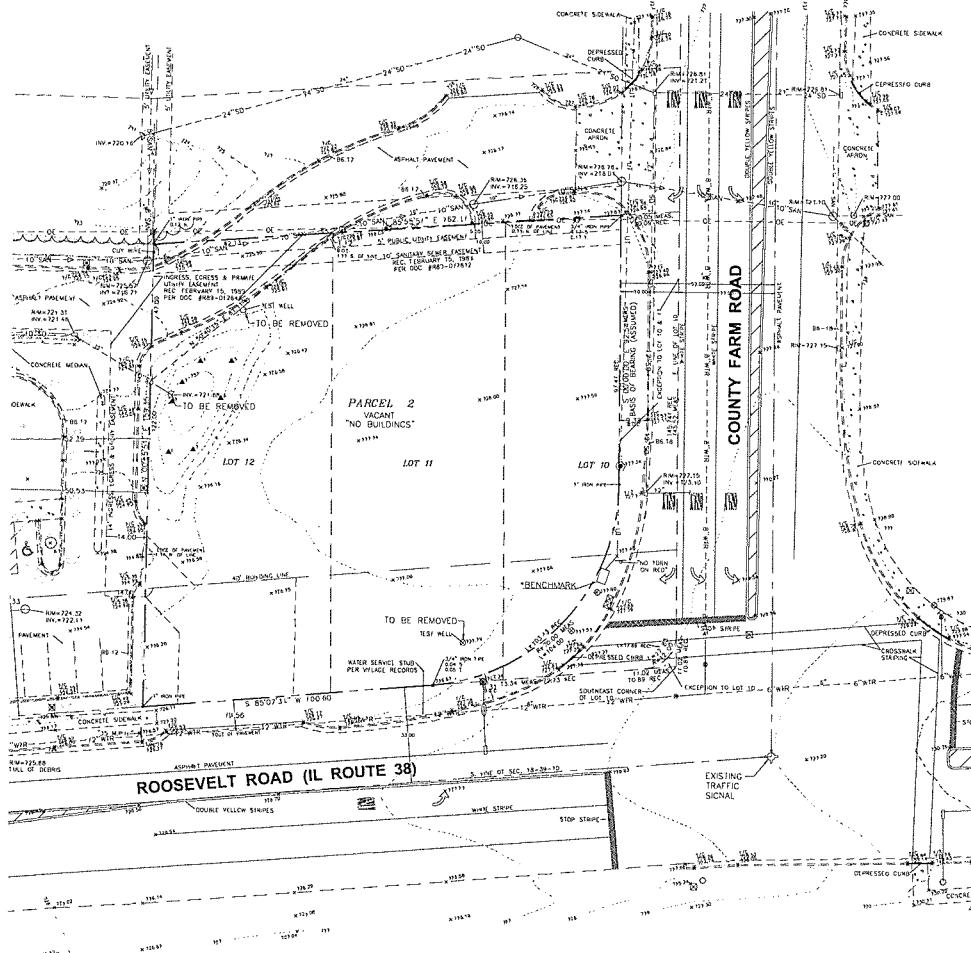
## VICINITY MAP



## SHEET INDEX

SHEET INDEX	
● -	11/11/08 C000 ..... COVER SHEET
● -	11/11/08 C001 ..... GENERAL NOTES
● -	11/11/08 C100 ..... EXISTING CONDITIONS/DEMOLITION PLANS
● -	11/11/08 C200 ..... SITE PLAN
● -	11/11/08 C300 ..... GRADING PLAN
● -	11/11/08 C301 ..... EROSION CONTROL PLAN AND DETAILS
● -	11/11/08 C400 ..... UTILITY PLAN
● -	11/11/08 C500 ..... MISCELLANEOUS DETAILS
● -	11/11/08 C501 ..... MISCELLANEOUS DETAILS





