



**FRED BUCHOLZ**  
DUPAGE COUNTY RECORDER  
JUN. 24, 2008 12:02 PM  
OTHER 05-09-101-004  
**004 PAGES R2008-101049**

**CITY OF WHEATON, ILLINOIS**

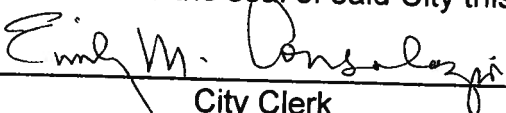
**F- 1359**

**AN ORDINANCE AMENDING THE WHEATON ZONING MAP BY GRANTING  
A SPECIAL USE PERMIT FOR THE CONSTRUCTION, ERECTION AND USE  
OF A PERSONAL WIRELESS COMMUNICATION FACILITY-306 W. GENEVA  
ROAD/THEOSOPHICAL SOCIETY (T-MOBILE)**

I HEREBY CERTIFY that I am the City Clerk of the City of Wheaton, DuPage County, Illinois, and that, as such City Clerk, I have the custody of the papers, entries, records and ordinances of said City.

I FURTHER CERTIFY that the attached is a true and correct copy of City of Wheaton Ordinance F- 1359 which was adopted by the Wheaton City Council on Monday June 16<sup>th</sup>, 2008.

I have hereunto set my hand and affixed the seal of said City this 17<sup>th</sup>, day of June, 2008.

  
\_\_\_\_\_  
City Clerk

**PREPARED BY/RETURN TO)**

**Emily Consolazio, City Clerk  
City of Wheaton  
303 W. Wesley Street  
Wheaton, IL 60187**

**ORDINANCE NO. F-1359**

**AN ORDINANCE AMENDING THE WHEATON ZONING MAP  
BY GRANTING A SPECIAL USE PERMIT FOR THE CONSTRUCTION, ERECTION  
AND USE OF A PERSONAL WIRELESS COMMUNICATIONS FACILITY-306 WEST  
GENEVA ROAD, THEOSOPHICAL SOCIETY**

**WHEREAS**, written application has been made to amend the Zoning Map, which is attached to and forms a part of, the Zoning Ordinance of Wheaton, Illinois, by the issuance of a special use permit to allow for the construction, erection and use of a personal wireless communications facility (also known as a "monopole") on the property legally described herein within the city limits of Wheaton, Illinois, and commonly located on the southwest corner of Geneva Road and Main Street and commonly known as 306 West Geneva Road; and

**WHEREAS**, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, public hearings were conducted by the Wheaton Planning and Zoning Board on February 26, 2008 and May 13, 2008 to consider the issuance of the special use permit; and the Board has recommended the issuance of the special use permit;

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

**Section 1:** The following described property has been and continues to be zoned and classified in the I-1 Institutional District Zoning classification:

**PARCEL 1**

LOT FOUR (4) IN BLOCK ONE (1) IN ARTHUR T. MCINTOSH & CO.'S GENEVA ROAD SUBDIVISION IN THE NORTHWEST QUARTER (NW1/4) OF SECTION NINE (9) TOWNSHIP THIRTY-NINE (39) NORTH, RANGE TEN (10) EAST OF THE THIRD PRINCIPAL MERIDIAN, DUPAGE COUNTY, ILLINOIS.

AND BEING THE SAME PROPERTY CONVEYED TO AMERICAN THEOSOPHICAL SOCIETY FROM CLIFTON D. BENSON BY WARRANTY DEED DATED NOVEMBER 30, 1925, AND RECORDED DECEMBER 23, 1925 IN INSTRUMENT NO. 217330.

**PARCEL 2**

LOTS TWO (2) AND THREE (3) IN BLOCK ONE (1) IN ARTHUR T. MCINTOSH & CO.'S GENEVA ROAD SUBDIVISION IN THE NORTHWEST QUARTER (NW1/4) OF SECTION NINE (9) TOWNSHIP THIRTY-NINE (39) NORTH, RANGE TEN (10) EAST OF THE THIRD PRINCIPAL MERIDIAN, DUPAGE COUNTY, ILLINOIS.

AND BEING THE SAME PROPERTY CONVEYED TO THE AMERICAN THEOSOPHICAL SOCIETY FROM CHARLES WESCHOK AND HARRIET M. WESCHOK BY DEED OF CONVEYANCE DATED APRIL 12, 1997, AND RECORDED MAY 10, 1927 IN INSTRUMENT NO. 23538.

**PARCEL 3**

LOT ONE (1) (EXCEPT THE WEST THREE HUNDRED (300) FEET) AND (EXCEPT THE NORTH SEVEN (7) FEET) IN BLOCK ONE (1) IN ARTHUR T. MCINTOSH & CO.'S GENEVA ROAD SUBDIVISION IN THE NORTHWEST QUARTER (NW1/4) OF SECTION NINE (9), TOWNSHIP THIRTY-NINE (39) NORTH, RANGE TEN (10), EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED ON JUNE 26, 1924, AS DOCUMENT 179449 IN DUPAGE COUNTY, ILLINOIS.

AND BEING THE SAME PROPERTY CONVEYED TO THE THEOSOPHICAL SOCIETY OF AMERICA FROM ALICE TAYLOR BY WARRANTY DEED DATED AUGUST 18, 1949, AND RECORDED AUGUST 30, 1949 IN INSTRUMENT NO. 574676.

P.I.N. 05-09-101-004

AKA as 1926 W main st. wheaton, IL 60187

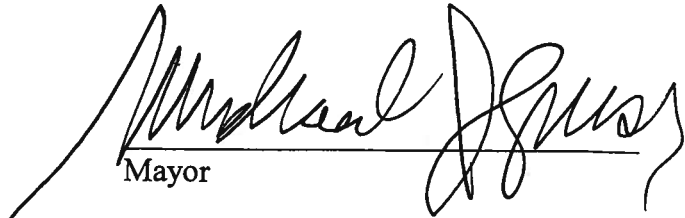
This property is commonly located on The Theosophical Society of America, 306 West Geneva Road, Wheaton, IL;

**Section 2:** Pursuant to the Findings of Fact made and determined by the Planning and Zoning Board, a special use permit is hereby issued to allow for the construction, erection and use of a personal wireless communications facility (also known as a monopole) on the subject property in full compliance with the plans prepared by TNC, Aurora, IL, dated April 7, 2008 entitled "Theosophical Society Site Plan, Sheets C1.1-C1.4, C2.1; Theosophical Society Fence Details, Sheet C5.1; Theosophical Society Elevations, Sheet C3.1, and in further compliance with the following conditions, restrictions, and requirements:

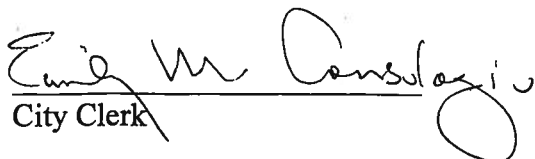
1. The owner of the subject property and any and all lessees of the subject property, including but not limited to T-Mobile, its successors, assigns and grantees, shall comply with all of the provisions of Article 26.5.1 of the Wheaton Zoning Ordinance; and
2. The owner and lessee, if any, of the subject property shall appropriately test the operation of the personal wireless facility, *annually*, in order to verify that the facility is operating in full compliance with the Federal Communication Commission (FCC) requirements for this type of personal wireless communication facility. The testing shall be performed and reported, in writing, by a licensed professional engineer. The owner and lessee, if any, of the subject property shall deliver and file a copy of the testing report to the City Clerk of the City of Wheaton, annually, prior to the anniversary date of this Ordinance.

