

ORDINANCE NO. F-1367

AN ORDINANCE GRANTING A FRONT AND SIDE YARD SETBACK VARIATION ON A CERTAIN PIECE OF PROPERTY COMMONLY KNOWN AS 211 NORTH WILLISTON STREET - SANGUINETTI

WHEREAS, written application has been made requesting a variation from the provisions of Article 10.2.5 and Article 3.4A.5b of the Wheaton Zoning Ordinance to allow the construction of a residential addition with a front yard setback of 38.0 feet in lieu of the required 58.0 feet and a south side yard setback of 6.11 feet in lieu of the required 9.24 feet, all on certain property legally described herein and commonly known as 211 North Williston Street, Wheaton, Illinois; and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on July 22, 2008 to consider the variation request; and the Wheaton Planning and Zoning Board has recommended approval of the zoning variation, pursuant to certain conditions and requirements.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: Pursuant to the Findings of Fact determined by the Wheaton Planning and Zoning Board, a variation from the requirements of Article 10.2.5 and Article 3.4A.5b of the Wheaton Zoning Ordinance to allow the construction of a residential addition with a front yard setback of 38.0 feet in lieu of the required 58.0 feet and a south side yard setback of 6.11 feet in lieu of the required 9.24 feet, on the following-described property:

LOT 2 IN STEVENSON'S RESUBDIVISION OF THE SOUTH 110 FEET OF THE NORTH 242 FEET OF THE WEST ½ OF BLOCK 4, ALSO THE SOUTH 56 FEET OF THE NORTH 298 FEET OF THE WEST 140 FEET OF BLOCK 4, ALSO THE SOUTH 69 FEET OF THE WEST 140 FEET OF BLOCK 4 IN JONATHAN BLANCHARD'S SUBDIVISION IN THE NORTHWEST ¼ OF SECTION 15, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID STEVENSON'S RESUBDIVISION RECORDED NOVEMBER 12, 1959 AS DOCUMENT 947119, IN DUPAGE COUNTY, ILLINOIS.

P.I.N.: 05-15-124-004

This property is commonly known as 211 North Williston Street, Wheaton, IL 60187 ("subject property").

Section 2: The variation provided for in Section 1 of this ordinance shall be subject to the following conditions, restrictions and requirements:

- A. The addition design and location shall be as illustrated on the plans titled "Proposed Addition for Mr. and Mrs. Sanguinetti, 211 North Williston Street, Wheaton, IL",

R2008-144959

prepared by L.A. Dohrer, Elk Grove Village, IL, which are on file in the office of the Planning and Economic Development Department.

Section 3: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 4: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.

come effective from and after its passage, approval, and
or prescribed by law.



Michael J. Sweeny

Mayor

ATTEST:

ATTEST:
Emily M. Connally Jr.
City Clerk

Roll Call Vote:

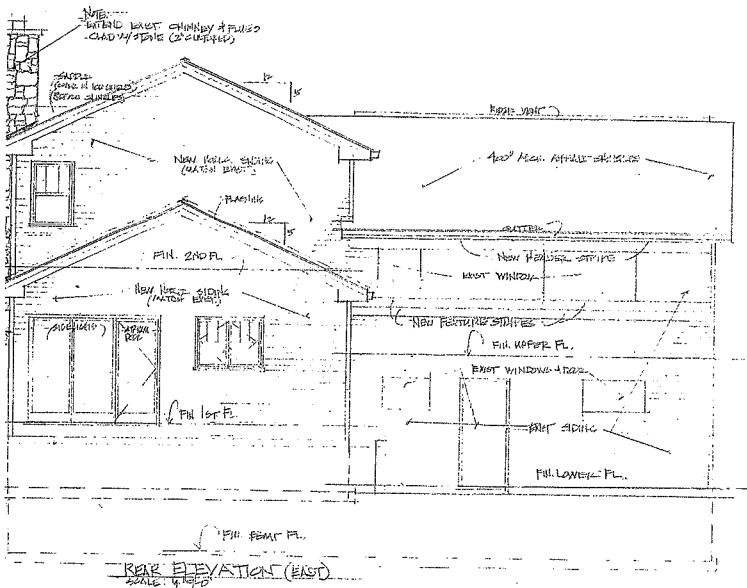
Ayes: Councilman Mouhelis
Councilman Prendiville
Councilman Suess
Councilwoman Corry
Councilman Levine
Mayor Gresk