### EXISTING LEGEND

MANHOLE	CLEAN OUT
CATCH BASIN	SANITARY LIFT STATION
CURB INLET	GAS METER
DOUBLE CURB INLET	GAS REGULATOR
END SECTION	GAS MANHOLE
ROUND CATCH BASIN	GAS SHUT OFF
TRAFFIC SIGNAL	GAS FILLER
TELEPHONE POLE	GAS PUMP
TELEPHONE/POWER POLE	TRANSFORMER
TRAFFIC POLE	ELECTRIC MANHOLE
POWER POLE	ELECTRIC RISER
LIGHT POLE	ELECTRIC PEDESTAL
POWER/LIGHT POLE	JUNCTION BOX
TELEPHONE/POWER/VOLT POLE	MANHOLE
GUY WIRE	HEATING/AIR CONDITIONING UNIT
GROUND LIGHT	VAULT
FLAG POLE	TELEPHONE MANHOLE
STREET SIGN	TELEPHONE RISER
VALVE	TELEVISION RISER
FIRE HYDRANT	TELEPHONE PEDESTAL
WATER METER	PULL BOX
WATER SHUTOFF VALVE	CAULKE PEDESTAL
REDUCER	UTILITY MARKER
WATER SPRINKLER	FOUND IRON PIN
FIRE DEPARTMENT CONNECTION	FOUND CAPPED IRON PIN
WELL	FOUND BRASS PLUG
SPANISH CONNECTION	FOUND IRON PIPE
WATER MANHOLE	POST INDICATOR VALVE
POST INDICATOR VALVE	FOUND IRON PIPE
BENCHMARK	FOUND PINNACLE
POST/HOLLOWAR	FOUND RIGHT-OF-WAY MARKER
BUSH/SHRUB	FOUND BOAT SPIKE
DECIDUOUS TREE, LESS THAN 6" DIA. UNLESS OTHERWISE NOTED	FOUND JARRISON MONUMENT
EVERGREEN TREE, LESS THAN 6" DIA. UNLESS OTHERWISE NOTED	FOUND CROSS
SOIL BORING LOCATION	MAILBOX
	SPOT ELEVATION
— EO —	STORM SEWER W/SIZE INDICATED
— SAN —	SANITARY SEWER W/SIZE INDICATED
— WIR —	WATER MAIN W/SIZE INDICATED
— D —	GAS MAIN
— UE —	UNDERGROUND ELECTRIC
— OE —	OVERHEAD ELECTRIC
— UF —	UNDERGROUND TELEPHONE
— FENCE —	FENCE
— INDEX —	INDEX CONTOURS
— INTERMEDIATE —	INTERMEDIATE CONTOURS
— EXISTING BOUNDARY —	EXISTING BOUNDARY
— CURB REMOVAL —	CURB REMOVAL

SURVEY COMPLETED BY T.K.D.  
 LAND SURVEYORS, INC.  
 JULY 2, 2008



### CHASE BANK WHEATON SITE IMPROVEMENT PLANS

2185 WEST ROOSEVELT ROAD

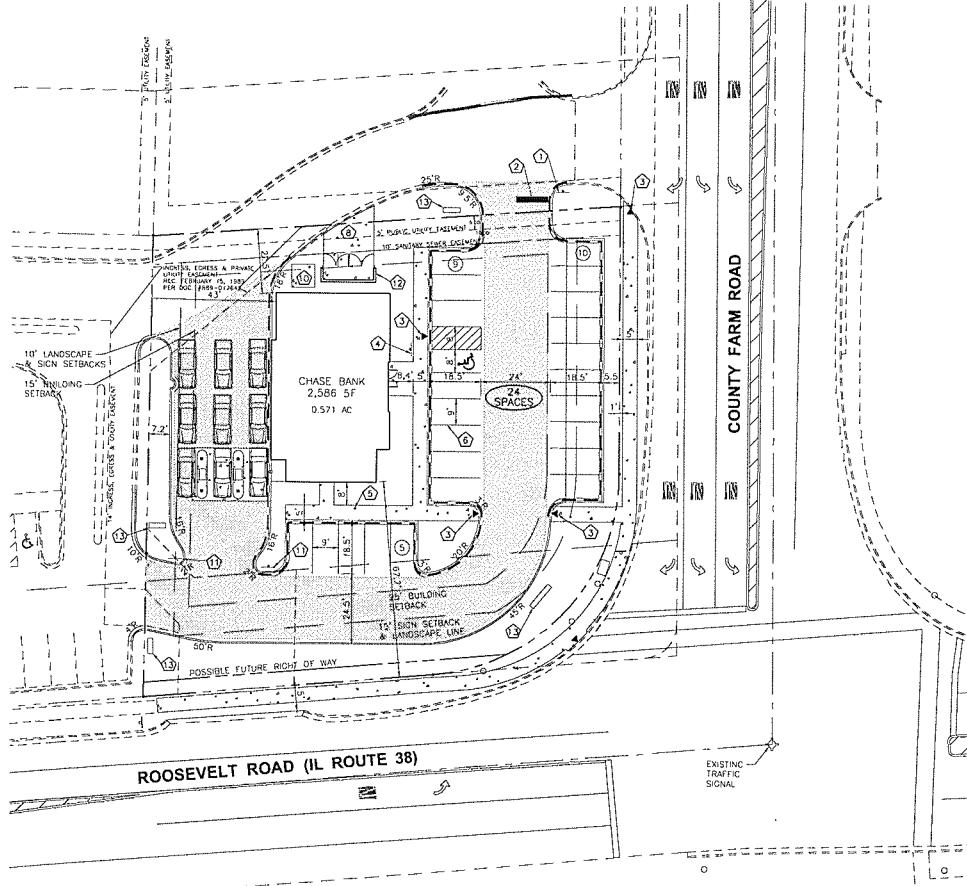
CITY OF WHEATON, DUKE COUNTY, ILLINOIS

EXISTING CONDITIONS/DEMOLITION PLAN

SHEET ND.