**Section 3:** All ordinances or parts of ordinances in conflict with these provisions are repealed.

**Section 4:** This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.

  
Mayor

ATTEST:

  
City Clerk

ROLL CALL VOTE:

Ayes: Councilman Prendiville  
Councilman Johnson  
Councilman Levine  
Mayor Gresk  
Councilman Mouhelis

Nays: None

Absent: Councilwoman Corry  
Councilman Suess

Motion Carried Unanimously

Passed: June 16, 2008  
Published: June 17, 2008

*Done - 6/17/08*

LEGEND

MANHOLE/VALVE VAULT

CATCH BASIN

CURB INLET

VALVE (INDIVIDUAL SERVICE)

FIRE HYDRANT

STREET LIGHT/LIGHT POST

UTILITY/POWER POLE

GUY WIRE/ANCHOR

TELEPHONE PEDESTAL

ELECTRIC METER

GAS METER

TRAFFIC SIGNAL

TRAFFIC SIGNAL BOX

SIGN

MAIL BOX

HANDHOLE

DRAINPIPE

FES (AT END OF PIPE)

CHAIN LINK FENCE

WOOD FENCE

DEPRESSED CURB

CONCRETE CURB & GUTTER

SS SANITARY SEWER

ST5 STORM SEWER

W WATER MAIN

OE OVERHEAD ELECTRIC

UE UNDERGROUND ELECTRIC

OT OVERHEAD TELEPHONE

UT UNDERGROUND TELEPHONE

G GAS LINE

C CABLE LINE

BUSH/SHRUB

TREE DECIDUOUS

TREE NON-DECIDUOUS

DRAINAGE ARROW

CONTOUR LINE

SPOT ELEVATION

T/F TOP OF FOUNDATION

T/C TOP OF CONCRETE/CAISSON

FF FINISHED FLOOR

A.G.L. ABOVE GROUND LEVEL

BOUNDARY LINE

CONCRETE

ASPHALT

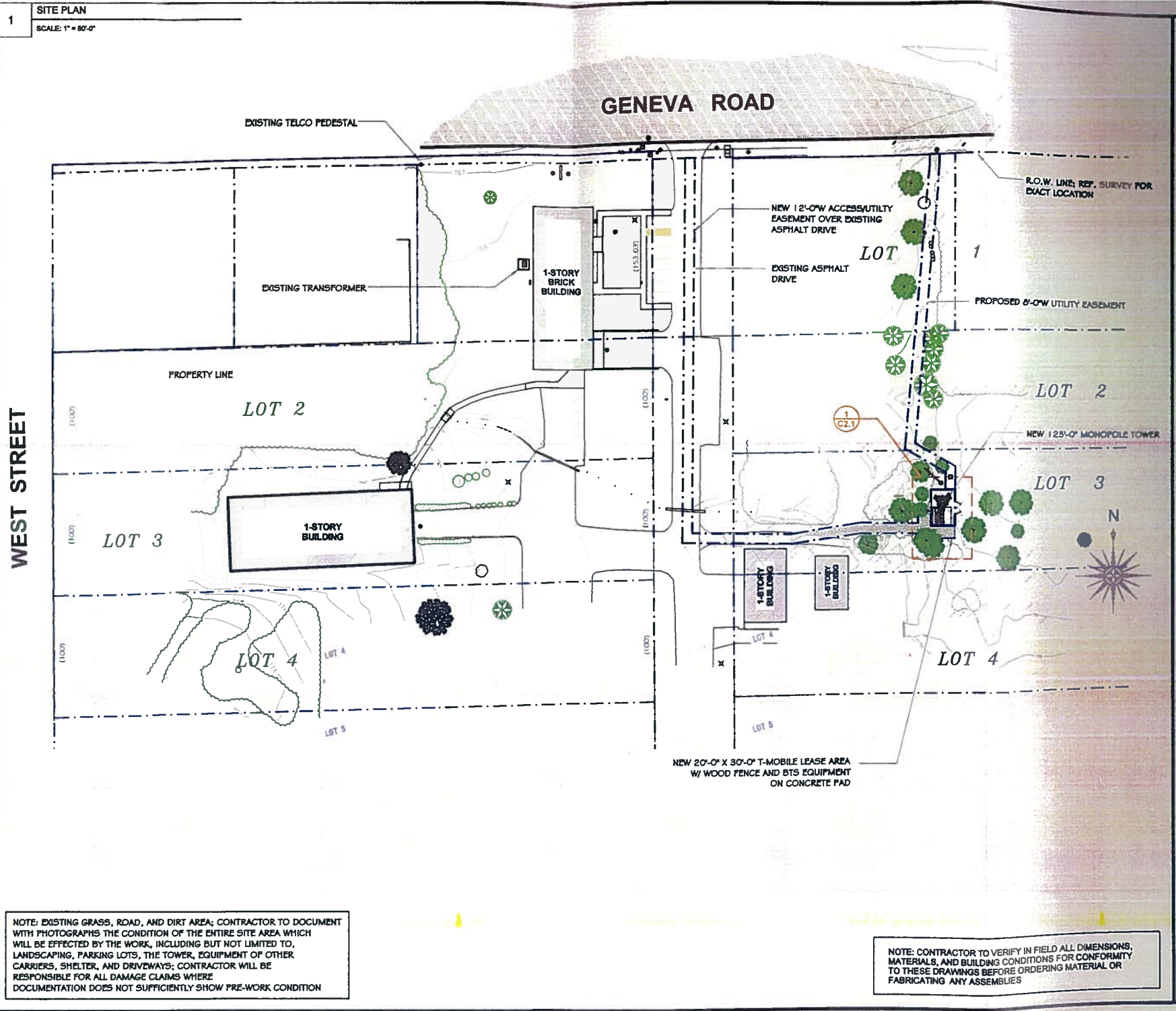
GRAVEL

BRICK

EXISTING BUILDING

LEASE SITE

ACCESS EASEMENT



T-Mobile

T-MOBILE USA, INC.

