

ORDINANCE NO. F-1414

AN ORDINANCE GRANTING A FRONT AND SIDE YARD SETBACK VARIATION ON A CERTAIN PIECE OF PROPERTY COMMONLY KNOWN AS 1710 WEBSTER COURT/ O'BRIEN

WHEREAS, written application has been made requesting a variation from the provisions of Article 9.2.5 and Article 3.4A.5a of the Wheaton Zoning Ordinance to allow the construction of a garage addition with a front yard setback of 35.98 feet in lieu of the required 37.37 feet and a north side yard setback of 2.75 feet in lieu of the required 6.0 feet, all on certain property legally described herein and commonly known as 1710 Webster Court, Wheaton, Illinois; and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on January 13, 2009 to consider the variation request; and the Wheaton Planning and Zoning Board has recommended approval of the zoning variation, pursuant to certain conditions and requirements.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: Pursuant to the Findings of Fact determined by the Wheaton Planning and Zoning Board, a variation from the requirements of Article 9.2.5 and Article 3.4A.5a of the Wheaton Zoning Ordinance to allow the construction of a garage addition with a front yard setback of 35.98 feet in lieu of the required 37.37 feet and a north side yard setback of 2.75 feet in lieu of the required 6.0 feet, on the following-described property:

LOT 5 IN DURABLE CONSTRUCTION CO'S RANCHROAD ADDITION TO THE CITY OF WHEATON, BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 5, 1958 AS DOCUMENT NUMBER 882321 IN DUPAGE COUNTY, ILLINOIS.

P.I.N.: 05-09-214-041

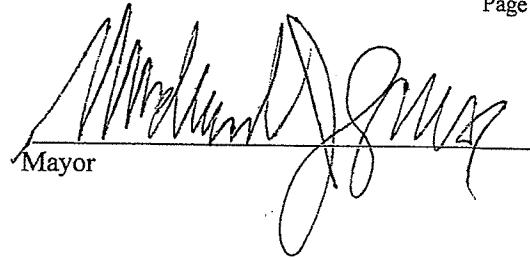
This property is commonly known as 1710 Webster Court, Wheaton, IL 60187 ("subject property").

Section 2: The variation provided for in Section 1 of this ordinance shall be subject to the following conditions, restrictions and requirements:

1. The inside of the garage shall be finished with $\frac{1}{2}$ inch drywall.

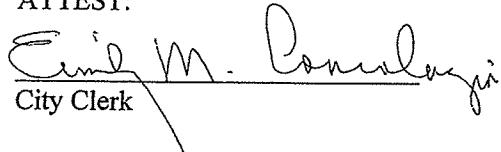
Section 3: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 4: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.



Mayor

ATTEST:



Eric M. Connelley
City Clerk

Roll Call Vote:

Ayes: Councilwoman Corry
Councilman Johnson
Councilman Levine
Mayor Pro Tem Mouhelis
Councilman Prendiville

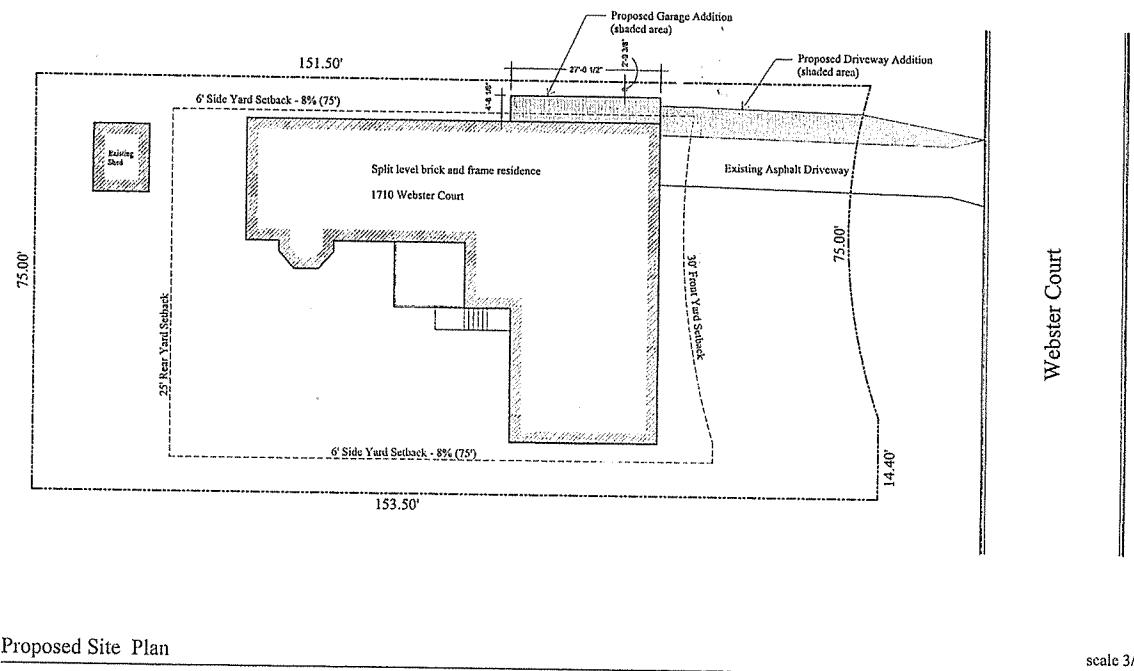
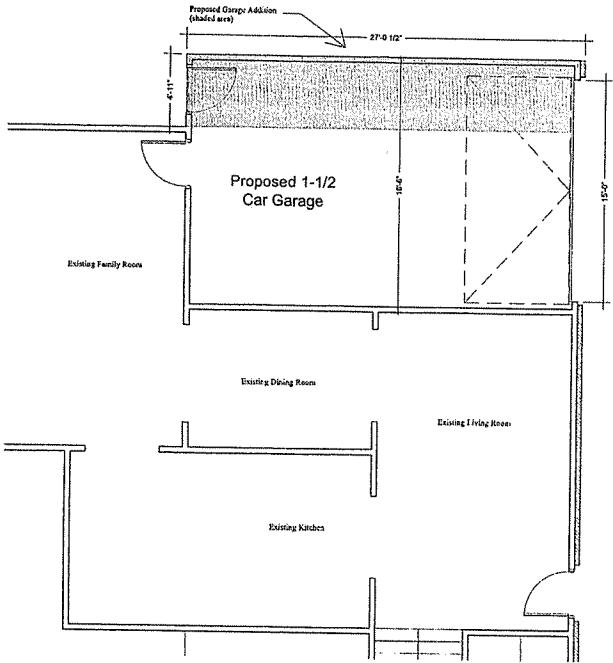
Nays: None