Nays: None

Absent: Councilman Johnson

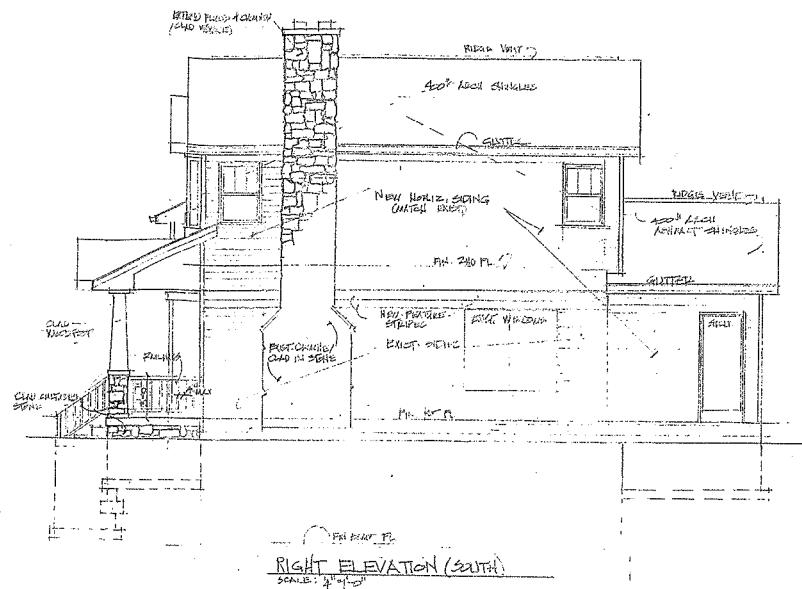
Motion Carried Unanimously

Passed: August 4, 2008
Published: August 5, 2008



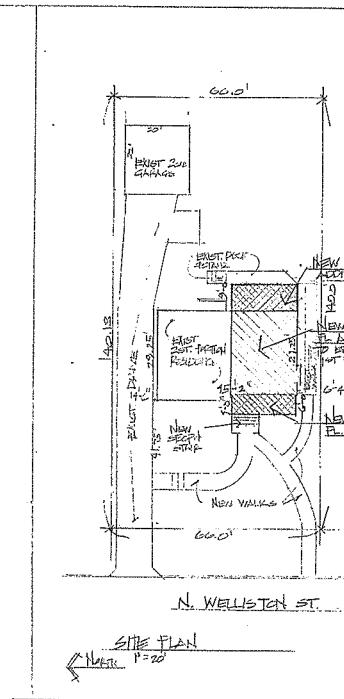
REAR ELEVATION (EAST)

~~SCALE: 4.160~~



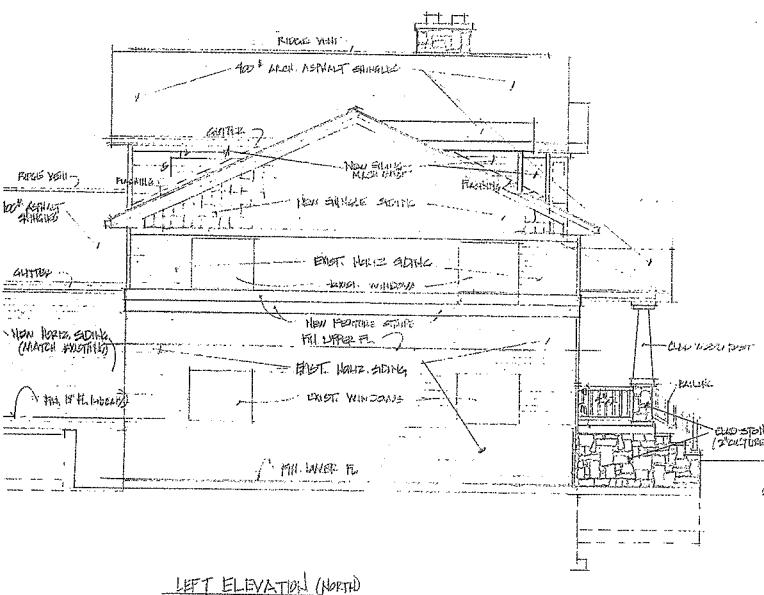
RIGHT ELEVATION (SOUTH)

SCALE: 1/4 in.

