

FRED BUCHOLZ
DUPAGE COUNTY RECORDER
JUN.24,2008 12:02 PM
OTHER 05-09-101-004
004 PAGES R2008-101049

CITY OF WHEATON, ILLINOIS

F- 1359

**AN ORDINANCE AMENDING THE WHEATON ZONING MAP BY GRANTING
A SPECIAL USE PERMIT FOR THE CONSTRUCTION, ERECTION AND USE
OF A PERSONAL WIRELESS COMMUNICATION FACILITY-306 W. GENEVA
ROAD/THEOSOPHICAL SOCIETY (T-MOBILE)**

I HEREBY CERTIFY that I am the City Clerk of the City of Wheaton, DuPage County, Illinois, and that, as such City Clerk, I have the custody of the papers, entries, records and ordinances of said City.

I FURTHER CERTIFY that the attached is a true and correct copy of City of Wheaton Ordinance F- 1359 which was adopted by the Wheaton City Council on Monday June 16th, 2008.

I have hereunto set my hand and affixed the seal of said City this 17th, day of June, 2008.

Emily M. Consolazio
City Clerk

REPAARED BY/RETURN TO)
Emily Consolazio, City Clerk
City of Wheaton
303 W. Wesley Street
Wheaton, IL 60187

ORDINANCE NO. F-1359

AN ORDINANCE AMENDING THE WHEATON ZONING MAP BY GRANTING A SPECIAL USE PERMIT FOR THE CONSTRUCTION, ERECTION AND USE OF A PERSONAL WIRELESS COMMUNICATIONS FACILITY-306 WEST GENEVA ROAD, THEOSOPHICAL SOCIETY

WHEREAS, written application has been made to amend the Zoning Map, which is attached to and forms a part of, the Zoning Ordinance of Wheaton, Illinois, by the issuance of a special use permit to allow for the construction, erection and use of a personal wireless communications facility (also known as a "monopole") on the property legally described herein within the city limits of Wheaton, Illinois, and commonly located on the southwest corner of Geneva Road and Main Street and commonly known as 306 West Geneva Road; and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, public hearings were conducted by the Wheaton Planning and Zoning Board on February 26, 2008 and May 13, 2008 to consider the issuance of the special use permit; and the Board has recommended the issuance of the special use permit;

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: The following described property has been and continues to be zoned and classified in the I-1 Institutional District Zoning classification:

PARCEL 1

LOT FOUR (4) IN BLOCK ONE (1) IN ARTHUR T. MCINTOSH & CO.'S GENEVA ROAD SUBDIVISION IN THE NORTHWEST QUARTER (NW1/4) OF SECTION NINE (9) TOWNSHIP THIRTY-NINE (39) NORTH, RANGE TEN (10) EAST OF THE THIRD PRINCIPAL MERIDIAN, DUPAGE COUNTY, ILLINOIS.

AND BEING THE SAME PROPERTY CONVEYED TO AMERICAN THEOSOPHICAL SOCIETY FROM CLIFTON D. BENSON BY WARRANTY DEED DATED NOVEMBER 30, 1925, AND RECORDED DECEMBER 23, 1925 IN INSTRUMENT NO. 217330.

PARCEL 2

LOTS TWO (2) AND THREE (3) IN BLOCK ONE (1) IN ARTHUR T. MCINTOSH & CO.'S GENEVA ROAD SUBDIVISION IN THE NORTHWEST QUARTER (NW1/4) OF SECTION NINE (9) TOWNSHIP THIRTY-NINE (39) NORTH, RANGE TEN (10) EAST OF THE THIRD PRINCIPAL MERIDIAN, DUPAGE COUNTY, ILLINOIS.

AND BEING THE SAME PROPERTY CONVEYED TO THE AMERICAN THEOSOPHICAL SOCIETY FROM CHARLES WESCHOKE AND HARRIET M. WESCHOKE BY DEED OF CONVEYANCE DATED APRIL 12, 1997, AND RECORDED MAY 10, 1927 IN INSTRUMENT NO. 23538.