C100

0 20 40 60  
GRAPHIC SCALE IN FEET



#### SITE LEGEND

INDICATES STANDARD DUTY ASPHALT PAVEMENT  
(SEE DETAIL 8/C500)

INDICATES HEAVY DUTY ASPHALT PAVEMENT  
(SEE DETAIL B/C500)

INDICATES CONCRETE

**POSITIVE SLOPED CURV AND CUTTE**

NEGATIVE SLOPED CURB AND C

▲ ACCESSIBLE RAMP

□ LIGHT POLE (SEE LIGHTING)

## SITE NOTES

1. ALL DIMENSIONS, RADII, AND COORDINATES ARE TO BACK OF CURB WHERE APPLICABLE. BACK OF CURB RADII DIMENSIONS ARE 5' UNLESS OTHERWISE NOTED.
2. ALL CURB & GUTTER SHALL BE B-6.12 UNLESS OTHERWISE NOTED.
3. ALL SIDEWALKS TO MEET REQUIREMENTS OF THE ILLINOIS ADA ACCESSIBILITY CODE.

#### SITE KEY NOTES

- ① STOP SIGN, RT-1
- ② STOP LINE (20'), WHITE
- ③ ACCESSIBLE CURB RAMP, SEE NOTE 3
- ④ ACCESSIBLE PARKING SIGN
- ⑤ CONCRETE SIDEWALK, SEE NOTE 3
- ⑥ 4" WIDE STRIP, TRAFFIC YELLOW PAINT
- ⑦ DEPRESSED CURB
- ⑧ CONCRETE PAVEMENT
- ⑨ DIRECTIONAL SIGN (SEE ARCHITECTURAL PLANS FOR DETAILS)
- ⑩ CONCRETE TRANSPIRER PAD
- ⑪ "DO NOT ENTER" SIGN
- ⑫ DUMPSTER ENCLOSURE, AND CONCRETE SLAB (SEE ARCHITECTURAL PLANS FOR DETAILS)
- ⑬ MONUMENT SIGN (SEE ARCHITECTURAL PLANS)

## SITE DATA

PROPOSED LOT - ±24889 SF / ±0.521 ACRES

BUILDING AREA = 2.586 SQ

PARKING REQUIRED = 16 SPACES (6/1000 SF)

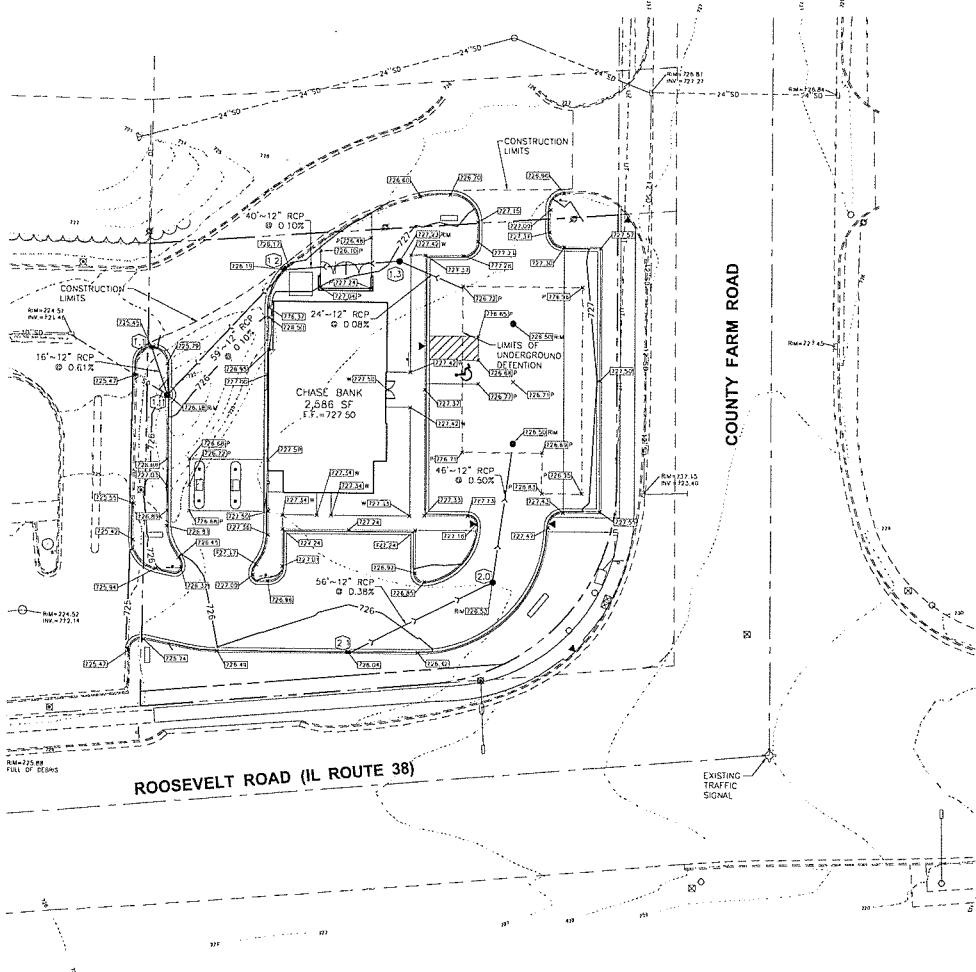
PARKING PROVIDED = 24 SPACES (9/1000 ST.)

