

ORDINANCE NO. F-1382

**AN ORDINANCE AMENDING THE WHEATON ZONING ORDINANCE MAP
AND GRANTING A ZONING VARIATION FOR A CERTAIN PARCEL OF PROPERTY
COMMONLY KNOWN AS 222 EAST ROOSEVELT ROAD - HENNINGER**

WHEREAS, written application has been made to amend the Zoning Map, which is attached to and forms a part of the Zoning Ordinance of Wheaton, Illinois, to rezone, reclassify and secure a zoning variation in order to use the existing single-family house as an office building and construct a new parking lot, all on certain property legally described herein within the city limits of Wheaton, Illinois ("City"), and commonly known as 222 East Roosevelt Road ("subject property"); and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the City Zoning Ordinance, a public hearing was conducted by the Planning and Zoning Board on September 9, 2008 and September 23, 2008, to consider the requested zoning amendment and variation; and the Board has recommended approval of the rezoning and variation requests.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: Pursuant to the findings of fact made and determined by the Planning and Zoning Board, the Zoning Map which is attached to and forms a part of the City Zoning Ordinance is amended by removing the following described property from the R-3 Residential District Zoning classification and adding and including the subject property in the O-R Office Research District Zoning classification:

THE WEST THIRTY FEET OF LOT 3 AND THE EAST FORTY FEET OF LOT 2 IN COUNTRY CLUB ADDITION TO WHEATON, IN THE WEST HALF OF SECTION 21, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED ON FEBRUARY 19, 1921 AS DOCUMENT 146591, IN DUPAGE COUNTY, ILLINOIS.

P.I.N. 05-21-103-004

The subject property is commonly known as 222 East Roosevelt Road, Wheaton, IL 60187.

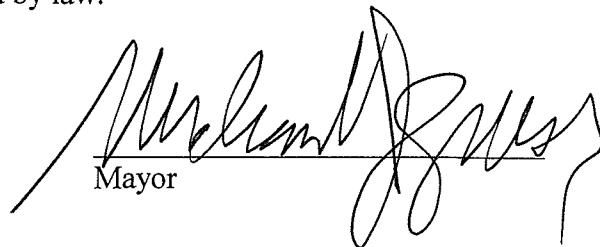
Section 2: Pursuant to the Findings of Fact made and determined by the Planning and Zoning Board, a zoning variation is hereby granted from the provisions of Article 6.6.2b(2) of the Wheaton Zoning Ordinance to allow side yard landscaping setbacks of 6.5 feet in lieu of the required 10.0 feet, in full compliance with the following plans: "222 East Roosevelt Road New Parking Lot, Sheets C-0, C-1, C-2 and L-2", dated July 14, 2008, and "222 East Roosevelt Road New Parking Lot, Sheet L-1", dated September 17, 2008, all prepared by Webster, McGrath & Ahlberg, Wheaton, IL and in further compliance with the following conditions, restrictions, and requirements:

8 2008-165738

1. The approval is subject to the amended landscaping plan dated September 17, 2008;
2. Prior to the issuance of a site development permit, the applicant shall provide a sign plan for approval by the Director of Planning and Economic Development; and
3. If a license agreement is not in effect by the time of construction, the perpendicular paved area connecting this property to the property to the east should be removed from the plan.

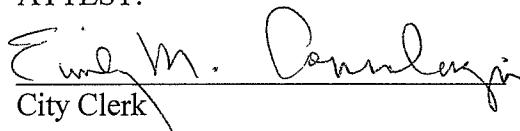
Section 3: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 4: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.