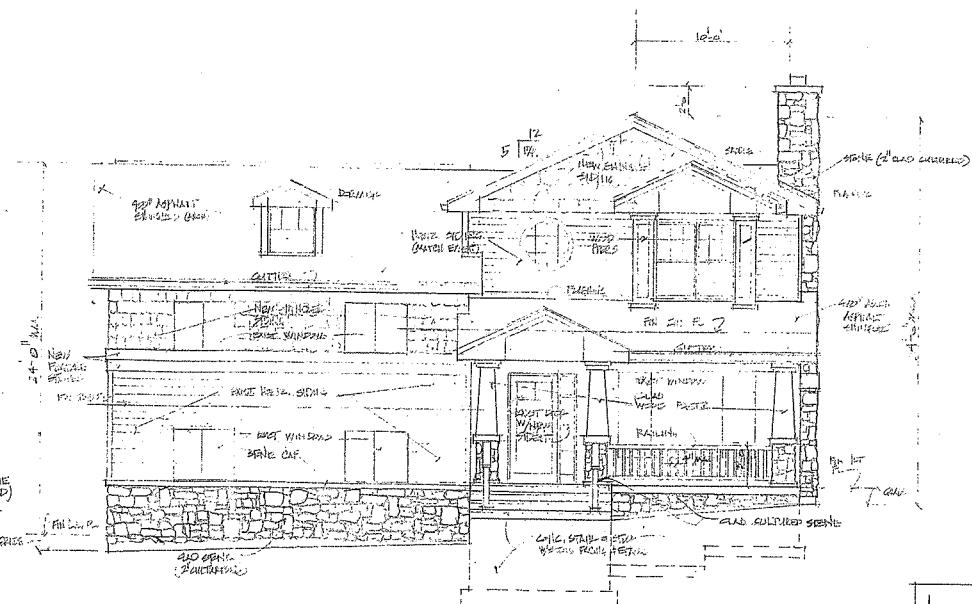


N. WELLINGTON ST.

5

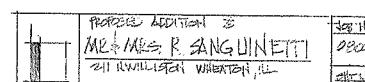


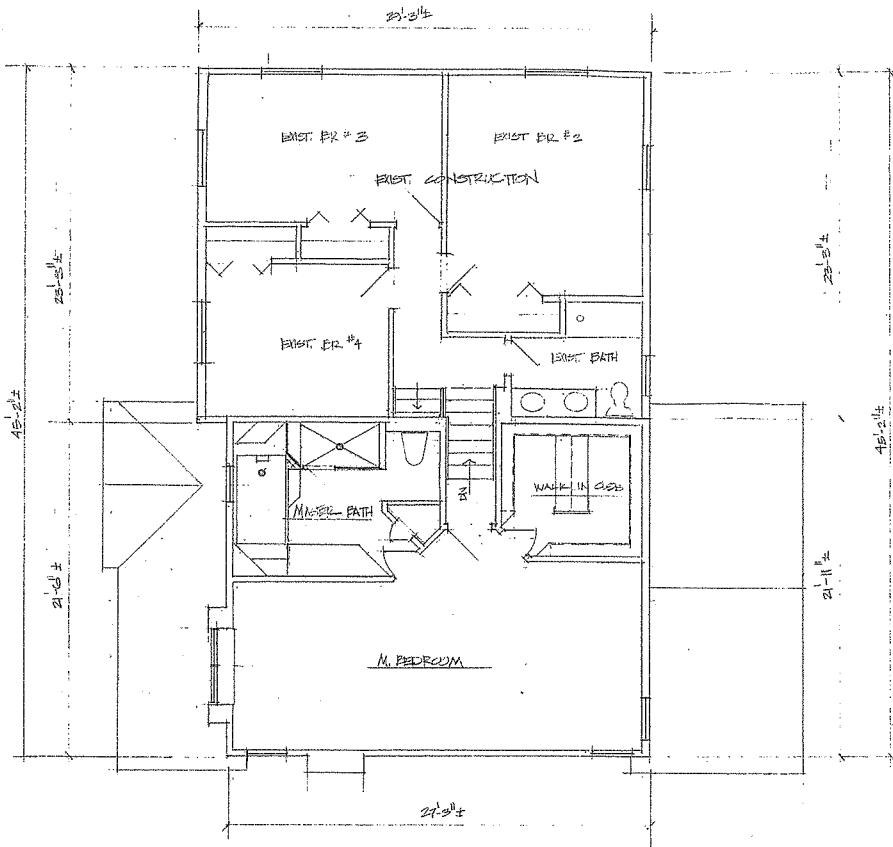
LEFT ELEVATION (NORTH)