8555 W. BRYN MAWR AVE.

CHICAGO, IL 60631

TNC

2112 W. CALHOUN BLVD., STE. 6-100

AURORA, IL 60009

TEL. (630) 584-6665

FAX. (630) 584-6665

kamry

488 MEADOW BROOK

PROSPECT HEIGHTS, IL 60070

TEL. (847) 476-1413

FAX. (847) 476-7424

WWW.KAMRYENG.COM

TNC PROJECT NO: 889-89

DRAWN BY: VP

CHECKED BY: FB

REV	DATE	DESCRIPTION
01	10/10/02	ISSUED FOR REVIEW
02	04/07/03	ISSUED FOR BIDDING

DATE SIGNED: \_\_\_\_\_

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CH63-218C

THEOSOPHICAL SOCIETY

1926 N. MAIN ST.

WHEATON, IL 60189

RAWLAND

SITE PLAN

C1.1

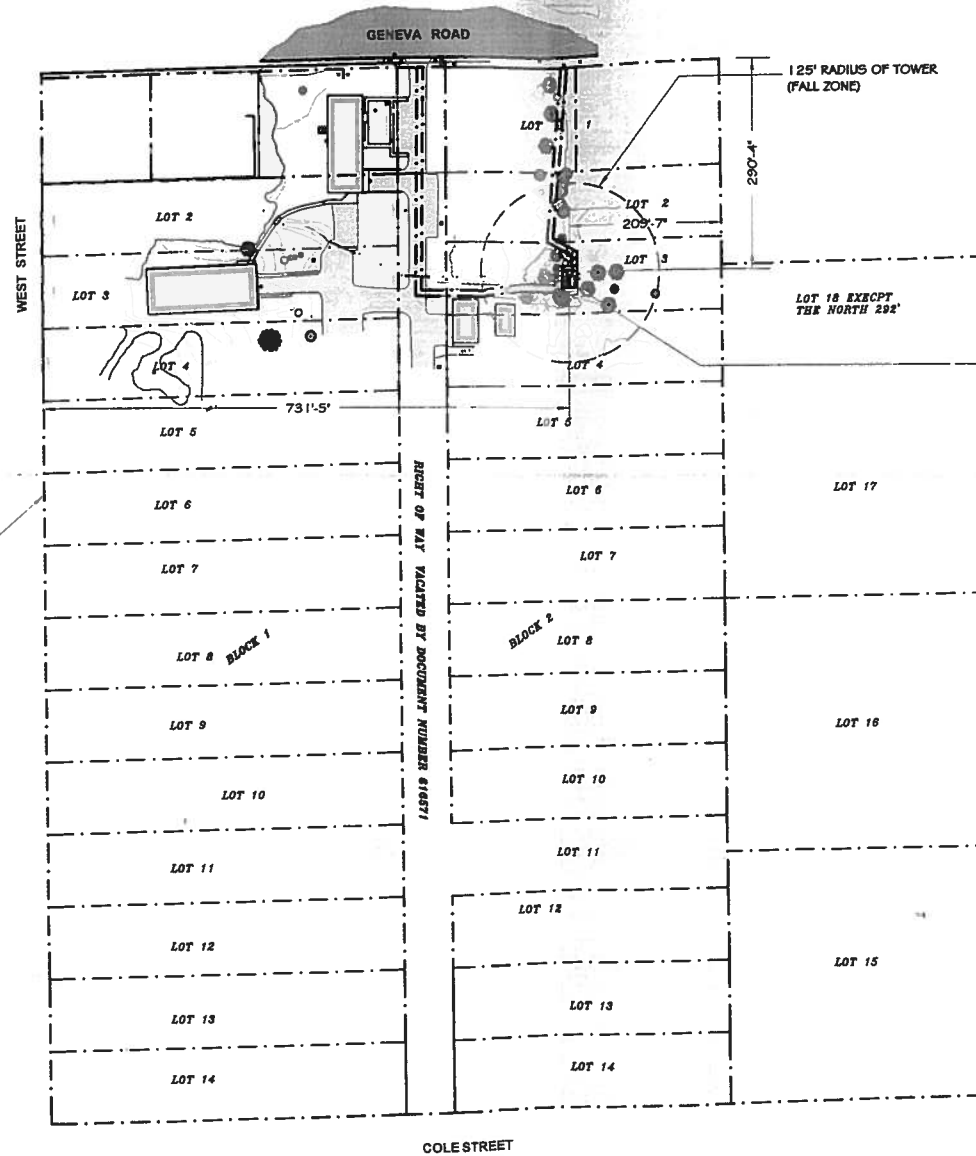
THESE DRAWINGS ARE SCALED FOR 11x17 PAPER

NOTE: CONTRACTOR TO VERIFY IN FIELD ALL DIMENSIONS, MATERIALS, AND BUILDING CONDITIONS FOR CONFORMITY TO THESE DRAWINGS BEFORE ORDERING MATERIAL OR FABRICATING ANY ASSEMBLIES

# PROPERTY LAYOUT

SCALE: 1" = 200'-0"

THEOSOPHICAL SOCIETY PROPERTY LINE



**T-Mobile**

T-MOBILE USA, INC.  
8550 W. BRYN MAWR AVE.  
CHICAGO, IL 60631

**TNC**

2112 W. GALENA BLVD. STE. 8-106  
AURORA, IL 60006

TEL. (838) 354-5455  
FAX. (838) 354-5455

**kamry**

408 MEADOW RIDGE  
PROSPECT HEIGHTS, IL 60070

TEL. (847) 670-7413  
FAX. (847) 670-7434

WWW.KAMRYENG.COM

TNC PROJECT NO: 850-09

DRAWN BY: VP

CHECKED BY: FB

REV	DATE	DESCRIPTION
01	10/10/07	ISSUED FOR REVIEW
02	04/07/08	ISSUED FOR ZONING

DATE SIGNED: \_\_\_\_\_

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CH53-218C  
THEOSOPHICAL SOCIETY

1926 N. MAIN ST.  
WHEATON, IL 60189

RAWLAND

SITE PLAN

C1.2

THESE DRAWINGS ARE SCALED FOR 11x17 PAPER





NEW 20'-0" X 30'-0" T-MOBILE LEASE AREA  
W/ WOOD FENCE, BTS EQUIPMENT,  
AND NEW 125'-0" MONOPOLE TOWER

THEOSOPHICAL SOCIETY PROPERTY LINE



**T-Mobile**  
T-MOBILE USA, INC.  
8550 W. BRYN MAWR AVE.  
CHICAGO, IL 60631

**TNC**  
2112 W. GALENA BLVD. STE. 9-106  
AURORA, IL 60006  
TEL: (630) 284-6483  
FAX: (630) 284-6483

**kamry**  
408 MEADOW RIDGE  
PROSPECT HEIGHTS, IL 60070  
TEL: (847) 670-7413  
FAX: (847) 670-7434  
WWW.KAMRYENG.COM

TNC PROJECT NO: 880-89  
DRAWN BY: VP  
CHECKED BY: FB

REV	DATE	DESCRIPTION
01	10/10/07	ISSUED FOR REVIEW
02	04/07/08	ISSUED FOR ZONING

DATE SIGNED: \_\_\_\_\_

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THEOSOPHICAL SOCIETY  
1926 N. MAIN ST.  
WHEATON, IL 60189  
RAWLAND

SITE PLAN

C1.3

THESE DRAWINGS ARE SCALED FOR 11x17 PAPER



1

## PROPERTY LAYOUT

SCALE: 1" = 200'-0"



**T-Mobile**  
 T-MOBILE USA, INC.  
 8550 W. BRYN MAWR AVE.  
 CHICAGO, IL 60631

**TNC**

2112 W. GALENA BLVD. STE. B-188  
 AURORA, IL 60009  
 TEL: (630) 284-6486  
 FAX: (630) 284-6486

**kamry**  
 2112 W. GALENA BLVD. STE. B-188  
 AURORA, IL 60009  
 TEL: (630) 284-6486  
 FAX: (630) 284-6486  
 WWW.KAMRY.COM

TNC PROJECT NO: 850-89

DRAWN BY: VP

CHECKED BY: FB

REV	DATE	DESCRIPTION
01	10-10-07	ISSUED FOR PERMIT
02	PENDING	ISSUED FOR CONSTRUCTION

DATE SIGNED: \_\_\_\_\_

THE DESIGN, ILLUSTRATIONS, AND INFORMATION CONTAINED IN THESE DOCUMENTS IS THE SOLE PROPERTY OF TRANSCEND-483 CORP. (TNC) AND IS PROVIDED ONLY FOR USE UNDER THE SPECIFIC ALIANCE PARTNERSHIP OBTAINED FOR THIS PROJECT. ALL OTHER USES OF THIS INFORMATION IS STRICTLY PROHIBITED WITHOUT THE WRITTEN PERMISSION OF TNC. © 2007 TRANSCEND-483 CORP.

CH83-218C  
 THEOSOPHICAL SOCIETY

1926 N. MAIN ST.  
 WHEATON, IL 60189

RAWLAND

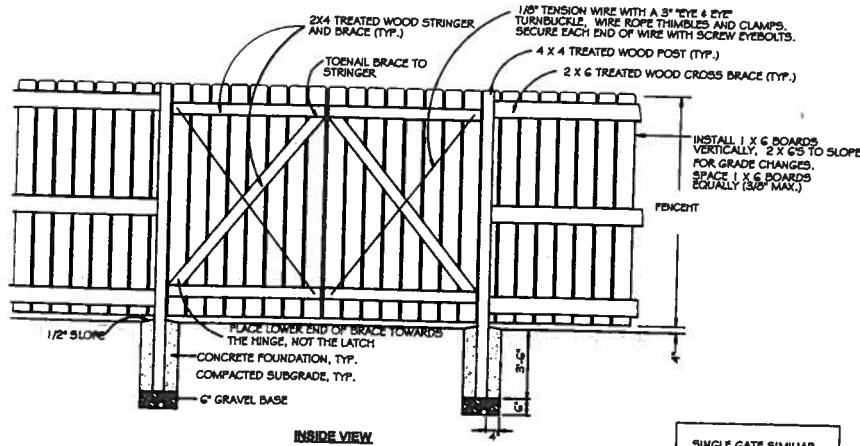
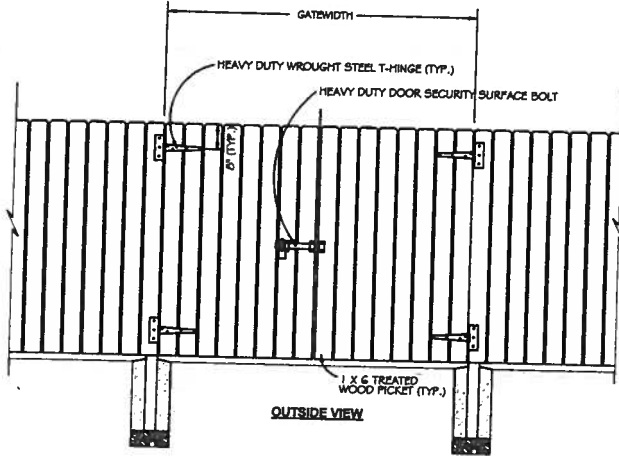
SITE PLAN