**CHASE BANK WHEATON  
SITE IMPROVEMENT PLANS**  
2145 WEST ROOSEVELT ROAD  
CITY OF WHEATON, DUPAGE COUNTY, ILLINOIS

SHEET NO.

C200





### GRADING LEGEND

EXISTING BOUNDARY  
PROPOSED BOUNDARY  
EXISTING 1' CONTOUR  
EXISTING 5' CONTOUR  
PROPOSED 1' CONTOUR  
PROPOSED 5' CONTOUR  
PROPOSED STORM DRAINS  
PROPOSED ROOF DRAINS

DIRECTION OF FLOW  
OVERLAND FLOW ROUTE

→ ELEVATION AT TOP OF CURB  
ELEVATION AT TOP OF PAVEMENT  
ELEVATION AT GRADE  
ELEVATION AT TOP OF SLAB  
ELEVATION AT TOP OF WALK  
ELEVATION AT STRUCTURE RM  
ELEVATION TO MATCH EXISTING CURB

PROPOSED CATCH BASIN

PROPOSED CURB INLET

PROPOSED STORM MANHOLE

PROPOSED FLARED END SECTION

ACCESSIBLE SIDEWALK RAMPS WITH DETECTABLE WARNING. SEE DETAIL S/C0701

INDICATES DETAIL LOCATION  
(DETAIL NUMBER/DETAL SHEET#)

PROPOSED STORM STRUCTURE CALLOUT

### GRADING NOTES

1. CONTOURS SHOWN ARE FOR REFERENCE ONLY.
2. PROVIDE POSITIVE DRAINAGE AT ALL TIMES TO ENSURE NO STANDING WATER WITHIN PAVEMENT OR GREEN AREAS.
3. REMOVE ALL STREET SURFACES, GROWTHS, CULVERTS, ROADBED, ROADBED DITCHES, AND OTHER PAVING OR PRIVATE STRUCTURES THAT ARE DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO MATCH AT A MINIMUM EXISTING CONDITIONS.
4. CONTRACTOR'S MANNER AND METHOD OF INGRESS AND EGRESS WITH RESPECT TO THE PROJECT AREA SHALL IN NO WAY PROHIBIT OR DISTURB NORMAL PEDESTRIAN AND VEHICLE TRAFFIC. CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL AND WRITTEN APPROVAL OF APPROPRIATE GOVERNING AGENCIES.
5. CONTRACTOR SHALL VERIFY EXISTING SIZES, AND MATERIAL OF ALL EXISTING UTILITIES WHICH ARE TO BE TAPPED OR EXTENDED ON SITE. ANY CHANGES FROM PLAN INFORMATION SHALL BE PROVIDED TO THE ENGINEER IN WRITING. CONTRACTOR SHALL NOT START WORK ON THE PROJECT UNTIL THAT SYSTEM(S). SHOULD THE CONTRACTOR START WORK WITHOUT NOTIFICATION TO THE ENGINEER OF ANY DISCREPANCIES, HE WILL ASSUME ALL RESPONSIBILITY OF THE WORK NECESSARY TO COMPLETE THE PROJECT.
6. ALL FIELD TILE ENCOUNTERED SHALL BE REPLACED AND/OR CONNECTED TO THE STORM SEWER SYSTEM AND LOCATED AND IDENTIFIED ON RECORD PLANS BY THE CONTRACTOR.
7. ALL STORM DRAINAGE CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF WEAHON.
8. ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
9. PROPER TRANSITION TO BE PROVIDED FROM END OF PROPOSED STORM SEWERS, DITCHES, ROADWAY, ETC. TO EXISTING GRADE, RESTORATION OF DISTURBED AREAS OUTSIDE OF THE CONSTRUCTION LIMITS IS THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL RESTORE TO PRECONSTRUCTION CONDITIONS TO THE SATISFACTION OF THE OWNER.
10. CONTRACTOR TO ADJUST ALL EXISTING UTILITY STRUCTURES TO PROPOSED GRADE.
11. INVERTS AT BOTTOM OF MANHOLES AND CATCH BASINS MUST BE CHANNELIZED.
12. PROVIDE UNDERDRAINS FROM SEEPHS OR SPRINGS ENCOUNTERED. EXTEND TO STORM SEWER SYSTEM OR DAYLIGHT AT THE BOTTOM OF THE FIL SLOPE.
13. ALL DISTURBED AREAS SHALL HAVE TEMPORARY SEEDING AND MULCHING.