Mayor

ATTEST:



Emily M. Donley
City Clerk

Roll Call Vote:

Ayes:	Councilman Mouhelis Councilman Prendiville Councilman Suess Councilwoman Corry Councilman Levine Mayor Pro Tem Johnson
-------	---

Nays:	None
-------	------

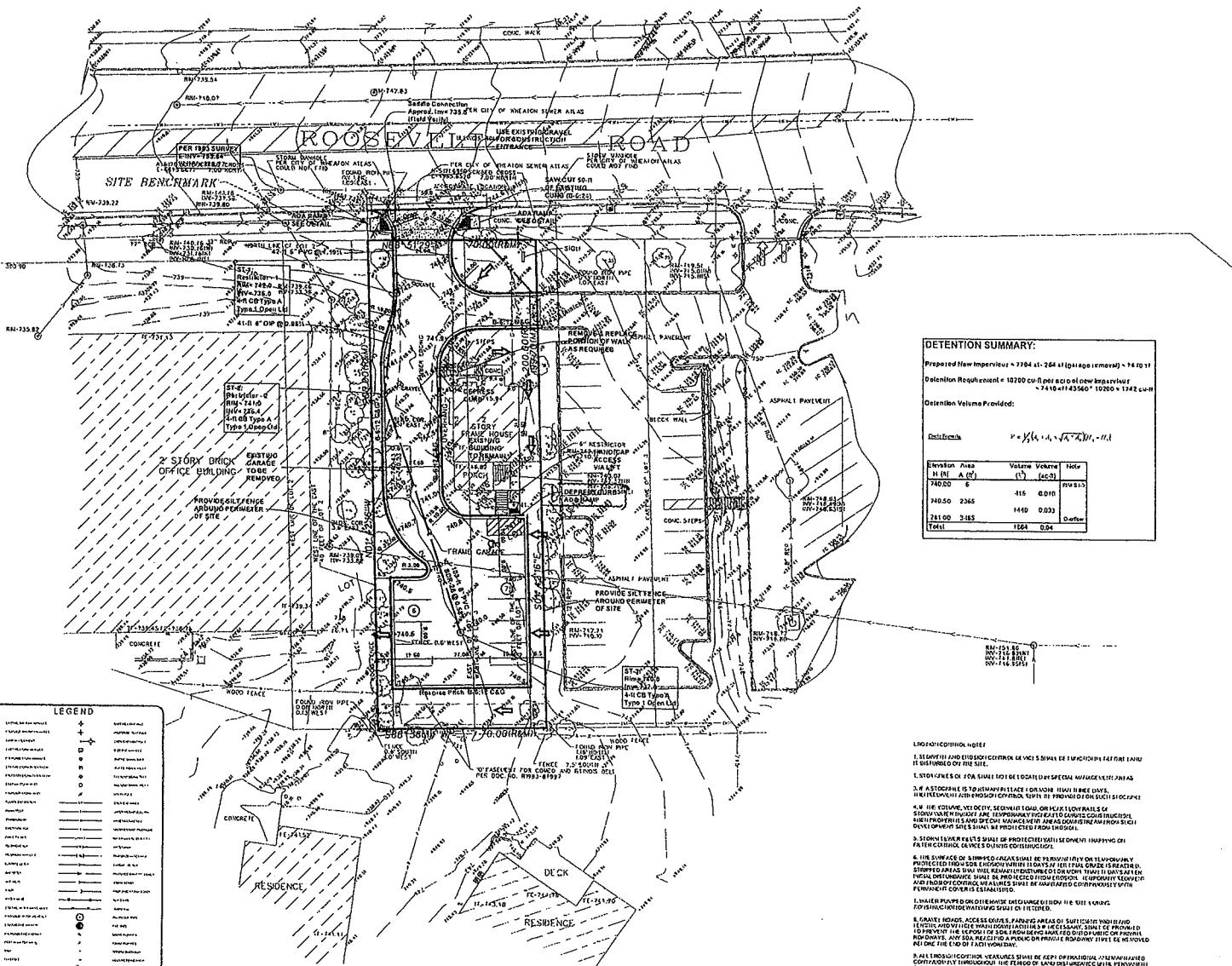
Absent:	Mayor Gresk
---------	-------------

Motion Carried Unanimously

Passed: October 6, 2008
Published: October 7, 2008

SITE & GRADING PLAN

THE WEST THIRTY FEET OF LOT 1 AND THE EAST FORTY FEET OF LOT 7 IN COUNTRY
LAND ADDITION TO WHEELER AT THE WESTHALF OF SECTION 21, TOWNSHIP 21, RANGE
16, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREON
RECORDED ON FEBRUARY 19, 1921 AS DOCUMENT 116301, IN DODGE COUNTY, WISCONSIN.