C1.4

THESE DRAWINGS ARE SCALED FOR 11x17 PAPER

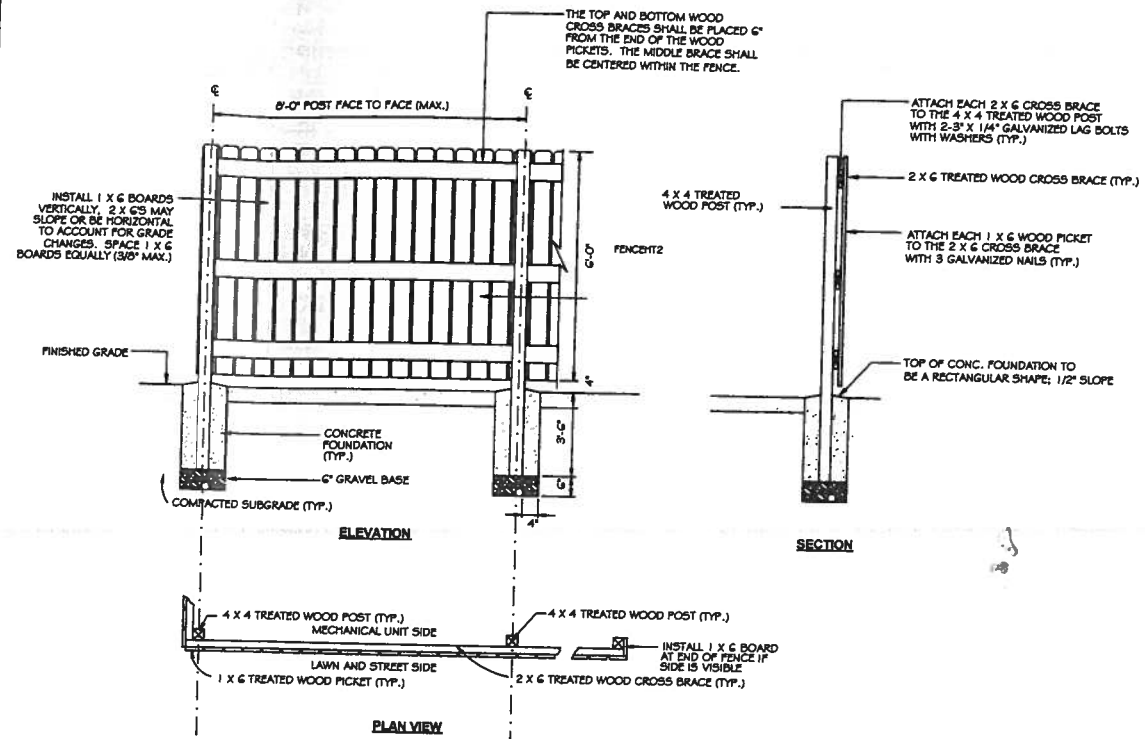


# 1 FENCE ELEVATION SCALE: NTS

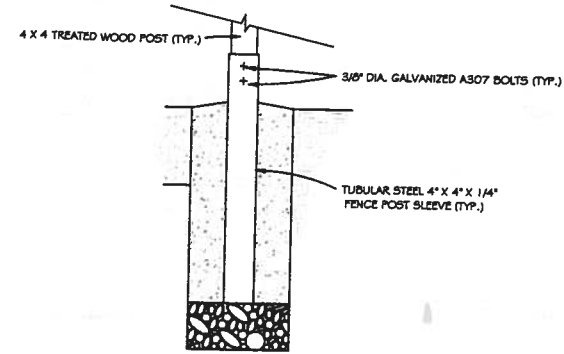


SINGLE GATE SIMILAR

# 2 FENCE SECTIONS SCALE: NTS



# 3 POST DETAIL SCALE: NTS



**T-Mobile**  
T-MOBILE USA, INC.  
8550 W. BRYN MAWR AVE.  
CHICAGO, IL 60631

**TNC**  
2112 W. GALENA BLVD. STE. 8-188  
AURORA, IL 60006  
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FAX. (630) 254-6485

**kamry**  
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PROSPECT HEIGHTS, IL 60070  
TEL. (847) 870-7413  
FAX. (847) 870-7434  
WWW.KAMRYENG.COM

TNC PROJECT NO: 860-89  
DRAWN BY: VP  
CHECKED BY: FB

REV	DATE	DESCRIPTION
01	10/10/07	ISSUED FOR REVIEW
02	04/07/08	ISSUED FOR ZONING

DATE SIGNED: \_\_\_\_\_

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1926 N. MAIN ST.  
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RAWLAND

FENCE DETAILS

C5.1

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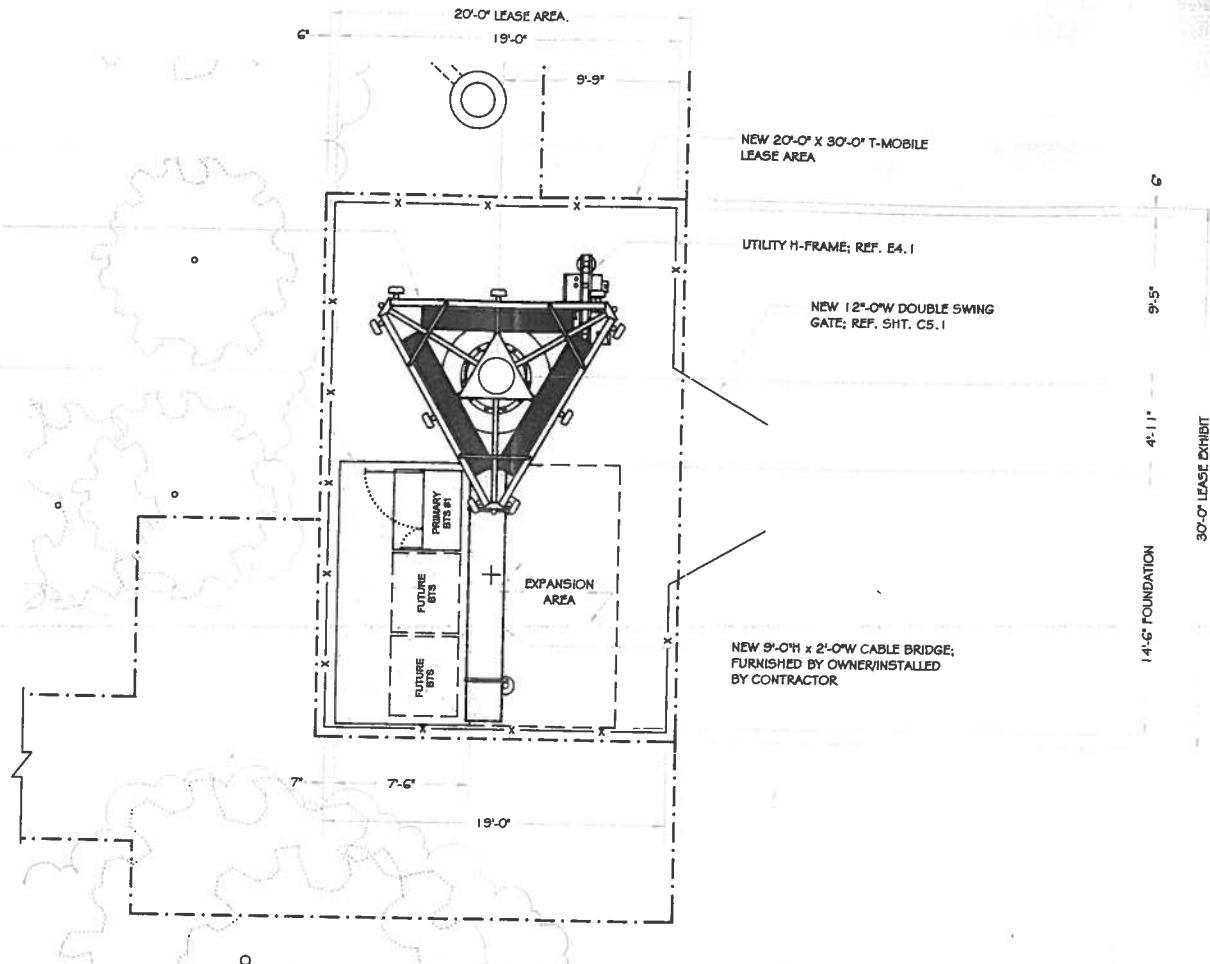
# LEGEND