<b>CHASE BANK WHEATON</b> <b>SITE IMPROVEMENT PLANS</b> 2105 WEST ROOSEVELT ROAD CITY OF WHEATON, DUPAGE COUNTY, ILLINOIS		 <b>W</b> <b>WOODFERT</b>	1815 South Meyers Road Suite 120 Oakbrook Terrace, IL 60181 630.942.5000 FAX: 630.495.3731	PROJECT No: 6877 DATE: NOV 2008 DES. At: TW DR. CMD. TR.	No. 1 DATE 11/20/08 REVISION 1
<b>GRADING PLAN</b>					
SHEET NO. <b>C300</b>					



CALL

1 (800) 892-0123  
48 hours before you dig

Review Sec. Sum & Analysis

40 60

Page 1 of 1

2200

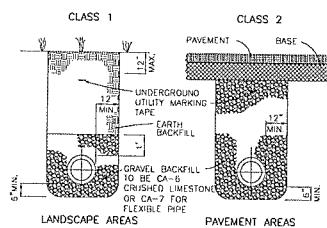
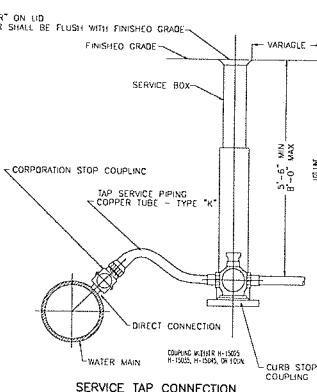
C300

A horizontal scale bar divided into six segments of equal length. The segments are black and white, alternating in a checkerboard pattern. Above the scale, the numbers 0, 20, 40, and 60 are printed. Below the scale, the text "GRAPHIC SCALE IN FEET" is centered.







 <p><b>CLASS 1</b> LANDSCAPE AREAS</p> <p><b>CLASS 2</b> PAVEMENT AREAS</p> <p>NOTE: UTILITY MARKING TAPE TO BE INSTALLED PER SPECIFICATIONS</p> <p>UTILITY BACKFILL DETAIL NIS</p>	 <p>"PATER" ON LID COVER SHALL BE FLUSH WITH FINISHED GRADE</p> <p>FINISHED GRADE</p> <p>VARIABLE</p> <p>SERVICE BOX</p> <p>CORPORATION STOP COUPLING</p> <p>TAP SERVICE PIPING COPPER TUBE - TYPE "K"</p> <p>5'-6" MIN 8'-0" MAX 12' IN.</p> <p>WATER MAIN</p> <p>WATER MAIN DIA: 6" K-165 H-120, H-150, OR TOA</p> <p>CURB STOP COUPLING</p> <p>SERVICE TAP CONNECTION NIS</p>		
<p>5 (C501)</p> <p>6 (C501)</p> <p>9 (C501)</p> <p>10 (C501)</p> <p>11 (C501)</p> <p>12 (C501)</p>	<p>7 (C501)</p>	<p>8 (C501)</p>	<p>CHASE BANK WHEATON SITE IMPROVEMENT PLANS 2185 WEST ROOSEVELT ROAD CITY OF WHEATON, DUPAGE COUNTY, ILLINOIS</p> <p>MISCELLANEOUS DETAILS</p> <p>PROJECT No.: 68776 DATE: NOV. 2008 DES.: J.W. DR.: J.W. C.R.D.: J.W.</p> <p>WOLPERT</p> <p>SHEET NO. C501</p>