20

DEBUT

DETENTION SUMMARY

Detention Requirement = 10200 cu-ft per acre of new impervious
 $\sim 740 \text{ cu-ft/143560} \text{ ft}^2 \text{ or } 10200 \text{ ft}^2 \text{ or } 1742 \text{ cu-ft}$

Retention Volume Provided:

$$(s+1, s+\sqrt{s^2-4}) \in \mathbb{Z} - \{0\}$$

Elevation Area H (ft)	A (ft ²)	Volume (ft ³)	Volume (cu.yd)	Note
740.00	6	416	0.010	SW-S1
740.50	2365	1440	0.033	
781.00	3-165			D-165
Total		1864	0.04	

1.5. DIVEFIL AND ELOSIC CONTROL DEVICE IS SHOWN IN FUNCTIONING POSITION
IT IS DISTURBED OFF THE SITE.

BENCHMARK INFORMATION

SOURCE BENCHMARK:

AN ALL-ANNUAL TABLE IS ESTABLISHED VERTICALLY NORTH OF THE
WEST ENTRANCE TO THE OLD COURT HOUSE BUILDING LOCATED AT
NORTH EAST INN IN THE TOWN OF YELLOU MEADOW AND
GREEN HILLS. IT IS STAMPED "1866 155 BY THE U.S.D.S.
DUPage CO. ILLINOIS • IN THE G.V.D.