PARCEL 3

LOT ONE (1) (EXCEPT THE WEST THREE HUNDRED (300) FEET) AND (EXCEPT THE NORTH SEVEN (7) FEET) IN BLOCK ONE (1) IN ARTHUR T. MCINTOSH & CO.'S GENEVA ROAD SUBDIVISION IN THE NORTHWEST QUARTER (NW1/4) OF SECTION NINE (9) TOWNSHIP THIRTY-NINE (39) NORTH, RANGE TEN (10), EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED ON JUNE 26, 1924, AS DOCUMENT 179449 IN DUPAGE COUNTY, ILLINOIS.

AND BEING THE SAME PROPERTY CONVEYED TO THE THEOSOPHICAL SOCIETY OF AMERICA FROM ALICE TAYLOR BY WARRANTY DEED DATED AUGUST 18, 1949, AND RECORDED AUGUST 30, 1949 IN INSTRUMENT NO. 574676.

P.I.N. 05-09-101-004

AKA as 1926 N main st. Wheaton, IL 60187

This property is commonly located on The Theosophical Society of America, 306 West Geneva Road, Wheaton, IL;

Section 2: Pursuant to the Findings of Fact made and determined by the Planning and Zoning Board, a special use permit is hereby issued to allow for the construction, erection and use of a personal wireless communications facility (also known as a monopole) on the subject property in full compliance with the plans prepared by TNC, Aurora, IL, dated April 7, 2008 entitled "Theosophical Society Site Plan, Sheets C1.1-C1.4, C2.1; Theosophical Society Fence Details, Sheet C5.1; Theosophical Society Elevations, Sheet C3.1, and in further compliance with the following conditions, restrictions, and requirements:

1. The owner of the subject property and any and all lessees of the subject property, including but not limited to T-Mobile, its successors, assigns and grantees, shall comply with all of the provisions of Article 26.5.1 of the Wheaton Zoning Ordinance; and
2. The owner and lessee, if any, of the subject property shall appropriately test the operation of the personal wireless facility, *annually*, in order to verify that the facility is operating in full compliance with the Federal Communication Commission (FCC) requirements for this type of personal wireless communication facility. The testing shall be performed and reported, in writing, by a licensed professional engineer. The owner and lessee, if any, of the subject property shall deliver and file a copy of the testing report to the City Clerk of the City of Wheaton, annually, prior to the anniversary date of this Ordinance.

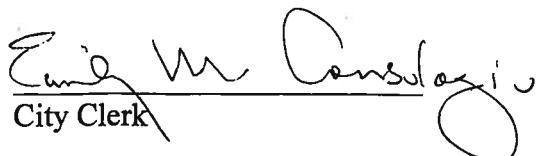
Section 3: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 4: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.



Michael J. Gross
Mayor

ATTEST:



Emily M. Consalvo
City Clerk

ROLL CALL VOTE:

Ayes: Councilman Prendiville
Councilman Johnson
Councilman Levine
Mayor Gresk
Councilman Mouhelis