- MANHOLE/VALVE VAULT
- CATCH BASIN
- CURB INLET
- VALVE (INDIVIDUAL SERVICE)
- ⊕ FIRE HYDRANT
- ⊗ STREET LIGHT/TIGHT POST
- ⊕ UTILITY/POWER POLE
- ⊕ GUY WIRE/ANCHOR
- TELEPHONE PEDESTAL
- ⊕ ELECTRIC METER
- ⊕ GAS METER
- ⊕ TRAFFIC SIGNAL
- ⊕ TRAFFIC SIGNAL BOX
- ⊕ SIGN
- ⊕ MAIL BOX
- ⊕ HANDHOLE
- DRAINPIPE
- ▽ FES (AT END OF PIPE)
- CHAIN LINK FENCE
- WOOD FENCE
- DEPRESSED CURB
- CONCRETE CURB & GUTTER
- SANITARY SEWER
- STORM SEWER
- WATER MAIN
- OVERHEAD ELECTRIC
- UNDERGROUND ELECTRIC
- OVERHEAD TELEPHONE
- UNDERGROUND TELEPHONE
- GAS LINE
- CABLE LINE
- BUSH/SHRUB
- TREE DECIDUOUS
- TREE NON-DECIDUOUS
- DRAINAGE ARROW
- CONTOUR LINE
- ⊕ SPOT ELEVATION
- T/F TOP OF FOUNDATION
- T/C TOP OF CONCRETE/CAISSON
- FF FINISHED FLOOR
- A.G.L. ABOVE GROUND LEVEL
- BOUNDARY LINE
- CONCRETE
- ASPHALT
- GRAVEL
- BRICK
- EXISTING BUILDING
- LEASE SITE
- ACCESS EASEMENT

1  
SCALE: 1" = 8'-0"

NEW 125'-0" MONOPOLE TOWER  
W/ PLATFORM AND ANTENNAS  
MOUNTED AT TOP; REF. MANF.  
DRAWINGS FOR INSTALLATION

NEW 7'-6" X 14'-6" CONCRETE  
FOUNDATION FOR (3) NEW  
T-MOBILE BTS GEAR; REF. S.I. 1



## CONSTRUCTION NOTES

1. ELEVATIONS ARE ABOVE MEAN SEA LEVEL UNLESS INDICATED OTHERWISE.
2. ALL EXISTING EASEMENTS, PROPERTY LINES, SECTION LINES AND ROADWAYS ARE INDICATED ON THIS DRAWING TO THE BEST OF THE ARCHITECT'S KNOWLEDGE AS GATHERED BY VISUAL INSPECTION, SURVEY DRAWINGS, AND INFORMATION RECEIVED FROM THE CARRIER.
4. ALL CONSTRUCTION SHALL CONFORM TO CURRENT LOCAL, STATE, AND FEDERAL CODES.
5. THE CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO PROTECT EXISTING STRUCTURES, HALLWAYS, WALLS, DOORS AND OTHER FACILITIES FROM UNNECESSARY EXPOSURE TO DAMAGE, AND DUST; ALL CARPET, TILE, OR OTHER FINISHED FLOOR TYPE SHALL BE PROTECTED WITH MASOHITE SHEETS SECURED TO FLOOR WITH TAPE DURING WORKING HOURS.
6. ALL CONSTRUCTION RELATED ACTIVITIES SHALL BE COORDINATED ACCORDING TO OWNER APPROVED TIME SCHEDULE.
7. IF BUILDING IS TENANT OCCUPIED, ALL ACTIVITIES CAUSING NOISE DISTURBANCES SUCH AS DRILLING, CORING, HAMMERING, AND CUTTING SHALL BE APPROVED BY OWNER IN ADVANCE.
8. THE CONTRACTOR SHALL LOCATE AND MARK ALL EXISTING COLUMNS, BEAMS, AND BEARING WALLS BELOW ROOF WHICH ARE RELATED TO DESIGN.
9. CONTRACTOR TO OBTAIN ORIGINAL BUILDING DRAWINGS AND VERIFY LOCATION AND EXISTENCE OF ALL STRUCTURAL COMPONENTS WITHIN BUILDING. ALL DISCREPANCIES BETWEEN ORIGINAL BUILDING DESIGN AND THIS DESIGN SHALL BE BROUGHT TO THE ATTENTION OF ENGINEER IN WRITING BEFORE COMMENCEMENT OF WORK.

10. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE SAFETY AND IF NECESSARY THE REPAIR OF ALL EXISTING BUILDING SYSTEMS.
11. DO NOT INTERRUPT SERVICES TO ANY ADJACENT STRUCTURES OR FACILITIES WITHOUT WRITTEN PERMISSION FROM THE PROPERTY OWNER.
12. CONTRACTOR SHALL NOT LEAVE ANY DEBRIS, TOOLS, OR LOOSE CONSTRUCTION MATERIAL ON ROOF DURING NON-WORKING HOURS.
13. COMMENCEMENT OF CONSTRUCTION SHALL BEGIN ONLY WITH THE WRITTEN APPROVAL OF THE OWNER OR OWNER'S REPRESENTATIVE; ALL CONSTRUCTION AND MATERIAL ORDERING SHALL BE DONE WITH DRAWINGS LABELED 'ISSUED FOR CONSTRUCTION'.
14. NO DUMPING OF CONSTRUCTION RELATED MATERIALS IN OWNER WASTE RECEPTILES; ALL MATERIAL MUST BE HAULED OFF SITE.
15. ACCESS BY OTHERS TO ANY FACILITY ON SITE CAN NOT BE BLOCKED AT ANYTIME.
16. ALL SAFETY HAZARDS MUST BE MARKED WITH WARNING TAPE OR SAFETY FENCE.
17. PROPER SIGNAGE MUST BE POSTED AT ACCESS OF COMPOUND PER OSHA SPEC.
18. ANY ACCIDENTS ON SITE MUST BE REPORTED TO CONTRACT OWNER WITHIN 2 HOURS OF EVENT.
19. GC'S ARE NOT TO CONTACT PROPERTY OWNERS. ALL MATTERS MUST BE REPORTED TO PROJECT MANAGER.