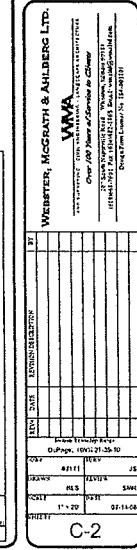
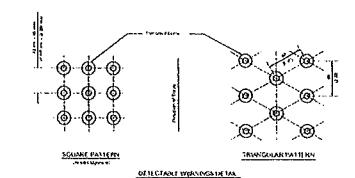
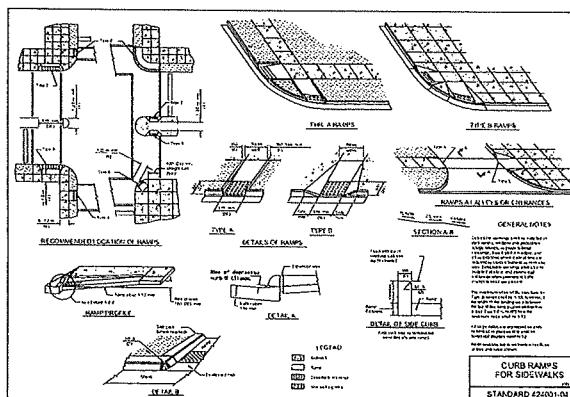
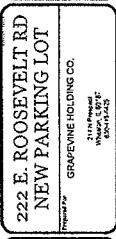
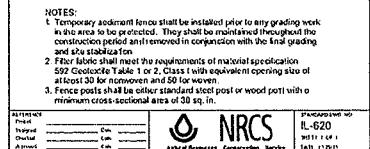
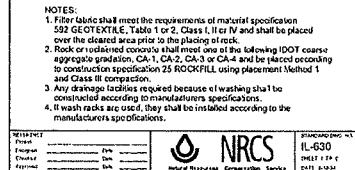
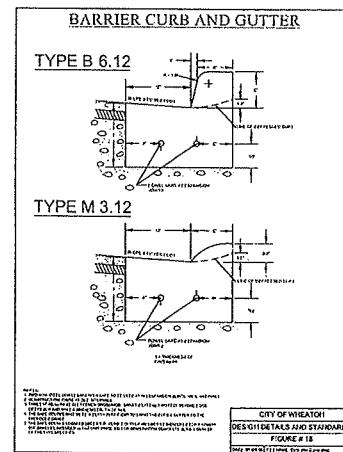
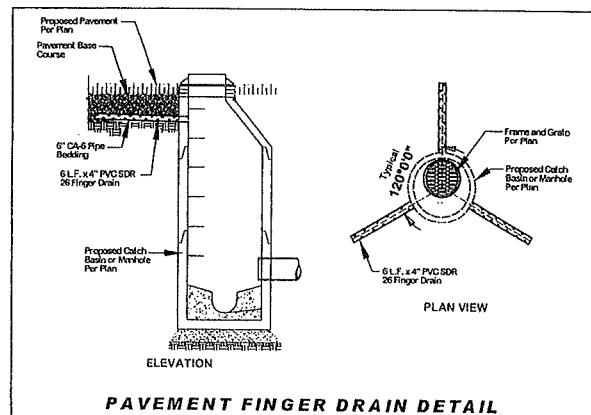
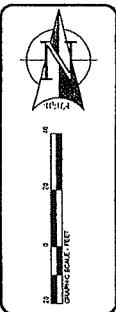
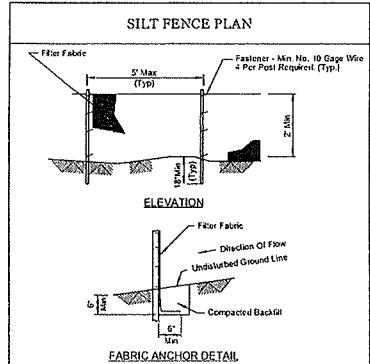
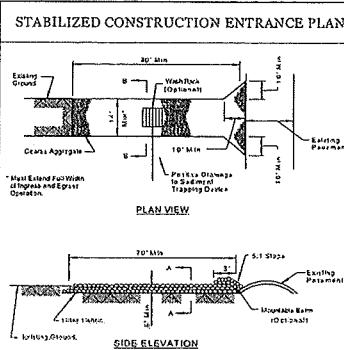
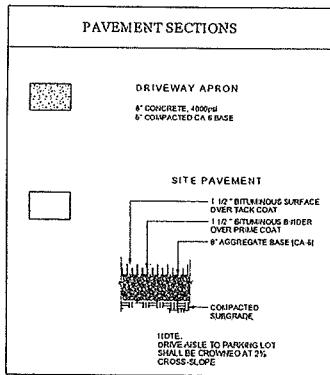
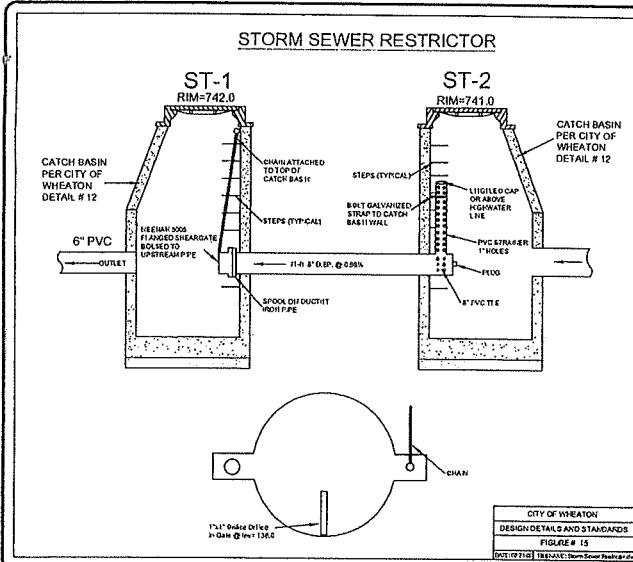
SITE BENCHMARK:

CROSS CUT BY R.R.
E NODTH OF THE NORTH LINE OF THE SUBJECT PROPERTY
22' WEST OF THE WEST LINE OF THE SUBJECT PROPERTY
CUPAGE CO. ELEVATION = 247.22 (R.L.V.D.)