Nays: None

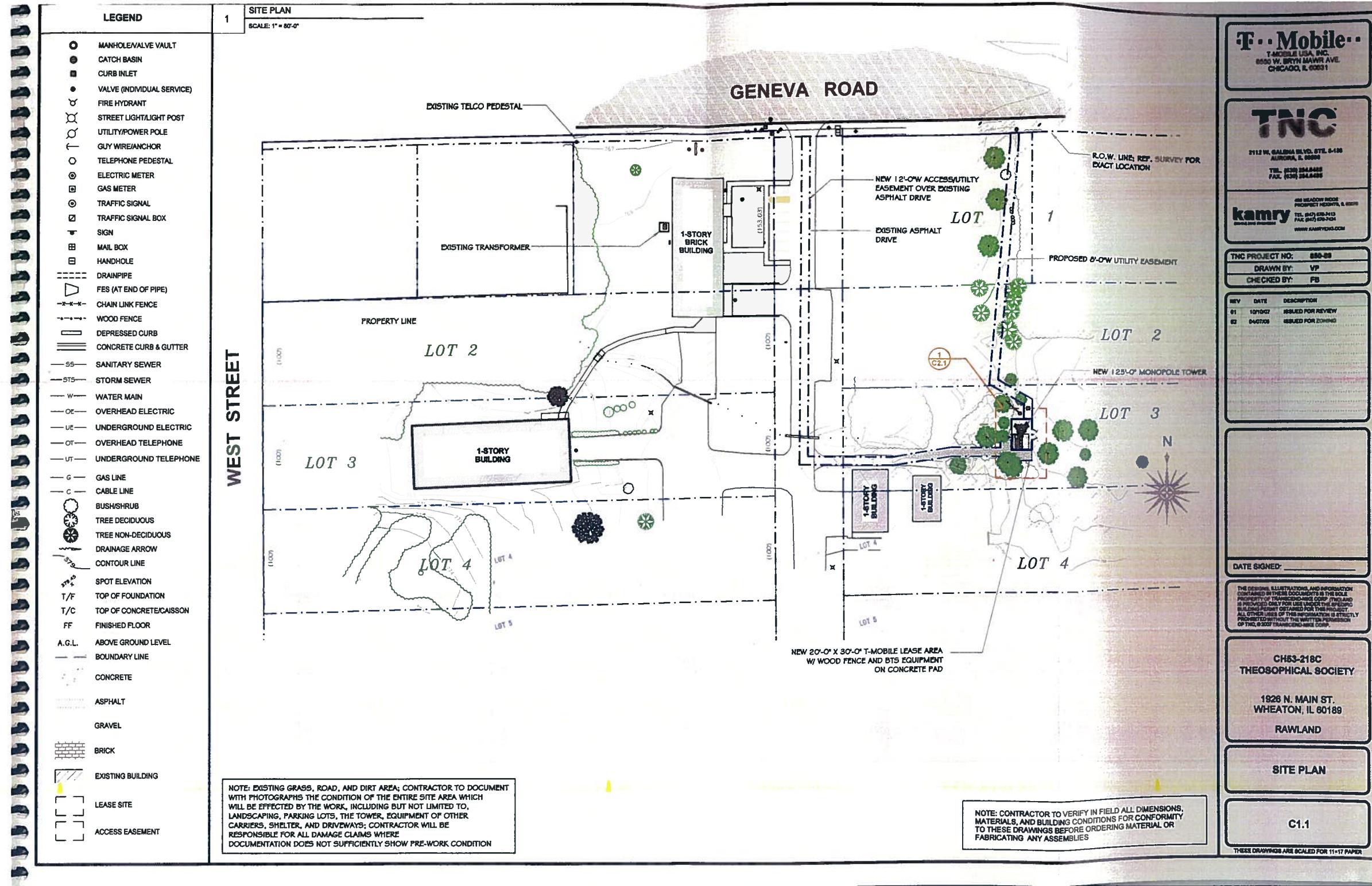
Absent: Councilwoman Corry
Councilman Suess

