

ORDINANCE NO. F-1375

AN ORDINANCE GRANTING A FRONT AND SIDE YARD SETBACK VARIATION ON A CERTAIN PIECE OF PROPERTY COMMONLY KNOWN AS 331 BEECHWOOD COURT - LAVEEN

WHEREAS, written application has been made requesting a variation to Article 9.2.5 and Article 3.4A.5a of the Wheaton Zoning Ordinance to allow the construction of a front porch with a front yard setback of 29.10 feet in lieu of the required 41.0 feet and a side yard setback of 4.08 feet in lieu of the required 5.44 feet on certain property legally described herein and commonly known as 331 Beechwood Court, Wheaton, Illinois; and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on August 26, 2008, to consider the variation request; and the Planning and Zoning Board has recommended approval of the zoning variation.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: Pursuant to the Findings of Fact made and determined by the Wheaton Planning and Zoning Board, a front yard setback of 29.10 feet in lieu of the required 41.0 feet and a side yard setback of 4.08 feet in lieu of the required 5.44 feet is granted in full compliance with the plans entitled "*Todd and Karen Laveen, 331 Beechwood Court, Wheaton, Illinois 60187*" prepared by *Bradford & Kent Custom Builders, Downers Grove, Illinois 60515*, sheets 1 - 3, dated June 30, 2008, to allow the construction of a covered front porch on the following-described real estate:

LOT 43 IN PHEASANT HOLLOW III, BEING A SUBDIVISION OF PART OF THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 17, 1977 AS DOCUMENT R77-106277, IN DUPAGE COUNTY, ILLINOIS.

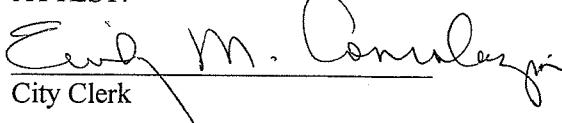
P.I.N.: 05-29-108-015

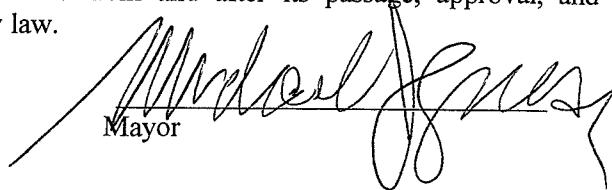
The subject property is commonly known as 331 Beechwood Court, Wheaton, IL 60187.

Section 2: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 3: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.

ATTEST:


Cindy M. Connerley, Jr.
City Clerk


Michael J. Jones
Mayor

R2008-144951

Roll Call Vote:

Ayes: Councilman Mouhelis
Councilman Prendiville
Councilman Suess
Councilwoman Corry
Councilman Johnson
Councilman Levine
Mayor Gresk

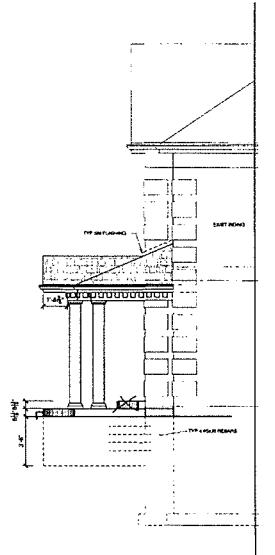
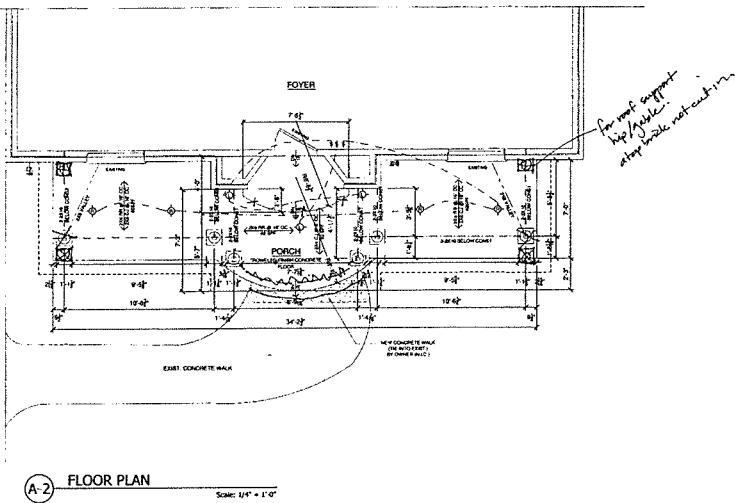
Nays: None

Absent: None

Motion Carried Unanimously

Passed: September 2, 2008
Published: September 3, 2008

SELECTIONS



REVISIONS BY:		DATE:	