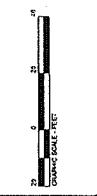
22 E. ROOSEVELT RD
NEW PARKING LOT
GRAPEVINE HOLDING CO.

SITE &
GRADING
PLAN

WEBSTER, MCGRATH & AHLBERG LTD.
WMA
107-110 University Street, Seattle 1-2711
Over 100 Years of Service to Cinema



LANDSCAPE PLAN



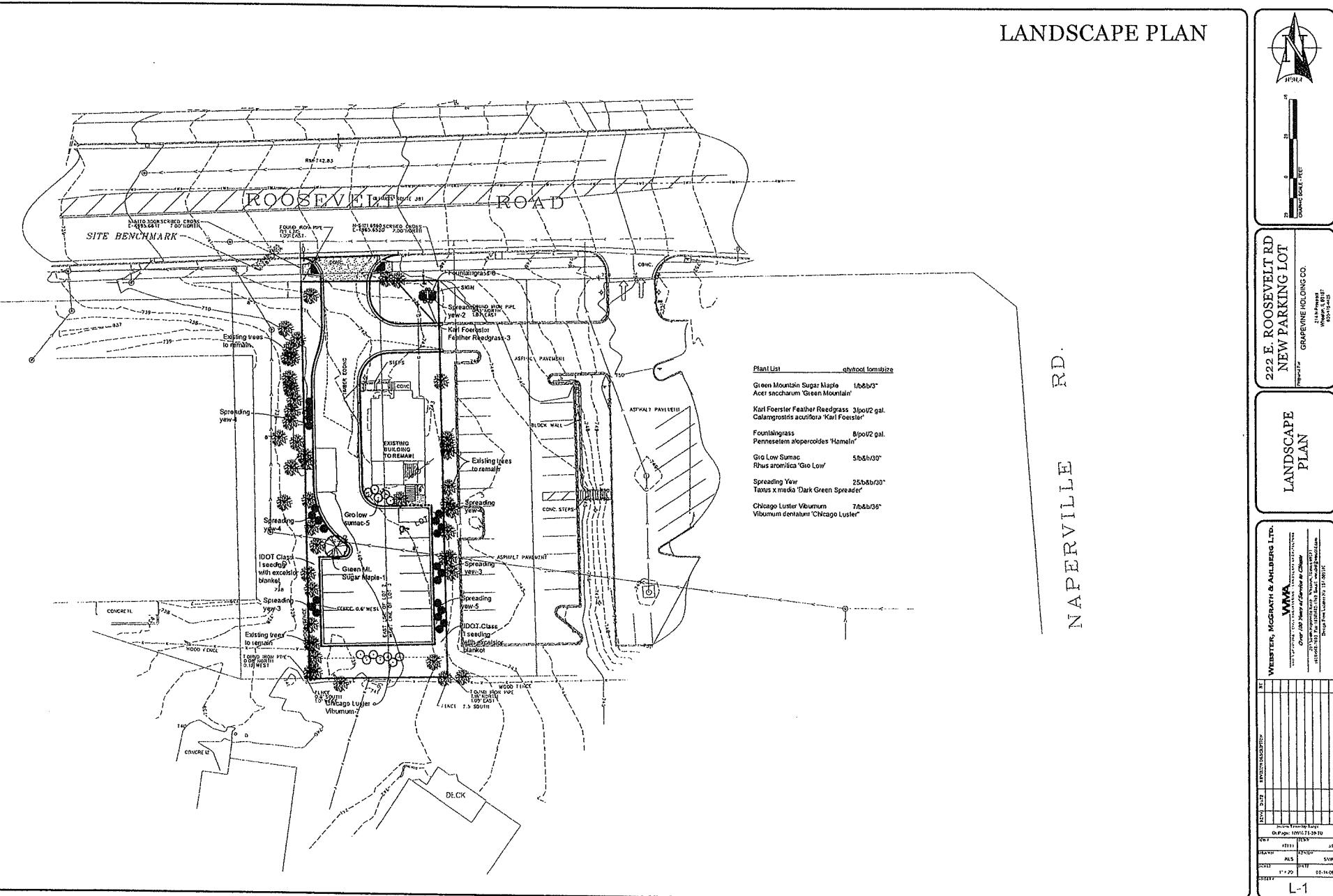
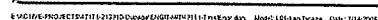
2222 E. ROOSEVELT RD
NEW PARKING LOT
GRADUATE WORKING CO.