Motion Carried Unanimously

Passed: June 16, 2008
Published: June 17, 2008

(

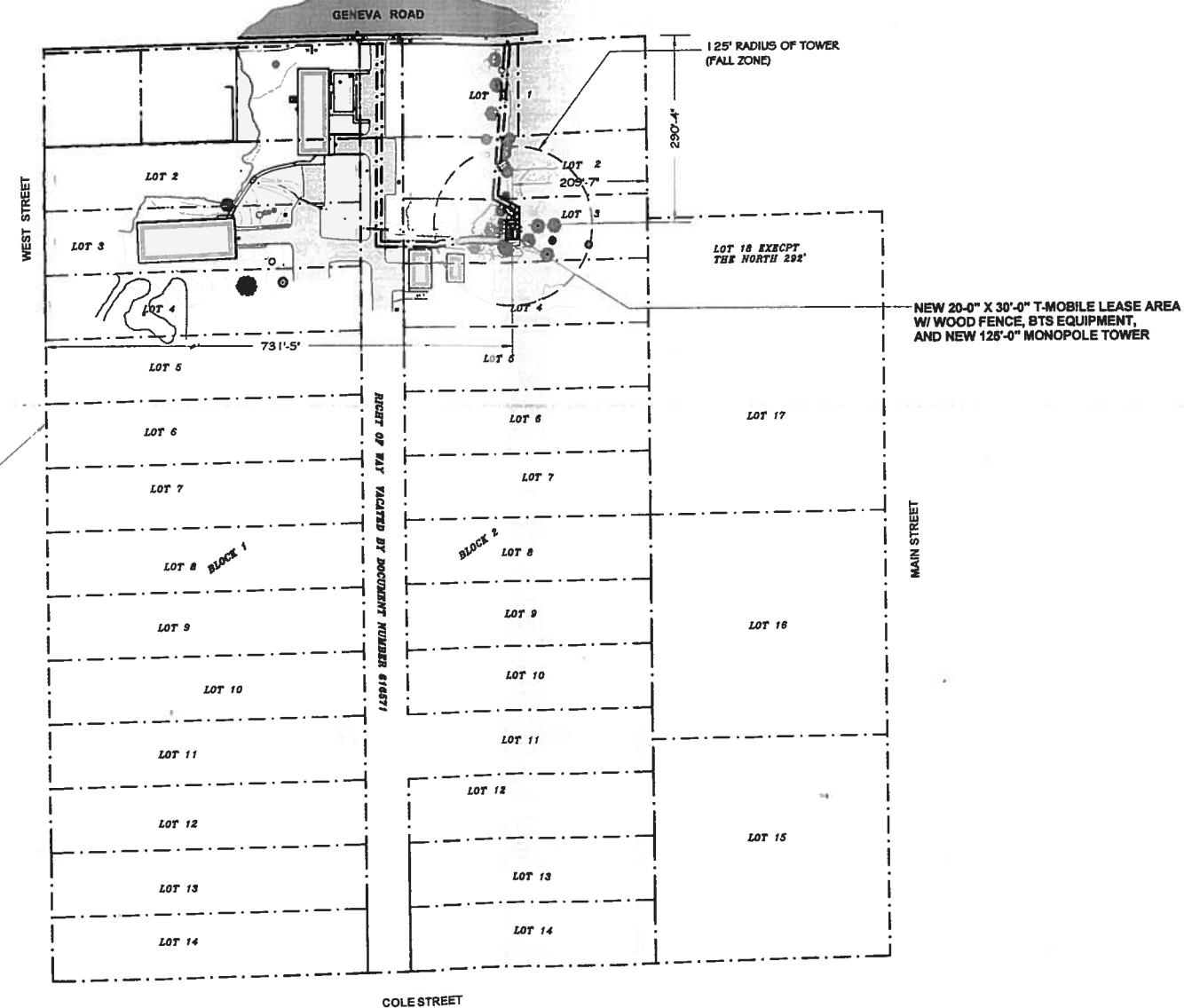
June 17, 2008



PROPERTY LAYOUT
1

SCALE: 1" = 200'-0"

THEOSOPHICAL SOCIETY PROPERTY LINE



T-Mobile
T-MOBILE USA, INC.
8550 W. BRYN MAWR AVE.
CHICAGO, IL 60631

TNC

2112 W. GALENA BLVD. STE. B-100
AURORA, IL 60005
TEL. (847) 254-6455
FAX. (847) 254-6456

kamry
CONSULTING ENGINEERS
408 MEADOW RIDGE
PROSPECT HEIGHTS, IL 60070
TEL. (847) 875-7413
FAX. (847) 875-7424
WWW.KAMRYENG.COM

TNC PROJECT NO: 850-89
DRAWN BY: VP
CHECKED BY: FB

REV DATE DESCRIPTION
01 10/10/07 ISSUED FOR REVIEW
02 04/07/08 ISSUED FOR ZONING

DATE SIGNED: _____

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CH53-218C
THEOSOPHICAL SOCIETY