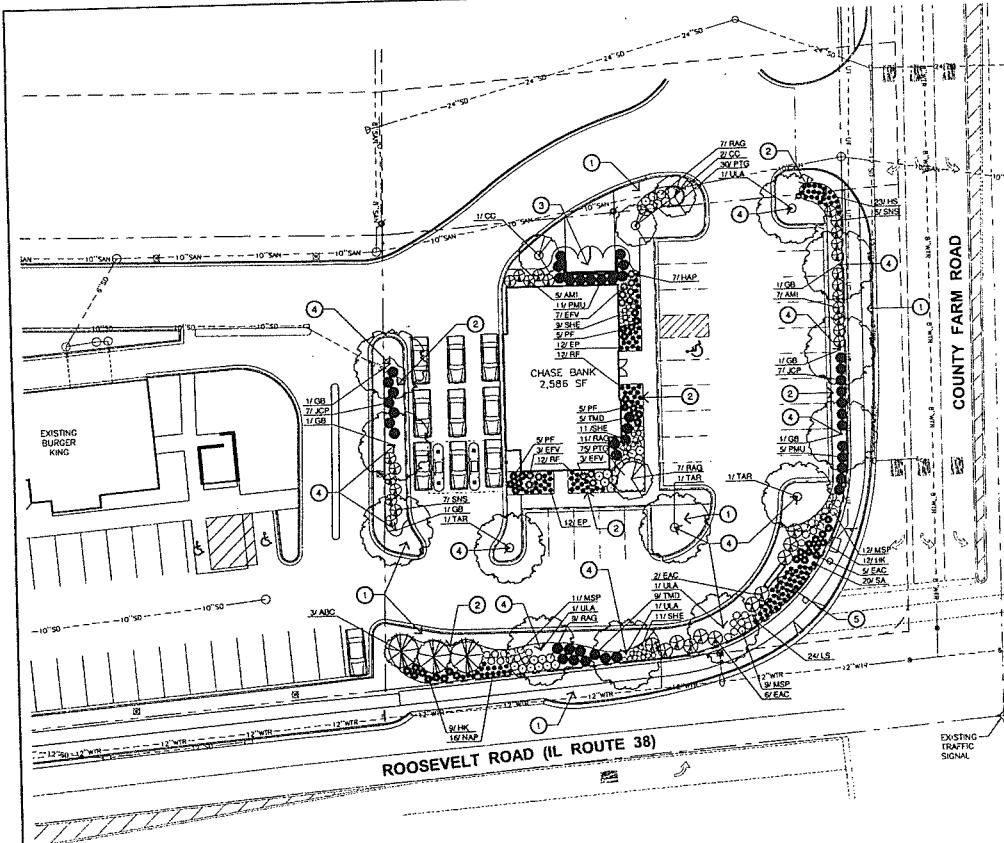


Diagram illustrating the components of a Christmas tree and its base:

1. Stake and Guy wires E of glacier in Perito Moreno
2. Set crown of root ball 3' above existing grade
3. Create saucer with topsoil
4. Set tree in saucer
5. Minimum Double Shredded Hardwood Bark Mulch (See Specification)
6. Fold down or cut and remove top 1-2' of bark
7. Planting Mix Backfill (See Specification)
8. Set Football on undisturbed subgrade
9. Set Bait Ds. Min.

The diagram illustrates the process of shrub planting and subsequent care. It shows a shrub being planted in a hole, with labels for 'Soil ball' and 'Soil mix'. The planting steps are: 'Dig hole or trench', 'Soil ball', 'Soil mix', 'Soil backfill', 'Soil backfill', and 'Soil backfill'. The maintenance steps are: 'Deadhead or Evergreen Shear', 'Soil ball water to existing grade', 'Create mulch with loam', 'Soil mulch (See Specifications)', 'Fertilize or cut and remove top 1/3 of burn', 'Pruning live branches (See Specifications)', and 'Existing irrigation'.

### Perennial Planting

## Site Data & Requirements

Category	Requirement	Proposed Condition	Required Total	Proposed Total
R.O.W. Parking	1 ST / 75' Depth	297 LF	9 ST	0 ST
Parking Lot Green Space	10% of Parking Lot	10,146 SF Parking Lot	1,015 SF Green Space	1,000 SF Green Space
Parking Lot Shade Trees	1 ST / 20' Spacing	24 Spacing	1 ST	3 ST
Parking Screen Across from Non-Res. (South & West P.L.)	11' Eavestrough + 6' wall 25% Landscaping (4' ST + 5' 25' E, 15' E, 5' ST or ST)	5' x 11' Eavestrough with screening	-	-
Lot Perimeter Adjoining to Non-Res. (North & East P.L.)	10' Eavestrough 0% Landscaping (24' ST, 54' 25' E, 21' E, 5' ST or ST)	10' Min. Eavestrough	-	50% Landscaping screen (7' ST, 10' ST, 5' ST)
Building Foundation	8' Width, SH & OT	8' Min. Width	-	60 SH, 2,07