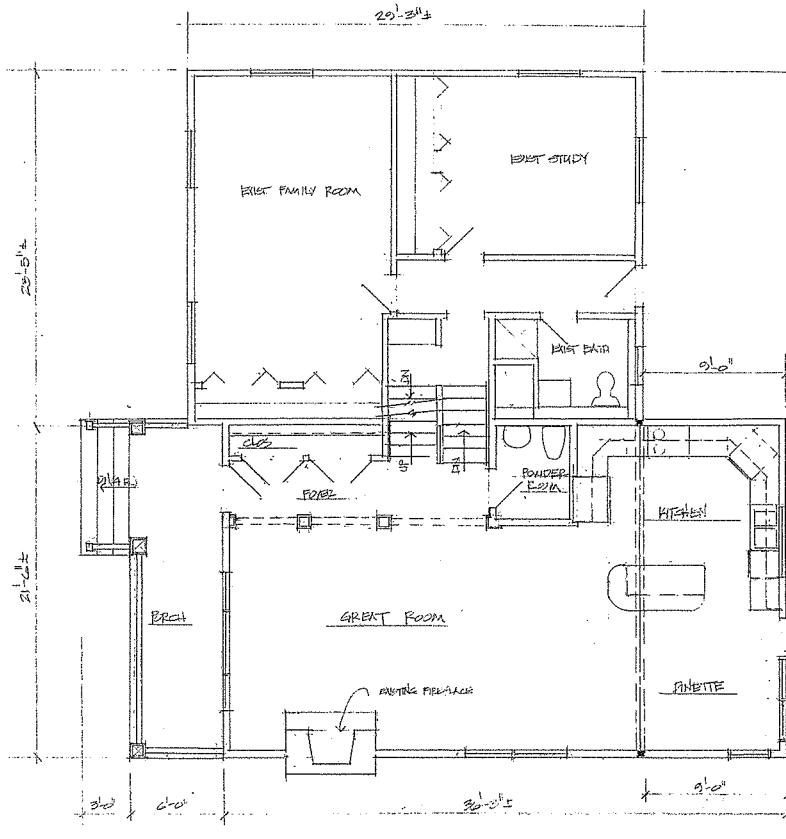
FRONT ELEVATION (West)

Plan





↑
2ND FLOOR PLAN
SCALE: 1" = 10'



ST. FLOOR PLAN
SCALE: 4" = 10'

PROPOSED ADDITION TO
MR. & MRS. R. SANGUINETTI
211 N. WILLISTON ST. WHEATON, ILL.
L. A. DONERER, ARCHITECT

LEGAL DESCRIPTION

LOT 2 IN STEVENSON'S RESUBDIVISION, BEING A SUBDIVISION IN THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 35 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREON, RECORDED NOVEMBER 12, 1859, AS DOCUMENT 541112, IN DU PAGE COUNTY, ILLINOIS.

SCALE: 1' - 20 FEET

SITE BENCH
RIM OF STORE
ELEV. + 155.2
N. INV. 24T.02
S. INV. 790.97

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A vertical diagram of a concrete column with the following markings and labels:

- Top:** A small circle at the top with the letter 'C' above it.
- Left side:**
 - "HSC PT. H" near the top.
 - "100E1" and "100W1" with "100W1.14" below them.
 - "100E2" and "100W2" with "100W2.14" below them.
 - "100E3" and "100W3" with "100W3.14" below them.
 - "100E4" and "100W4" with "100W4.14" below them.
- Right side:**
 - "100E1" and "100W1" with "100W1.14" below them.
 - "100E2" and "100W2" with "100W2.14" below them.
 - "100E3" and "100W3" with "100W3.14" below them.
 - "100E4" and "100W4" with "100W4.14" below them.
- Bottom:**
 - "SANTARY PT. H" and "100W1.14" with "100W1.14" below them.
 - "SANTARY PT. H" and "100W2.14" with "100W2.14" below them.
 - "SANTARY PT. H" and "100W3.14" with "100W3.14" below them.
 - "SANTARY PT. H" and "100W4.14" with "100W4.14" below them.
- Center:**
 - "SANTARY PT. H" and "100W1.14" with "100W1.14" below them.
 - "SANTARY PT. H" and "100W2.14" with "100W2.14" below them.
 - "SANTARY PT. H" and "100W3.14" with "100W3.14" below them.
 - "SANTARY PT. H" and "100W4.14" with "100W4.14" below them.
- Vertical Labels:**
 - "SANTARY PT. H" and "100W1.14" with "100W1.14" below them.
 - "SANTARY PT. H" and "100W2.14" with "100W2.14" below them.
 - "SANTARY PT. H" and "100W3.14" with "100W3.14" below them.
 - "SANTARY PT. H" and "100W4.14" with "100W4.14" below them.
- Bottom Labels:**
 - "SANTARY PT. H" and "100W1.14" with "100W1.14" below them.
 - "SANTARY PT. H" and "100W2.14" with "100W2.14" below them.
 - "SANTARY PT. H" and "100W3.14" with "100W3.14" below them.
 - "SANTARY PT. H" and "100W4.14" with "100W4.14" below them.