**T-Mobile**  
T-MOBILE USA, INC.  
8550 W. BRYN MAWR AVE.  
CHICAGO, IL 60631

**TNC**  
2112 W. GALENA BLVD. STE. 9-106  
AURORA, IL 60004  
TEL: (834) 254-8485  
FAX: (834) 254-8485

**kamry**  
408 MEADOW RIDGE  
PROSPECT HEIGHTS, IL 60070  
TEL: (847) 676-7413  
FAX: (847) 676-7434  
WWW.KAMRYENG.COM

TNC PROJECT NO: 850-S9  
DRAWN BY: VP  
CHECKED BY: FB

REV	DATE	DESCRIPTION
01	10/10/07	ISSUED FOR PERMIT
02	PENDING	ISSUED FOR CONSTRUCTION

DATE SIGNED: \_\_\_\_\_

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CH53-218C  
THEOSOPHICAL SOCIETY

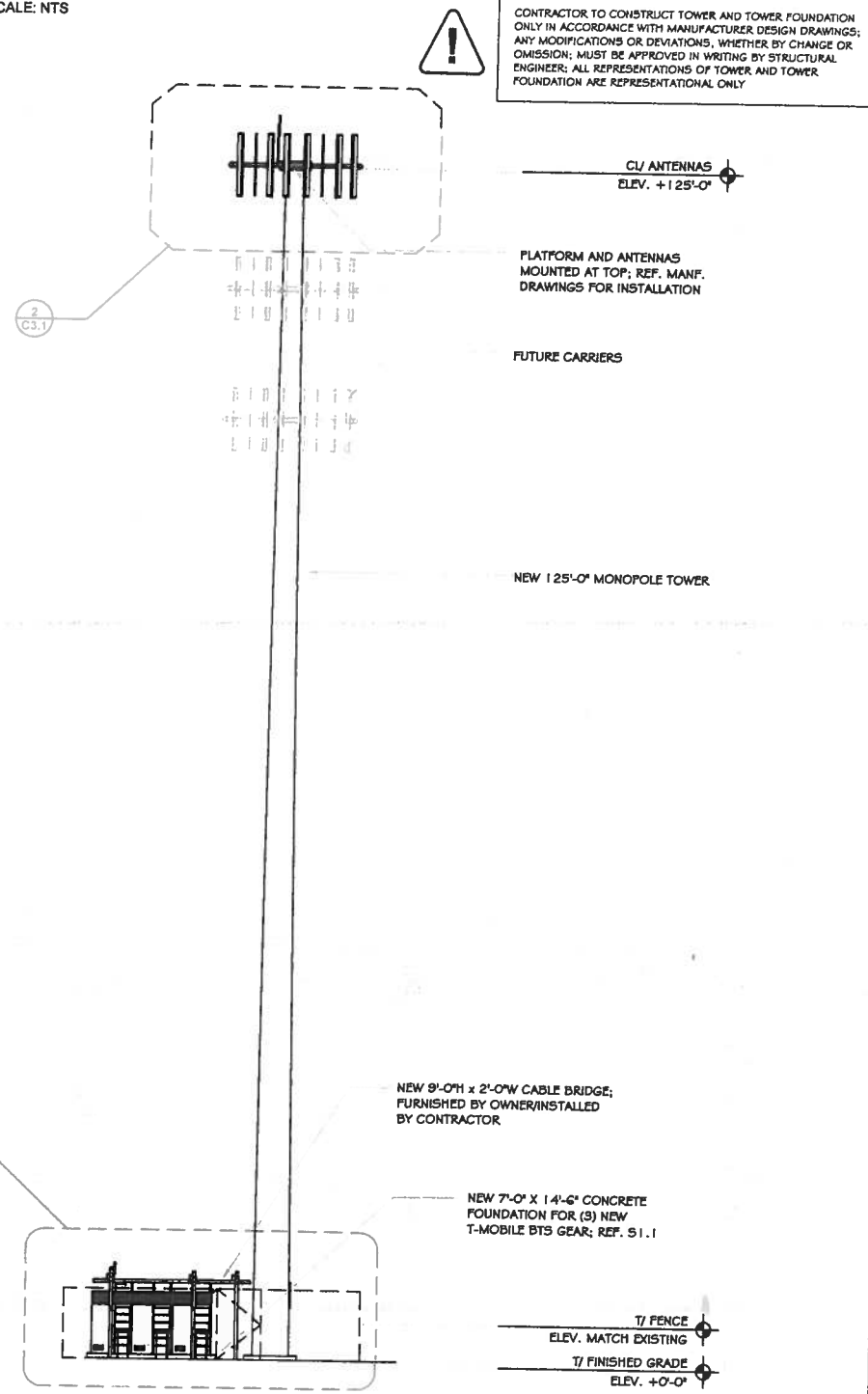
1926 N. MAIN ST.  
WHEATON, IL 60189  
RAWLAND

ENLARGED SITE PLAN

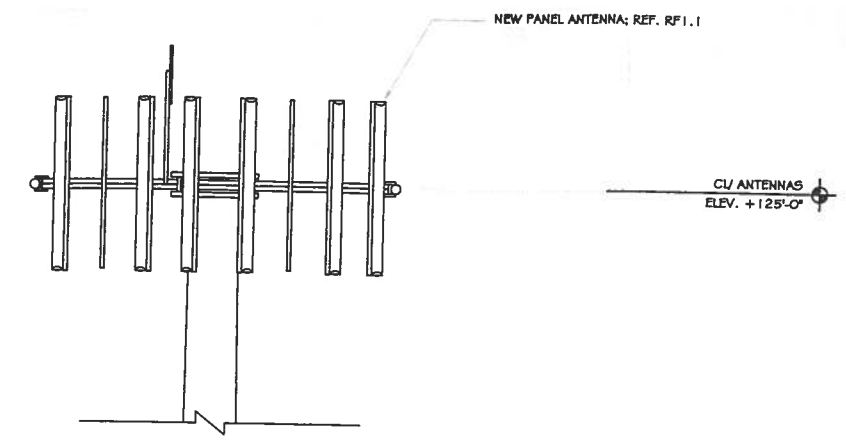
C2.1

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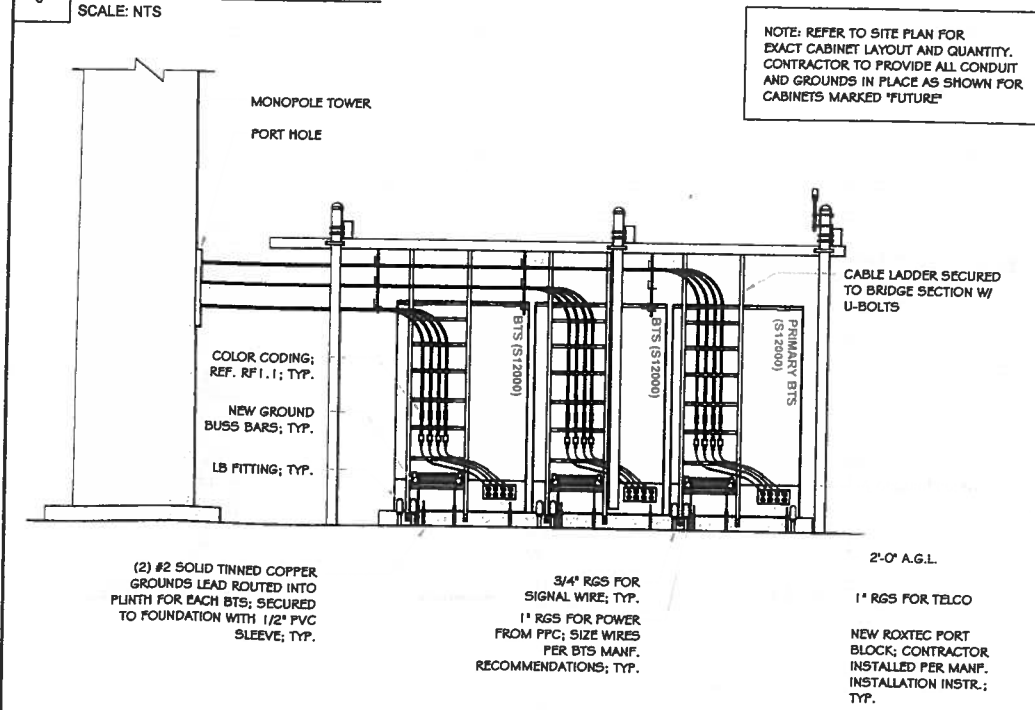
1  
SCALE: NTS