Bradford & Kent
CUSTOM BUILDERS



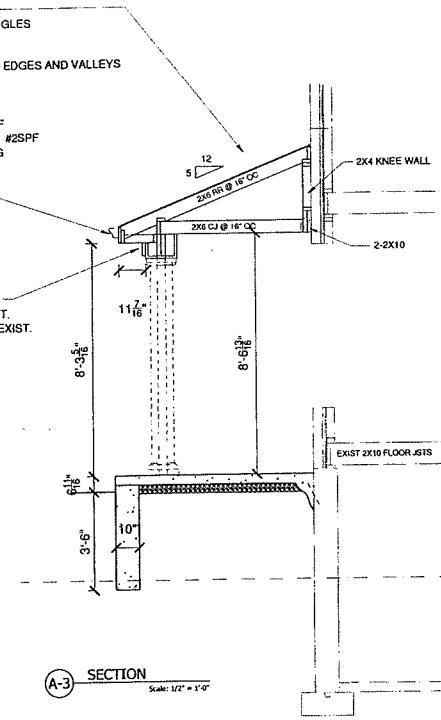
TODD & KAREN LAVEEN
111 BEECHWOOD DR.
WHEATON, IL 60187
HOME: (630) 784-5312
WORK: (312) 354-5312

DRAWN/SUS	MG/JG
DATE	6-24-08
SCALE	AS NOTED
JOB NO.	8033
SHEET	2
OF	THREE

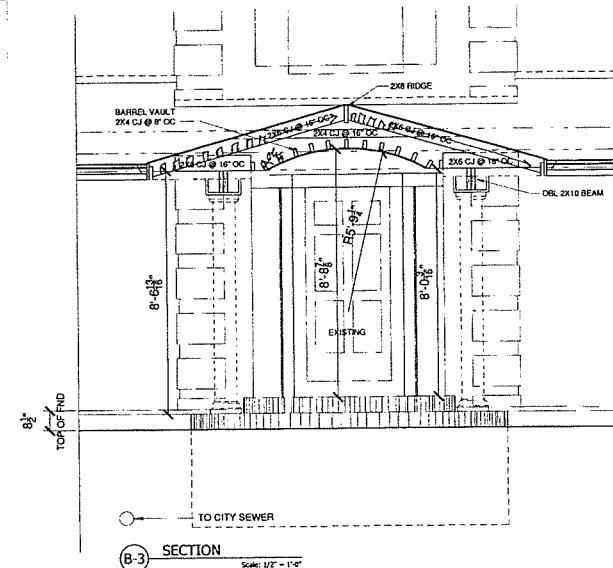
TYP ROOF CONST:
 ARCHITECTURAL GRADE SHINGLES
 -MATCH EXIST ACAP
 15 LB FELT
 ICE AND WATER SHIELD EAVE EDGES AND VALLEYS
 COPPER FLASHING
 2X8 RIDGE
 2X6 RAFTERS @ 16" OC #2SPF
 2X4 CEILING JOISTS @ 16" OC #2SPF
 T&G FIR BEAD BOARD CEILING

TYP EAVE CONST:
 ALUMINUM GUTTERS AND DS
 1X PINE FASCIA
 1X PINE SOFFIT
 2X6 SUB FASCIA

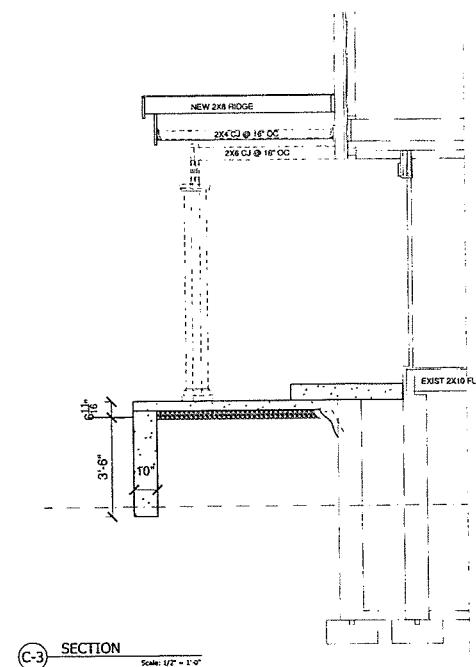
FREEZE BOARD CONST:
 PINE CROWN TO MATCH EXIST.
 DENTIL MOLDING TO MATCH EXIST.
 1X PINE FOR SOFFIT CONST.



A-3 SECTION
 Scale: 1/2" = 1'-0"



B-3 SECTION
 Scale: 1/2" = 1'-0"



C-3 SECTION
 Scale: 1/2" = 1'-0"

**DO NOT
 BUILD SET**

Bradford & Kent, Inc.
 807 Ogden Ave.
 Downers Grove, IL 60515
 Phone 630.969.5585
 Fax 630.969.8621
 bradfordkent.com

**Bradford
 & Kent**
 CUSTOM BUILDERS

TODD & KAREN LAVEEN
 311 BRECHWOOD CL.
 WHEATON, IL 60187
 HOME: (847) 784-5358 WORK: (847) 294-5312

DRWNS/SLS	MG/G
DATE	6-30-08
SCALE	AS NOTED
JOB NO.	8033

3
 OF THREE