347

HARVARDDEN

STREET

STATE OF ILLINOIS /
COUNTY OF DU PAGE / 5.5

To the best of my knowledge and belief that such surface waters will be planned for in accordance with generally accepted engineering practices and that the development of the subject site in accordance with the site development plan will not increase the amount or rate of run-off so as to adversely affect the quality of surface water draining onto other properties and will not damage other properties.

West Chicago, Illinois, May 30, 2008

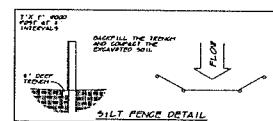
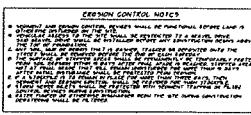
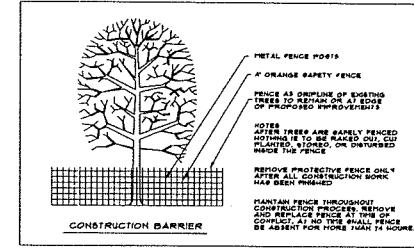
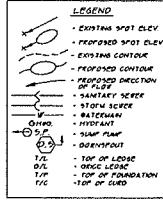
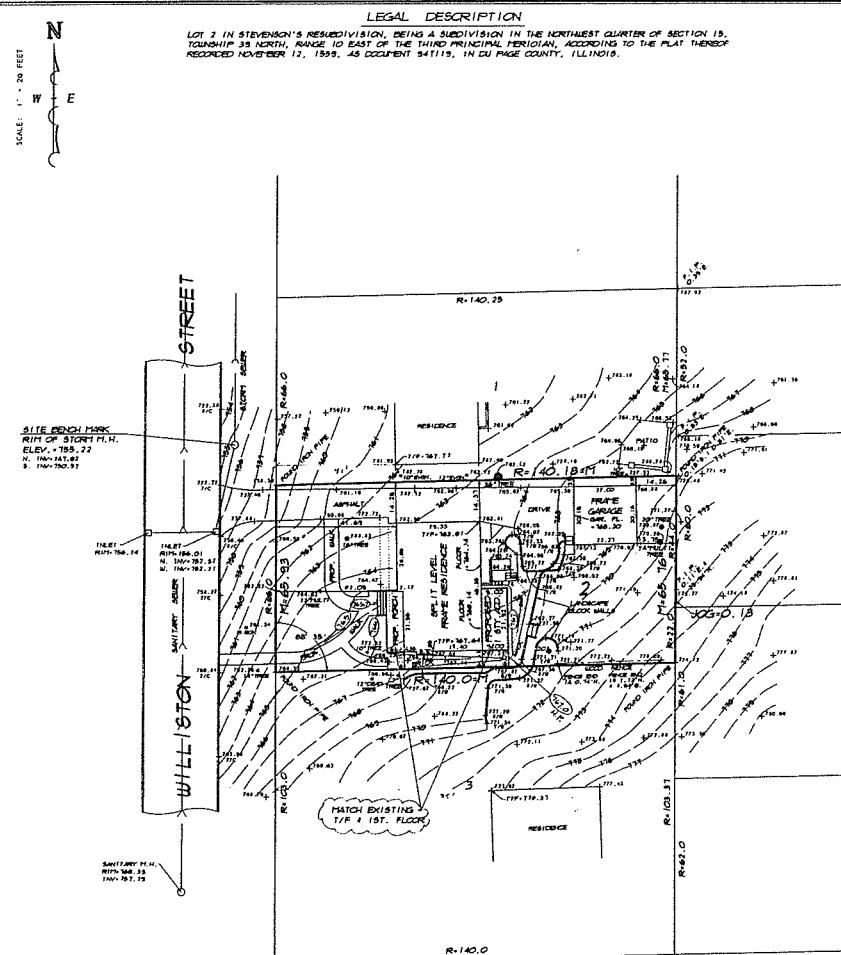
By: Richard J. Steinbrecher
Richard J. Steinbrecher
Professional Land Surveyor 3583
License expires November 30, 2008

SHEE
1 OF

PROJECT LOCATION:
211 N. WILLISTON ST.
MHEATON

REVISIONS BY
RAYMOND SANGUINETTI

SITE PLAN



Steinbrecher Land Surveyors, Inc.
 Professional Engineering and Professional Land Surveying
 Dahl Firm Corporation No. 184-003126

 141 S. Nelkins Blvd., West Chicago, IL 60185-2844
 (630) 293-8909 Fax 293-8902