

ORDINANCE NO. F-1370

AN ORDINANCE GRANTING A REAR YARD SETBACK VARIATION ON A CERTAIN PIECE OF PROPERTY COMMONLY KNOWN AS 2076 SPRING GREEN DRIVE - SZAFRANSKI

WHEREAS, written application has been made requesting a variation from the provisions of Article 24.4.3 of the Wheaton Zoning Ordinance to allow the construction of a deck with a rear yard setback of 10.0 feet in lieu of the required 25.0 feet, all on certain property legally described herein and commonly known as 2076 Spring Green Drive, Wheaton, Illinois; and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on August 12, 2008 to consider the variation request; and the Wheaton Planning and Zoning Board has recommended approval of the zoning variation, pursuant to certain conditions and requirements.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: Pursuant to the Findings of Fact determined by the Wheaton Planning and Zoning Board, a variation from the requirements of Article 24.4.3 of the Wheaton Zoning Ordinance to allow the construction of a deck with a rear yard setback of 10.0 feet in lieu of the required 25.0 feet, on the following-described property:

LOT 36 IN THE STREAMS UNIT ONE, BEING SUBDIVISION OF PART OF THE EAST HALF OF SECTION 19, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 29, 1969 AS DOCUMENT R69-47226, IN DUPAGE COUNTY, ILLINOIS.

P.I.N.: 05-19-409-006

This property is commonly known as 2076 Spring Green Drive, Wheaton, IL 60187 ("subject property").

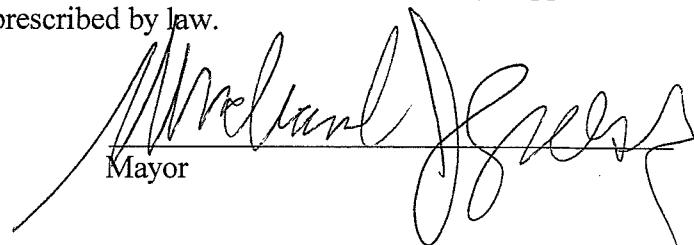
Section 2: The variation provided for in Section 1 of this ordinance shall be subject to the following conditions, restrictions and requirements:

- A. The deck's size and location shall be as illustrated on the site plan, which is on file in the office of the Planning and Economic Development Department; and
- B. The deck shall not encroach into the 10 foot sewer and walkway easement along the back of the property.

Section 3: All ordinances or parts of ordinances in conflict with these provisions are repealed.

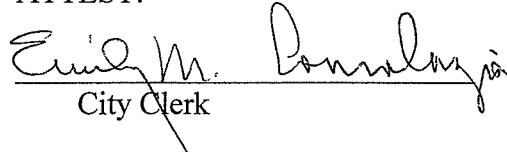
R 2008-144955

Section 4: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.



Michael Gresk
Mayor

ATTEST:



Emily M. Donnelly
City Clerk

Roll Call Vote

Ayes: Councilman Mouhelis
Councilman Prendiville
Councilman Suess
Councilwoman Corry
Councilman Johnson
Councilman Levine
Mayor Gresk