2  
ENLARGED ELEVATION  
SCALE: NTS



3  
ENLARGED ELEVATION  
SCALE: NTS



**T-Mobile**  
T-MOBILE USA, INC.  
8550 W. BRYN MAWR AVE.  
CHICAGO, IL 60631

**TNC**  
2112 W. GALENA BLVD. STE. 8-108  
AURORA, IL 60006  
TEL. (838) 254-8486  
FAX. (838) 254-8486

**kamry**  
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PROSPECT HEIGHTS, IL 60070  
TEL. (847) 470-7413  
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01	10/10/07	ISSUED FOR PERMIT
02	PENDING	ISSUED FOR CONSTRUCTION

DATE SIGNED: \_\_\_\_\_

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**CH53-218C**  
**THEOSOPHICAL SOCIETY**  
1926 N. MAIN ST.  
WHEATON, IL 60189  
RAWLAND

**ELEVATIONS**

**C3.1**  
THESE DRAWINGS ARE SCALED FOR 11x17 PAPER



3/4" X 3/8" PRINT IS THE FULL SCALE FORMAT.  
ANY OTHER SIZE IS NOT TO SCALE.

**BASIS OF BEARING**

BEARINGS SHOWN HEREON ARE AS SHOWN

MEAN MAGNETIC DECLINATION  
OBTAINED FROM U.S.G.S.  
1:16 MINUTE SERIES MAP  
WHEATON QUADRANGLE  
STATE OF ILLINOIS

LATITUDE N 41° 13' 15" E  
LONGITUDE W 88° 05' 00" W  
COMPLIES WITH F.A.A. 501 ACCURACY REQUIREMENTS

UTM GRID AND 1983  
MAGNETIC NORTH  
DECLINATION AT  
CENTER OF QUAD MAP

GRAPHIC SCALE  
1 INCH = 40 FEET

**LEGEND**

●	MANHOLE	○	FOUND IRON PIPE
○	CATCH BASIN	○	SET IRON PIPE
○	WATER VALVE	○	FOUND IRON ROD
○	GAS VALVE	○	SET IRON ROD
○	FIRE HYDRANT	○	FOUND CUT CROSS
○	UTILITY POLE	○	SET CUT CROSS
○	OVER HEAD WIRE	○	FOUND CONCRETE
○	GUY WIREANCHOR	○	SET CONCRETE
○	TELEPHONE BOX	○	FOUND T.J.C. NAIL
○	ELECTRIC METER	○	SET T.J.C. NAIL
○	GAS METER	○	MEASURED
○	TRAFFIC SIGNAL	○	RECORDED
○	TRAFFIC SIGNAL BOX	○	SECTION LINE
○	LIGHT POST	○	DOCUMENT NO.
○	SHAW	○	T/C TOP OF CURB
○	HAND HOLE	○	T/P TOP OF FOUNDATION
○	MAIL BOX	○	P/F FINISHED FLOOR
○	FENCE	○	F.O.C. POINT OF BEGINNING
○	DEPRESSED CURB	○	F.O.B. POINT OF BEGINNING
○	BUSH/SHRUB	○	A.G.L. ABOVE GROUND LEVEL
○	TREE DECIDUOUS	○	B.L.D.G. BUILDING
○	TREE NON-DECIDUOUS	○	ACCESS AND UTILITY EASEMENT
○	CONCRETE	○	LEASE SITE
○	BUILDING	○	UTILITY EASEMENT
○	ASPHALT	○	

PREPARED BY:

**ASV**

Advanced Surveying & Mapping

PO Box 7  
Plano, IL 60545  
Telephone (800) 279-2500  
Fax (800) 279-2800  
E-MAIL: asmo@asv.com



**NOT TO SCALE**

**SITE IDENTIFICATION INFORMATION**

**THEOSOPHICAL SOCIETY**  
CHS3-218C  
1828 N. MAIN STREET  
WHEATON, IL 60189

DATE	REVISIONS / UPDATES
3/18/2008	FIELD SURVEY COMPLETED
4/10/2008	FINAL SURVEY COMPLETED

PROPOSED FOR:

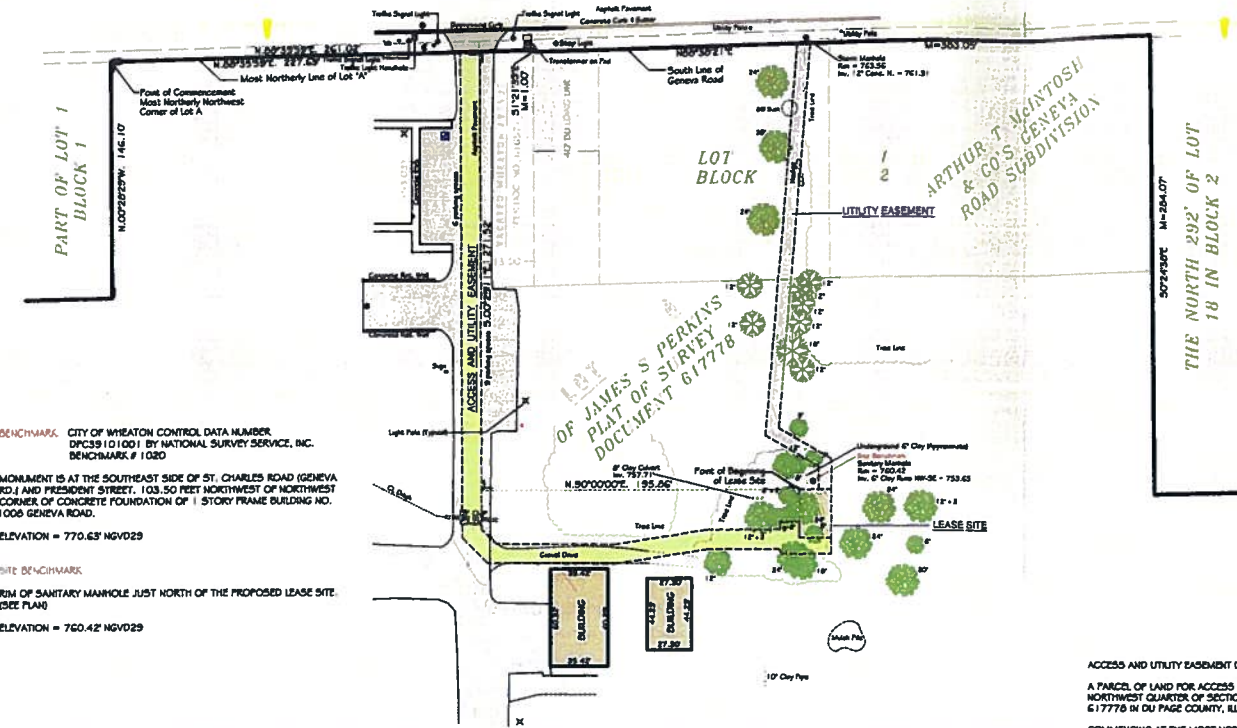
**TNC**  
2210 MIDWEST RD. STE 213  
OAK BROOK, IL 60052

**T-Mobile USA, Inc.**  
8800 W. Bryn Mawr Ave.  
Suite 100  
Chicago, IL 60631  
(773) 444-0400

DRAWN BY: DL DATE OF DRAWING: 4/10/2008  
CHECKED BY: 1049 PROJECT NO.: 711038A

**PLAT OF SURVEY  
OF LEASE SITE & EASEMENTS**

**Geneva Road**



**BENCHMARK** CITY OF WHEATON CONTROL DATA NUMBER  
DPC39101001 BY NATIONAL SURVEY SERVICE, INC.  
BENCHMARK # 1020

MONUMENT IS AT THE SOUTHEAST SIDE OF ST. CHARLES ROAD (GENEVA RD.) AND PRESIDENT STREET. 103.50 FEET NORTHWEST OF NORTHWEST CORNER OF CONCRETE FOUNDATION OF 1 STORY FRAME BUILDING NO. 1008 GENEVA ROAD.