1926 N. MAIN ST.
WHEATON, IL 60189
RAWLAND

SITE PLAN

C1.2

THESE DRAWINGS ARE SCALED FOR 11x17 PAPER

1 PROPERTY LAYOUT
SCALE: 1" = 200'-0"



T-Mobile
T-MOBILE USA, INC.
8550 W. BRYN MAWR AVE.
CHICAGO, IL 60631

TNC

2112 W. GALENA BLVD. STE. B-106
AURORA, IL 60506
TEL: (830) 384-5485
FAX: (830) 384-5485

kamry
408 MEADOW RIDGE
PROSPECT HEIGHTS, IL 60070
TEL: (847) 925-2113
FAX: (847) 925-2142
CONSULTING ENGINEERS
WWW.KAMRYENG.COM

TNC PROJECT NO: 850-89
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1926 N. MAIN ST.
WHEATON, IL 60189
RAWLAND

SITE PLAN

C1.3

THESE DRAWINGS ARE SCALED FOR 11x17 PAPER

1 PROPERTY LAYOUT
SCALE: 1" = 200'-0"



T-Mobile
T-MOBILE USA, INC.
8550 W. BRYN MAWR AVE.
CHICAGO, IL 60631

TNC

2112 W. GALENA BLVD. STE. B-100
AURORA, IL 60006
TEL: (330) 264-6488
FAX: (330) 264-6488

kamry
351 N. BROWN BLDG.
PROOF ECT INC., SUITE 5, 8000 S.
TEL: (800) 659-1412
FAX: (800) 659-1412
WWW.KAMRYUS.COM

TNC PROJECT NO: 850-89
DRAWN BY: VP
CHECKED BY: FB

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02	PENDING	ISSUED FOR CONSTRUCTION

DATE SIGNED: _____

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THEOSOPHICAL SOCIETY

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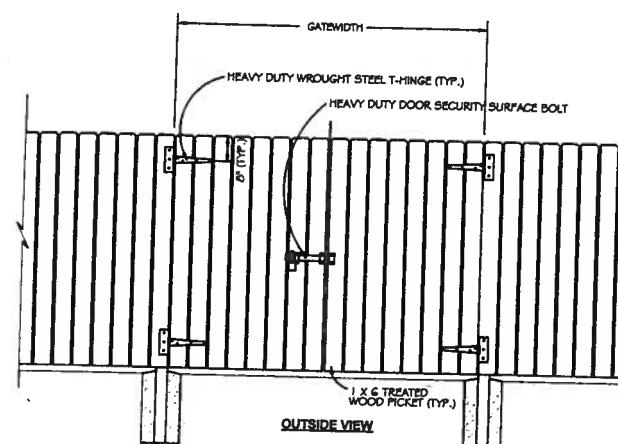
SITE PLAN