1 ST = Shade Tree, OT = Ornamental Tree, ET = Evergreen Tree & SH = Deciduous or Evergreen Shrub

### Plant List & Key

Key	Botanical Name	Size	Quantity	Key	Botanical Name	Size	Quantity
	(Common Name)				(Common Name)		
Shade Trees				Evergreen Shrub			
GB	Digitalis 'Majestic'	2-1/2'	6	EFV	Euonymus fortunei 'Emerald'	24"	12
TAR	Ulmus americana 'Morton'	2-1/2'	3	JCF	Jubaea chilensis 'Pitcairna' 'Kaffir'	30"	14
ULA	Ulmus 'Pendula' 'Morton'	2-1/2'	4	PMU	Prunus mume 'Muganshizakura'	30"	16
	(Morton Weeping Elm)			TAS	Taxus 'Fastigiata' 'Densa'	30"	16
	(Dense Yew)						
Ornamental Trees							
DC	Cercis canadensis	8'	4	PW&C	Prunus 'Okame'	1 GAL	34
	(Eastern Redbud)			CP	Prunus 'Okame'	1 GAL	34
				HAP	Hebe 'Apricot Delight' 'Peach Heart'	1 GAL	23
EVG				HP	Hebe 'Apricot Delight' 'Peach Heart'	1 GAL	23
AVG	Amelanchier	8'	3	HM	Hamamelis 'Japonica' 'Ori'	1 GAL	23
	(Amur Shadblow)				(Hamamelis 'Ori')		
Deciduous Shrubs							
AM	Aronia melanocarpa 'Brilliant Beauty'	24"	12	LS	Lilac spicata 'Kotobuki'	1 GAL	24
	(Hornbeam Shrub)				(Kotobuki Shrub)		
EAC	Ceanothus 'Dark Star'	6'	12	MPF	Myrsinaceae 'Purpurea'	1 GAL	32
	(Glossy Star Shrub)				(Purple Myrsinaceae)		
HK	Hippocratea laevigata 'Amer'	24"	31	PTG	Pachysandra terminalis 'Green Carpet'	10.5 G	156
	(St. John's Wort)				(Green Carpet Japanese Ground)		
PF	Pentstemon	24"	18	RP	Rubus 'Rockwood'	1 GAL	24
	Perennial				(Rockwood Rubus)		
				SA	Saxifrage 'Lumineur'	1 GAL	35
RAU	Rubus strigosus 'Green Carpet'	24"	27		(Lumineur Rubus)		
	(Rockwood Form)						
SAC	Spiraea japonica 'Snowmound'	36"	12	SHC	Spiraea 'Hancock'	1 GAL	71

## Notes

1. The grade, horizon and soil of disturbed area. All pathways starting to soil.
2. Further and visual 3' minimum layer of double shredded hardwood bark mulch in all planting beds and tree rings.
3. Desired location of unopened bark enclosure. (See Architecture Plans)
4. Desired location of braided reinforcement bed.
5. Desires for location of unrooted mountain pine.