Absent : Mayor Gresk
Councilman Suess

Motion Carried Unanimously

Passed: January 20, 2009
Published: January 21, 2009

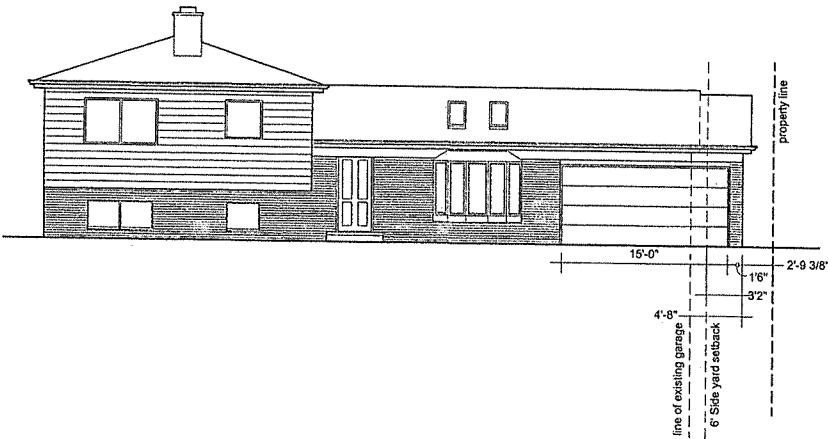
Zoning Classification: R3			
Zoning Data	Required	Existing	Proposed
Lot Area	10,000 SF Min.	11,259 SF	
Allowable lot coverage	33 1/3% 3,715 SF	20% 3,037 SF	28% 3,170 SF
Max FAR	40% 4,503 SF	31% 3,531 SF	32% 3,660 SF
Areas			
Existing House / Garage		2,912 SF	3,041 SF
Existing Shed		125 SF	129 SF
Garage addition			



O'brien Residence : Proposed Garage Addition

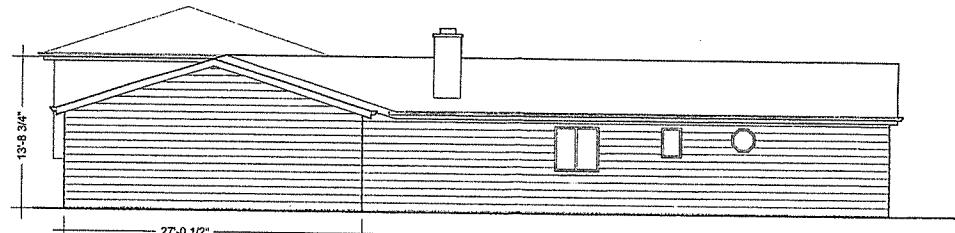
107 N. Hale Street
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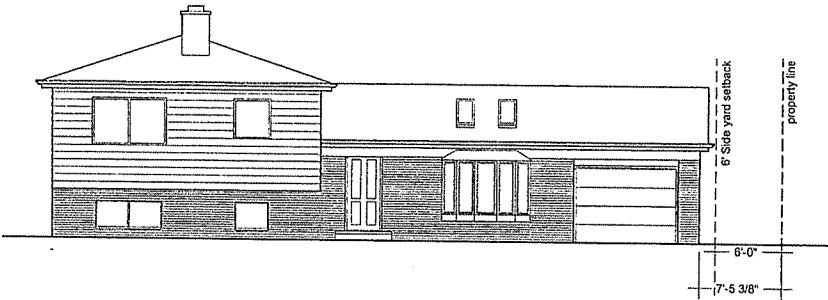
Proposed East Elevation

scale 3/16" = 1'



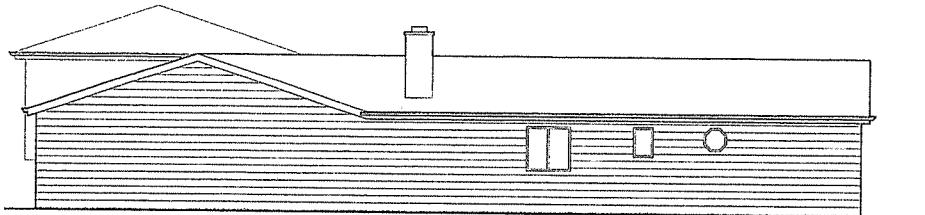
Proposed North Elevation

scale 3/16" = 1'



Existing East Elevation

scale 3/16" = 1'



Existing North Elevation

scale 3/16" = 1'

O'brien Residence : Proposed Garage Addition

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