C1.4

THESE DRAWINGS ARE SCALED FOR 11x17 PAPER

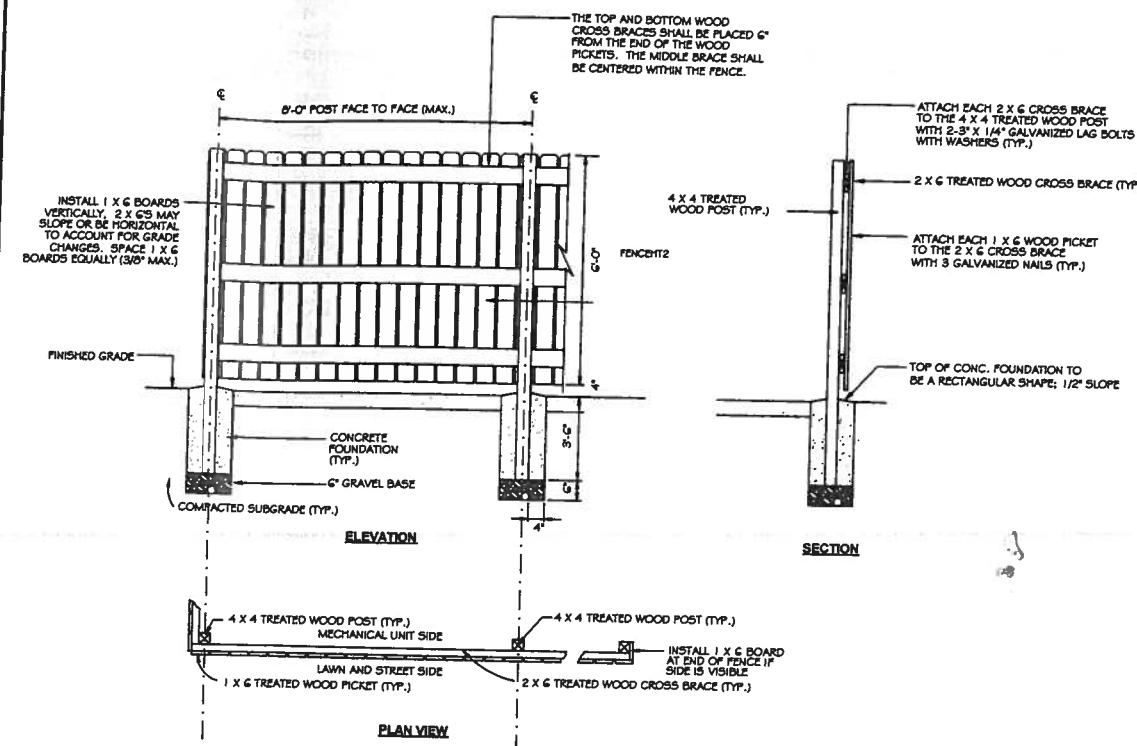
1 FENCE ELEVATION

SCALE: NTS



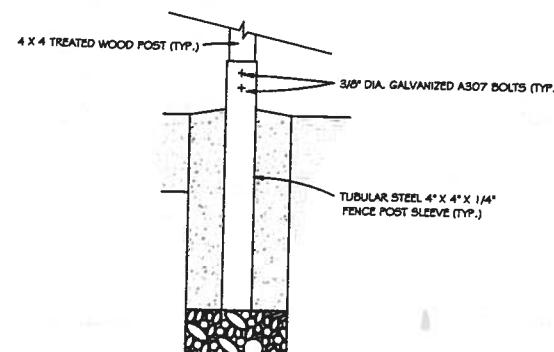
2 FENCE SECTIONS

SCALE: NTS



3 POST DETAIL

SCALE: NTS



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CHICAGO, IL 60631

TNC

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FAX: (330) 254-4285

403 MEADOW RIDGE
CONSTRUCTION
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PROSPECT HEIGHTS, IL 60070
TEL: (847) 670-7612
FAX: (847) 670-7634
WWW.KAMRYTECH.COM