LANDSCAPE PLAN

WEBSTER, MCGRATH & AHLBERG LTD.
WMA
WATERMAN, MCGRATH, AHLBERG & MCGRATH
Over 100 Years of Service to Quebec

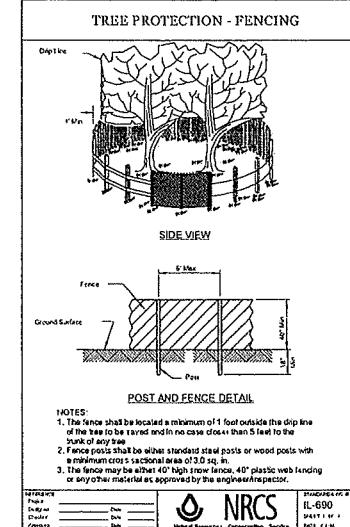
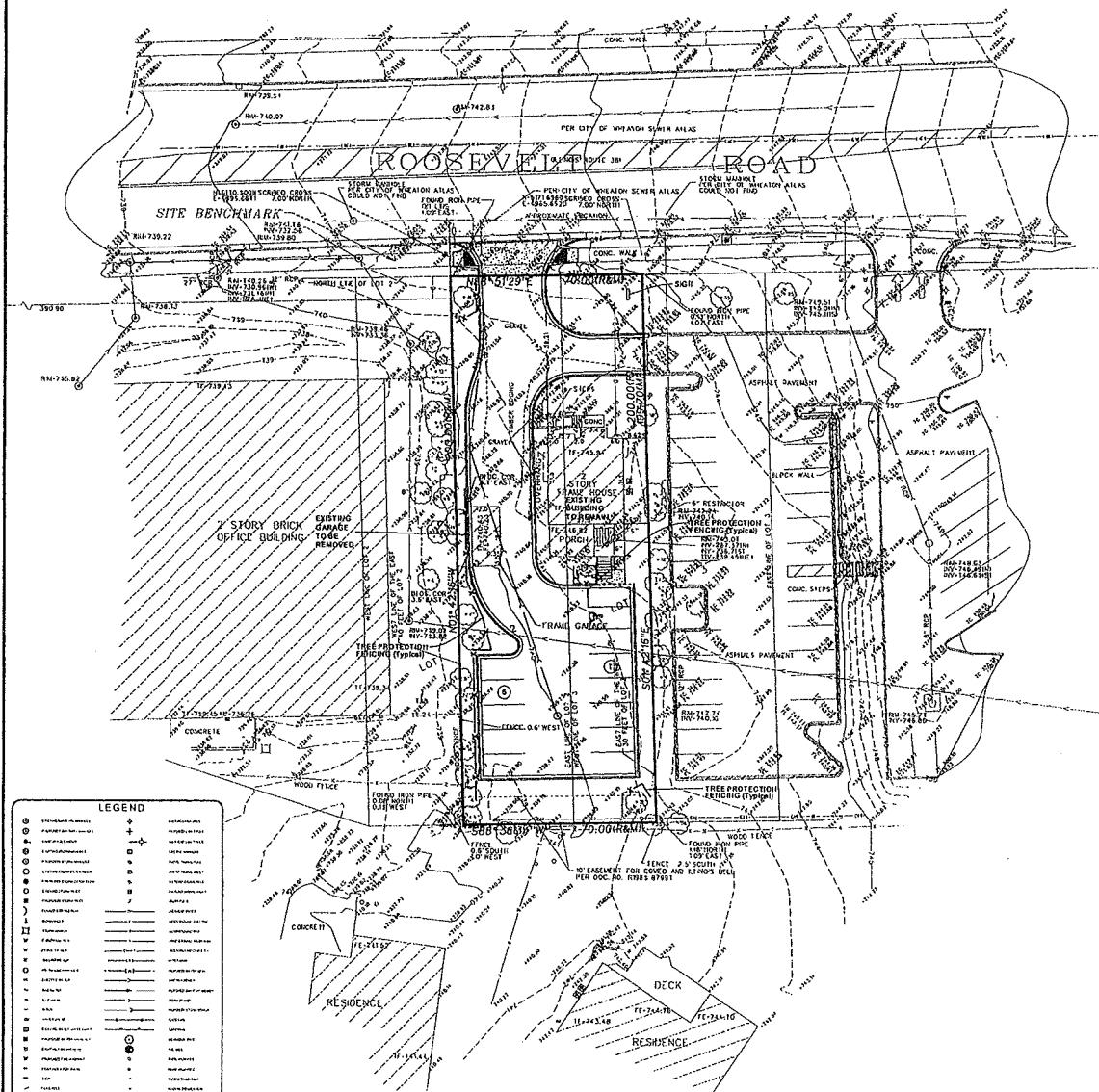
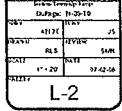
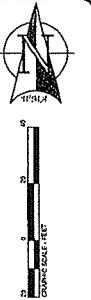
卷之三