ELEVATION = 770.63' NGVD29

**SITE BENCHMARK**

RIM OF SANITARY MANHOLE JUST NORTH OF THE PROPOSED LEASE SITE.  
(SEE PLAN)

ELEVATION = 760.42' NGVD29

**LEASE SITE DESCRIPTION:**

A PARCEL OF LAND FOR LEASE SITE PURPOSES BEING A PART OF LOT 'A' OF JAMES S PERKINS PLAT OF SURVEY OF PART OF THE NORTHWEST QUARTER OF SECTION 9, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, RECORDED AS DOCUMENT NUMBER 617776 IN DU PAGE COUNTY, ILLINOIS, FURTHER DESCRIBED AS FOLLOWS:

COMMENCING AT THE MOST NORTHERLY NORTHWEST CORNER OF SAID LOT 'A'; THENCE NORTH 88 DEGREES 35 MINUTES 39 SECONDS EAST ALONG THE MOST NORTHERLY LINE OF SAID LOT 'A'; 227.68 FEET; THENCE SOUTH 00 DEGREES 25 MINUTES 11 SECONDS EAST; 271.58 FEET; THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS EAST; 195.86 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 90 DEGREES 00 MINUTES 00 SECONDS EAST; 80.00 FEET; THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS WEST; 30.00 FEET; THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST; 30.00 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINING 600 SQUARE FEET.

**UTILITY EASEMENT DESCRIPTION:**

A PARCEL OF LAND FOR UTILITY EASEMENT PURPOSES BEING A PART OF LOT 'A' OF JAMES S PERKINS PLAT OF SURVEY OF PART OF THE NORTHWEST QUARTER OF SECTION 9, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, RECORDED AS DOCUMENT NUMBER 617776 IN DU PAGE COUNTY, ILLINOIS, FURTHER DESCRIBED AS FOLLOWS:

COMMENCING AT THE MOST NORTHERLY NORTHWEST CORNER OF SAID LOT 'A'; THENCE NORTH 88 DEGREES 35 MINUTES 39 SECONDS EAST ALONG THE MOST NORTHERLY LINE OF SAID LOT 'A'; 227.68 FEET; THENCE SOUTH 00 DEGREES 25 MINUTES 11 SECONDS EAST; 271.58 FEET; THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS EAST; 195.86 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 90 DEGREES 00 MINUTES 00 SECONDS EAST; 80.00 FEET; THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS WEST; 30.00 FEET; THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST; 30.00 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINING 2,363 SQUARE FEET.

**ACCESS AND UTILITY EASEMENT DESCRIPTION:**

A PARCEL OF LAND FOR ACCESS AND UTILITY EASEMENT PURPOSES BEING A PART OF LOT 'A' OF JAMES S PERKINS PLAT OF SURVEY OF PART OF THE NORTHWEST QUARTER OF SECTION 9, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, RECORDED AS DOCUMENT NUMBER 617776 IN DU PAGE COUNTY, ILLINOIS, FURTHER DESCRIBED AS FOLLOWS:

COMMENCING AT THE MOST NORTHERLY NORTHWEST CORNER OF SAID LOT 'A'; THENCE NORTH 88 DEGREES 35 MINUTES 39 SECONDS EAST ALONG THE MOST NORTHERLY LINE OF SAID LOT 'A'; 215.69 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 88 DEGREES 35 MINUTES 39 SECONDS EAST ALONG SAID NORTHERLY LINE; 12.00 FEET; THENCE SOUTH 00 DEGREES 25 MINUTES 11 SECONDS EAST; 295.69 FEET; THENCE SOUTH 44 DEGREES 36 MINUTES 30 SECONDS EAST; 12.44 FEET; THENCE SOUTH 88 DEGREES 37 MINUTES 41 SECONDS EAST; 72.27 FEET; THENCE NORTH 01 DEGREES 06 MINUTES 47 SECONDS EAST; 37.60 FEET; THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS EAST; 45.77 FEET; THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS WEST; 4.81 FEET; THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS EAST; 12.00 FEET; THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS WEST; 10.00 FEET; THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS EAST; 80.00 FEET; THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS WEST; 10.00 FEET; THENCE SOUTH 90 DEGREES 00 MINUTES 00 SECONDS WEST; 30.00 FEET; THENCE NORTH 45 DEGREES 00 MINUTES 00 SECONDS WEST; 4.51 FEET; THENCE SOUTH 90 DEGREES 00 MINUTES 00 SECONDS WEST; 43.64 FEET; THENCE SOUTH 01 DEGREES 06 MINUTES 47 SECONDS WEST; 37.66 FEET; THENCE NORTH 88 DEGREES 37 MINUTES 41 SECONDS WEST; 70.21 FEET; THENCE NORTH 44 DEGREES 36 MINUTES 30 SECONDS WEST; 22.27 FEET; THENCE NORTH 00 DEGREES 25 MINUTES 11 SECONDS WEST; 300.35 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINING 6,362 SQUARE FEET.

**ACCESS AND UTILITY EASEMENTS DETAIL**

Scale: 1 inch = 40 Feet

**LEASE SITE DETAIL**

Scale: 1 inch = 40 Feet

**SURVEY NOTES**

THE SURVEYOR EXPRESSES NO OPINION AS TO THE ACCURACY OF THE UNDERGROUND UTILITIES WHEN NOT READILY VISIBLE FROM THE SURFACE. IT IS RECOMMENDED THAT THE APPROPRIATE GOVERNMENTAL AGENCY, MUNICIPALITY AND / OR UTILITY COMPANY BE CONTACTED FOR VERIFICATION.

THE PERMANENT PARCEL INDEX NUMBER FOR THE PROPERTY ENCLUMBERED BY THE LEASE SITE AND EASEMENTS HEREON 05-09-101-004.

A CURRENT TITLE REPORT WAS NOT FURNISHED TO US FOR OUR USE IN PREPARING THIS SURVEY. THEREFORE THERE MAY BE ADDITIONAL EASEMENTS AND/OR SERVITUDES AFFECTING THIS PROPERTY WHICH ARE NOT SHOWN ON THIS SURVEY.

THE FLOOD INSURANCE RATE MAP (FIRM) SHOWS THE PROPERTY ENCLUMBERED BY THE LEASE SITE AND EASEMENTS HEREON FALLING WITHIN ZONE 'C', ACCORDING TO COMMUNITY PANEL NO. 170281 0005 B, CITY OF WHEATON, WITH AN EFFECTIVE DATE OF JUNE 15, 1979, AND COMMUNITY PANEL NO. 170187 0025 B, COUNTY OF DU PAGE UNINCORPORATED AREAS, WITH AN EFFECTIVE DATE OF APRIL 15, 1982. ZONES 'C' ARE AREAS OF MINIMAL FLOODING.

STATE OF ILLINOIS } ss  
COUNTY OF KENDALL }

I, KEITH W. STODDARD, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON, BEING COMPLETED IN THE FIELD ON 3/18/2008, IS A CORRECT REPRESENTATION OF A SURVEY PERFORMED AT AND UNDER MY DIRECTION.

THIS SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS FOR LAND BOUNDARY SURVEYS SET FORTH BY ILLINOIS STATE LAW.

ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF.

GIVEN UNDER MY HAND AND SEAL THIS 10th DAY OF APRIL, A.D. 2008.

*Keith W. Stoddard*

KEITH W. STODDARD  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3122  
LICENSE EXPIRES 1/15/2008