TNC PROJECT NO: 860-99

DRAWN BY: VP
CHECKED BY: FB

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THEOSOPHICAL SOCIETY

1926 N. MAIN ST.
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RAWLAND

FENCE DETAILS

C5.1

LEGEND

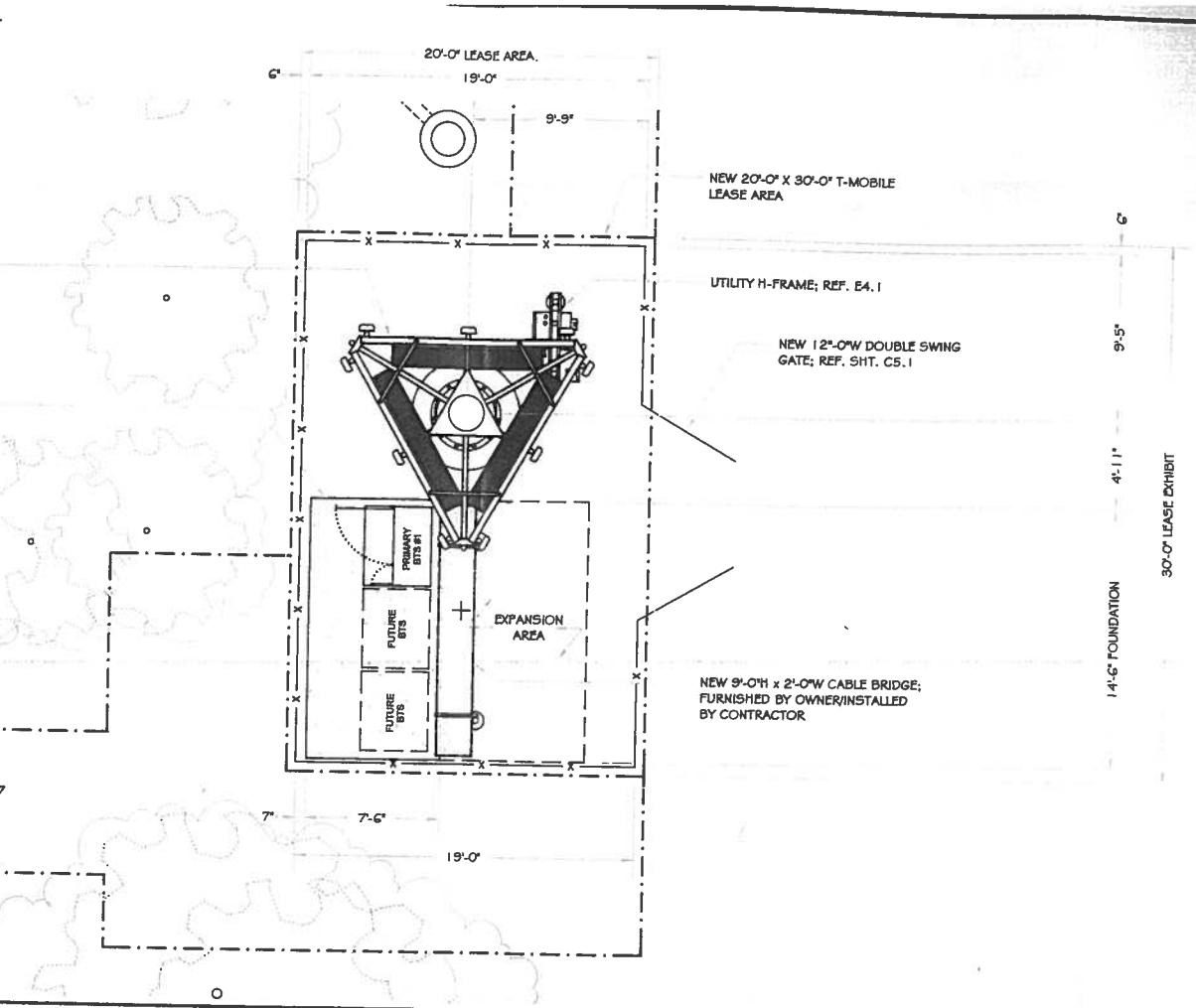
1 1/4" = 5'-0"

SCALE: 1" = 5'-0"

- MANHOLE/VALVE VAULT
- CATCH BASIN
- CURB INLET
- VALVE (INDIVIDUAL SERVICE)
- FIRE HYDRANT
- STREET LIGHT/LIGHT POST
- UTILITY/POWER POLE
- ↑ GUY WIRE/ANCHOR
- TELEPHONE PEDESTAL
- ELECTRIC METER
- GAS METER
- TRAFFIC SIGNAL
- TRAFFIC SIGNAL BOX
- SIGN
- MAIL BOX
- HANDPOLE
- DRAINPIPE
- △ FES (AT END OF PIPE)
- CHAIN LINK FENCE
- WOOD FENCE
- DEPRESSED CURB
- CONCRETE CURB & GUTTER
- SANITARY SEWER
- STORM SEWER
- WATER MAIN
- OVERHEAD ELECTRIC
- UNDERGROUND ELECTRIC
- OVERHEAD TELEPHONE
- UNDERGROUND TELEPHONE
- G GAS LINE
- C CABLE LINE
- BUSH/SHRUB
- TREE DECIDUOUS
- TREE NON-DECIDUOUS
- DRAINAGE ARROW
- CONTOUR LINE
- SPOT ELEVATION
- T/F TOP OF FOUNDATION
- T/C TOP OF CONCRETE/CAISSON
- FF FINISHED FLOOR
- A.G.L. ABOVE GROUND LEVEL
- BOUNDARY LINE
- CONCRETE
- ASPHALT
- GRAVEL
- BRICK
- EXISTING BUILDING
- LEASE SITE
- ACCESS EASEMENT