Plant List	Qty/Root/Isomly
Green Mountain Sugar Maple	1/b&b/3"
Acer saccharum "Green Mountain"	
Karl Foerster Feather Reedgrass	3/pot/2 gal.
Calamagrostis acutiflora "Karl Foerster"	
Fountaingrass	8/pot/2 gal.
Pennisetum alopecuroides "Hameln"	
Gig Low Sumac	5/b&b/3"
Rhus aromatica "Gig Low"	
Spreading Yew	25/b&b/3"
Taxus media "Dark Green Spreader"	
Chicago Lustre Viburnum	7/b&b/3"
Viburnum dentatum "Chicago Lustre"	



TREE PRESERVATION PLAN

THE WEST THIRTY FEET OF LOT 3 AND THE EAST FORTY FEET OF LOT 2 IN COUNTRY CLUB ADDITION TO WHEATON, IN THE WEST HALF OF SECTION 21, TOWNSHIP 39, NORTH, RANGE 19, EAST OF THE THIRD MERIDIAN, ACCORDING TO THE PLAT, STEREO, RECORDED ON FEBRUARY 19, 1911 AS DOCUMENT 16531, IN DUPAGE COUNTY, ILLINOIS.



POST AND FENCE DETAIL

NOTES:

1. The fence shall be located a minimum of 1 foot outside the drip line of the tree to be saved and in no case closer than 5 feet to the trunk of the tree.
2. Fence posts shall be either standard steel posts or wood posts with a minimum cross sectional area of 3.0 sq. in.
3. The fence may be either 40' high iron fence, 40' plastic web fencing or any other material as approved by the engineer/inspector.

TREE PRESERVATION NOTES:

- 1. X OHOTES TREE REMOVAL**
- 2. INSTALL TREE FENCING PRIOR TO THE STAGE OF SUB-GRAVING AND UTILITY WORK.**
- 3. INSTALL TREE FENCING 2' BEHIND THE BACK OF CURB WHEN THE Drip LINE EXCEEDS THE CURB LIMITS.**