Nays: None

Absent: None

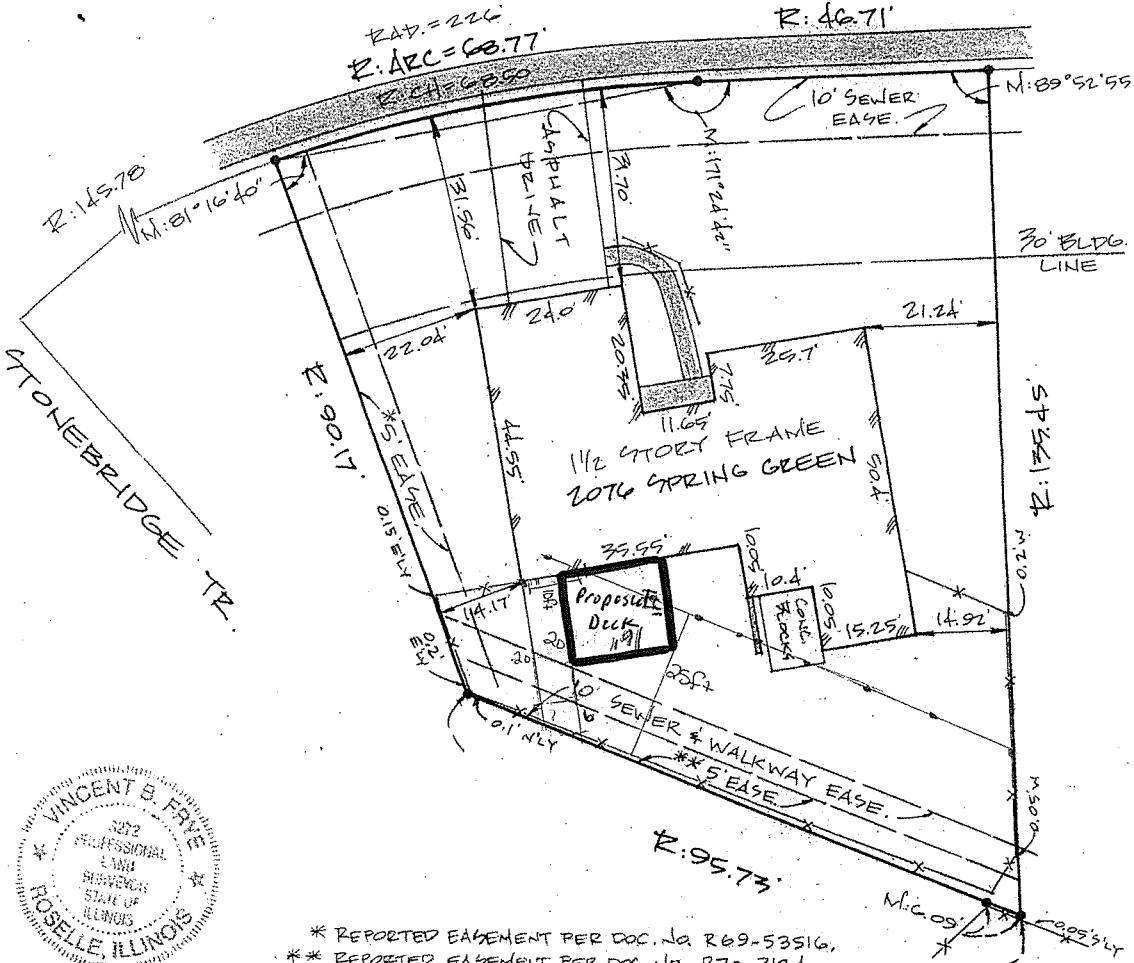
Motion Carried Unanimously

Passed: August 18, 2008
Published: August 19, 2008

PLAT OF SURVEY

OF LOT 36 IN THE STREAMS UNIT ONE, BEING SUBDIVISION OF PART OF THE EAST HALF OF SECTION 19, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 29, 1969 AS DOCUMENT R69-47226, IN DUPAGE COUNTY, ILLINOIS.

2076
SPRING GREEN DR.



CLIENT: ATTY. FAERMARK
JN 161561

DATE OF SURVEY AUG. 29, 2006

STATE OF ILLINOIS

COUNTY OF DU PAGE

I HEREBY CERTIFY THAT THE ABOVE DESCRIBED PROPERTY HAS BEEN SURVEYED, UNDER MY SUPERVISION, ACCORDING TO THE OFFICIAL RECORD AND THAT THE ABOVE PLAT CORRECTLY REPRESENTS SAID SURVEY. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF.

I FURTHER CERTIFY THAT UNLESS OTHERWISE SHOWN, THE BUILDINGS ON THE PARCEL ARE WITHIN PROPERTY LINES AND THE ADJOINING VISIBLE IMPROVEMENTS DO NOT ENCROACH ON THE ABOVE DESCRIBED PROPERTY.

I FURTHER CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

Vincent B. Faye

MY LICENSE EXPIRES 11-30-2006

COMPARE THE DESCRIPTION OF THIS PLAT WITH DEED. REFER TO TITLE POLICY FOR ITEMS OF RECORD NOT SHOWN ABOVE. UNLESS OTHERWISE NOTED, UTILITIES WITHIN EASEMENTS ARE NOT SHOWN HEREON. UNDERGROUND UTILITIES INCLUDING BUT NOT LIMITED TO CONDUITS AND CABLES (IF ANY) HAVE NOT BEEN SHOWN HEREON.

ILLINOIS PROFESSIONAL DESIGN FIRM I AND SURVEYING CORPORATION NO. 4183

SCHLAF - SEDIG
& ASSOCIATES, INC.
1030 SUMMERFIELD DRIVE
ROSELLE, ILLINOIS 60172
(630) 924-7100