1

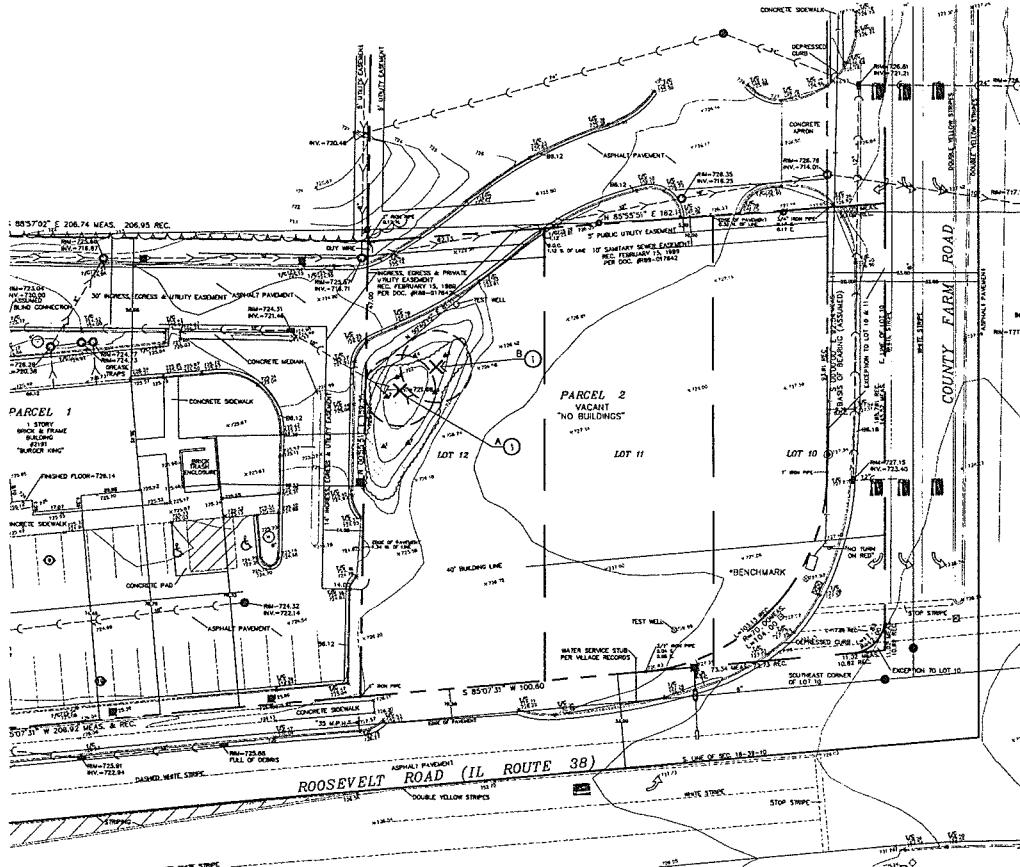
# Landscape Development Plan

Project & Client Name

Project & Client Name  
**New Chase Bank**  
Roosevelt & County Farm Road  
Wheaton, Illinois

**BDG** Brusseau Design Group, LLC  
Architects • Land Planning • Residential Planning & Design  
2075 Main Avenue, Northbrook, IL 60062  
(847) 252-5470 • (847) 252-5471 Fax

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#### Existing Tree Inventory

Key	Scientific Name	Common Name	Size (Cal.)	Quality	Status
A	Populus deltoides	Cottonwood	15"	Fair	Remove
B	Populus deltoides	Cottonwood	4 to 5"	Fair	Remove

• Total caliper inches removed = 39" (Requires 13 new shade trees sized at 3 inches in caliper)

#### Notes

1. Remove existing vegetation, including root package and haul from the site. Trees designated to be removed may be replaced by a number of smaller trees, not less than 3 inches in caliper, and spaced up to the size of the original tree. (Art. VI, Sec. 6.1.2.2.1.b) These replacement trees may be used for adjacent perimeter landscaping and screening on the subject landscape. Art. VI, Sec. 6.1.2.2.4 (See Existing Tree Inventory & Landscape Plan)

#### Legend

- STORM SEWER
- SANITARY SEWER
- WATERLINE SIZE & LOCATION PER VILLAGE RECORDS
- WATER VALVE
- VALVE VAULT
- FIRE HYDRANT
- SANITARY MANHOLE
- STORM MANHOLE
- STORM INLET
- STORM CURB INLET
- CASTING CONTOUR ELEVATION
- CASTING SPOT ELEVATION
- CASTING TOP OF CURB & FLOW LINE ELEVATION
- UNDERGROUND TELEPHONE LINE
- TELEPHONE MANHOLE
- OVERHEAD UTILITIES
- UTILITY POLE
- EXISTING PARKING LOT LIGHT
- EXISTING STREET LIGHT
- EXISTING SIGNAL
- ◊ TRAFFIC SIGNAL
- EXISTING TRAFFIC SIGNAL, HAND HOLD
- EXISTING CONCRETE CURB & GUTTER & TYPE
- MEAS. MEASURED
- REC. RECORDED
- B.C.C. BACK OF CURB
- FLAG POLE
- DECORATIVE PLATE & DIAMETER
- PHYSIC SPACE COUNT
- STANDARD SPACES
- HANDCAP SPACES
- NETLAND DELIMITATION FLAG & NUMBER (LOCATED B-28-08 SET BY OWNERS)

Existing Tree to be Removed

Existing Vegetation to be Removed

Project & Client Name

**New Chase Bank**  
Roosevelt & County Farm Road  
Wheaton, Illinois

**Brusseau Design Group, LLC**  
Landscaping Architecture • Landscape Planning • Recreational Planning & Design  
2075 Prairie Avenue • Wheaton, Illinois 60187 • 630.262.4470 • Fax 630.262.4471

Issue # Project # B08049  
North Scale: 1" = 20'  
11/03/08

Sheet Title  
**Tree Preservation Plan**

Sheet # TP  
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