CONSTRUCTION NOTES

1. ELEVATIONS ARE ABOVE MEAN SEA LEVEL UNLESS INDICATED OTHERWISE.
2. ALL EXISTING EASEMENTS, PROPERTY LINES, SECTION LINES AND ROADWAYS ARE INDICATED ON THIS DRAWING TO THE BEST OF THE ARCHITECT'S KNOWLEDGE AS GATHER BY VISUAL INSPECTION, SURVEY DRAWINGS, AND INFORMATION RECEIVED FROM THE CARRIER.
4. ALL CONSTRUCTION SHALL CONFORM TO CURRENT LOCAL, STATE, AND FEDERAL CODES.
5. THE CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO PROTECT EXISTING STRUCTURES, HALLWAYS, WALLS, DOORS AND OTHER FACILITIES FROM UNNECESSARY EXPOSURE TO DAMAGE, AND DUST; ALL CARPET, TILE, OR OTHER FINISHED FLOOR TYPE SHALL BE PROTECTED WITH MASONITE SHEETS SECURED TO FLOOR WITH TAPE DURING WORKING HOURS
6. ALL CONSTRUCTION RELATED ACTIVITIES SHALL BE COORDINATED ACCORDING TO OWNER APPROVED TIME SCHEDULE
7. IF BUILDING IS TENANT OCCUPIED, ALL ACTIVITIES CAUSING NOISE DISTURBANCES SUCH AS DRILLING, CORING, HAMMERING, AND CUTTING SHALL BE APPROVED BY OWNER IN ADVANCE
8. THE CONTRACTOR SHALL LOCATE AND MARK ALL EXISTING COLUMNS, BEAMS, AND BEARING WALLS BELOW ROOF WHICH ARE RELATED TO DESIGN
9. CONTRACTOR TO OBTAIN ORIGINAL BUILDING DRAWINGS AND VERIFY LOCATION AND EXISTANCE OF ALL STRUCTURAL COMPONENTS WITHIN BUILDING, ALL DISCREPANCIES BETWEEN ORIGINAL BUILDING DESIGN AND THIS DESIGN SHALL BE BROUGHT TO THE ATTENTION OF ENGINEER IN WRITING BEFORE COMMENCEMENT OF WORK
10. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE SAFETY AND IF NECESSARY THE REPAIR OF ALL EXISTING BUILDING SYSTEMS
11. DO NOT INTERRUPT SERVICES TO ANY ADJACENT STRUCTURES OR FACILITIES WITHOUT WRITTEN PERMISSION FROM THE PROPERTY OWNER.
12. CONTRACTOR SHALL NOT LEAVE ANY DEBRIS, TOOLS, OR LOOSE CONSTRUCTION MATERIAL ON ROOF DURING NON-WORKING HOURS
13. COMMENCEMENT OF CONSTRUCTION SHALL BEGIN ONLY WITH THE WRITTEN APPROVAL OF THE OWNER OR OWNERS REPRESENTATIVE; ALL CONSTRUCTION AND MATERIAL ORDERING SHALL BE DONE WITH DRAWINGS LABELED "ISSUED FOR CONSTRUCTION"
14. NO DUMPING OF CONSTRUCTION RELATED MATERIALS IN OWNER WASTE RECEPTECLES; ALL MATERIAL MUST BE HAULED OFF SITE.
15. ACCESS BY OTHERS TO ANY FACILITY ON SITE CAN NOT BE BLOCKED AT ANYTIME.
16. ALL SAFETY HAZARDS MUST BE MARKED WITH WARNING TAPE OR SAFETY FENCE.
17. PROPER SIGNAGE MUST BE POSTED AT ACCESS OF COMPOUND PER OSHA SPEC.
18. ANY ACCIDENTS ON SITE MUST BE REPORTED TO CONTRACT OWNER WITHIN 2 HOURS OF EVENT.
19. GC'S ARE NOT TO CONTACT PROPERTY OWNERS, ALL MATTERS MUST BE REPORTED TO PROJECT MANAGER



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kamry
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TEL: (847) 676-7412
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CH53-218C
THEOSOPHICAL SOCIETY

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WHEATON, IL 60189
RAWLAND

ENLARGED SITE PLAN

C2.1

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