

ORDINANCE NO. F-1351

**AN ORDINANCE AMENDING THE WHEATON ZONING MAP
BY GRANTING A SPECIAL USE PERMIT FOR PLANNED UNIT DEVELOPMENT - 20
WEST LOOP ROAD/ DANADA VETERINARY HOSPITAL**

WHEREAS, written application has been made to amend the Zoning Map, which is attached to and forms a part of the Zoning Ordinance of Wheaton, Illinois, by the issuance of a special use permit for a Planned Unit Development to subdivide the subject property, currently occupied by an Aldi grocery store, into two lots with sizes of 2.16 and 0.91 acres, in order to construct a 9,732 square foot veterinary hospital and 48 space parking lot on the southern vacant portion of the site, on property zoned C-5 Planned Commercial District, all on the property legally described herein within the city limits of Wheaton, Illinois, and commonly known as 20 West Loop Road; ("Subject Property") and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on March 25, 2008, to consider the issuance of the special use permit; and the Board has recommended the issuance of the special use permit for planned unit development.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: The following described property has been and continues to be zoned and classified in the C-5 Planned Commercial District zoning classification:

LOT 2 IN KEIM'S WEST LOOP ROAD SUBDIVISION, BEING A SUBDIVISION OF LOT 4, IN KEIM'S DANADA FARMS WEST LOOP RESUBDIVISION OF LOT 4, BEING A SUBDIVISION OF PART OF THE SOUTHWEST 1/4 OF SECTION 28, THE NORTHWEST 1/4 OF SECTION 33 AND THE NORTHEAST 1/4 OF SECTION 32, ALL IN TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF KEIM'S WEST LOOP ROAD SUBDIVISION AFORESAID, RECORDED JUNE 5, 1991 AS DOCUMENT NO. R91-067990, IN DUPAGE COUNTY, ILLINOIS.

P.I.N. 05-28-300-026

The subject property is commonly known as 20 West Loop Road, Wheaton, IL 60187.

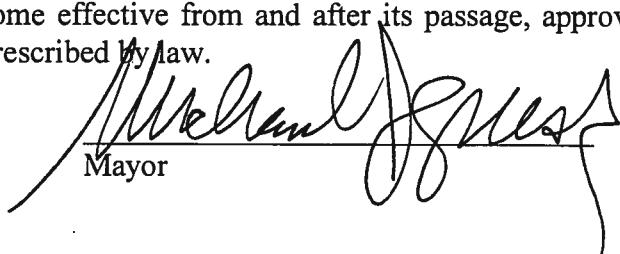
Section 2: Pursuant to the Findings of Fact made and determined by the Planning and Zoning Board, a special use permit is hereby issued on the subject property to allow the subdivision of the property into two lots and the construction of a 9,732 square foot veterinary hospital and 48 space parking lot on the southern vacant portion of the site on property zoned C-5 Planned Commercial District, in full compliance with the site plan, elevations, floor plans and engineering plans entitled "Danada Veterinary Hospital, Wheaton, IL" prepared by Peter Krallitsch & Associates, Chicago, IL and dated April 15, 2007 (elevations and floor plans) and February 29, 2008 (site plan) and landscaping plan entitled "Danada Veterinary Hospital" prepared by Birchwood Landscape, Glen Ellyn, IL and dated March 3, 2008; and in further compliance with the following conditions, restrictions, and requirements:

82008-089935

1. The Danada Veterinary Clinic shall contribute to the care and maintenance of the private service road in the manner set forth in the easement recorded on July 20, 1988, as Document R88-79082 at the DuPage County Recorder of Deeds Office; and
2. Additional plantings and trees shall be provided in the perimeter landscaping setbacks; and
3. The proposed trash enclosure shall be constructed of masonry to match the building; and
4. All signage for the property shall be required to comply with Article 23 of the Zoning Ordinance; and
5. All lighting shall comply with Article 22.4.9 of the Zoning Ordinance; and
6. Additional visual screening on the west side of the animal exercise area shall be provided; and
7. A color rendering of the building and materials proposed shall be approved by City staff.

Section 3: All ordinances or parts of ordinances in conflict with these provisions are repealed.

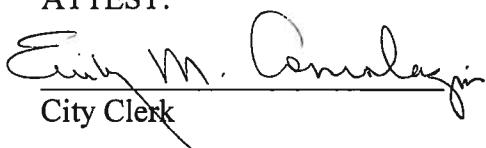
Section 4: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.



Michael J. Gresk

Mayor

ATTEST:



Emily M. Amulay
City Clerk

ROLL CALL VOTE:

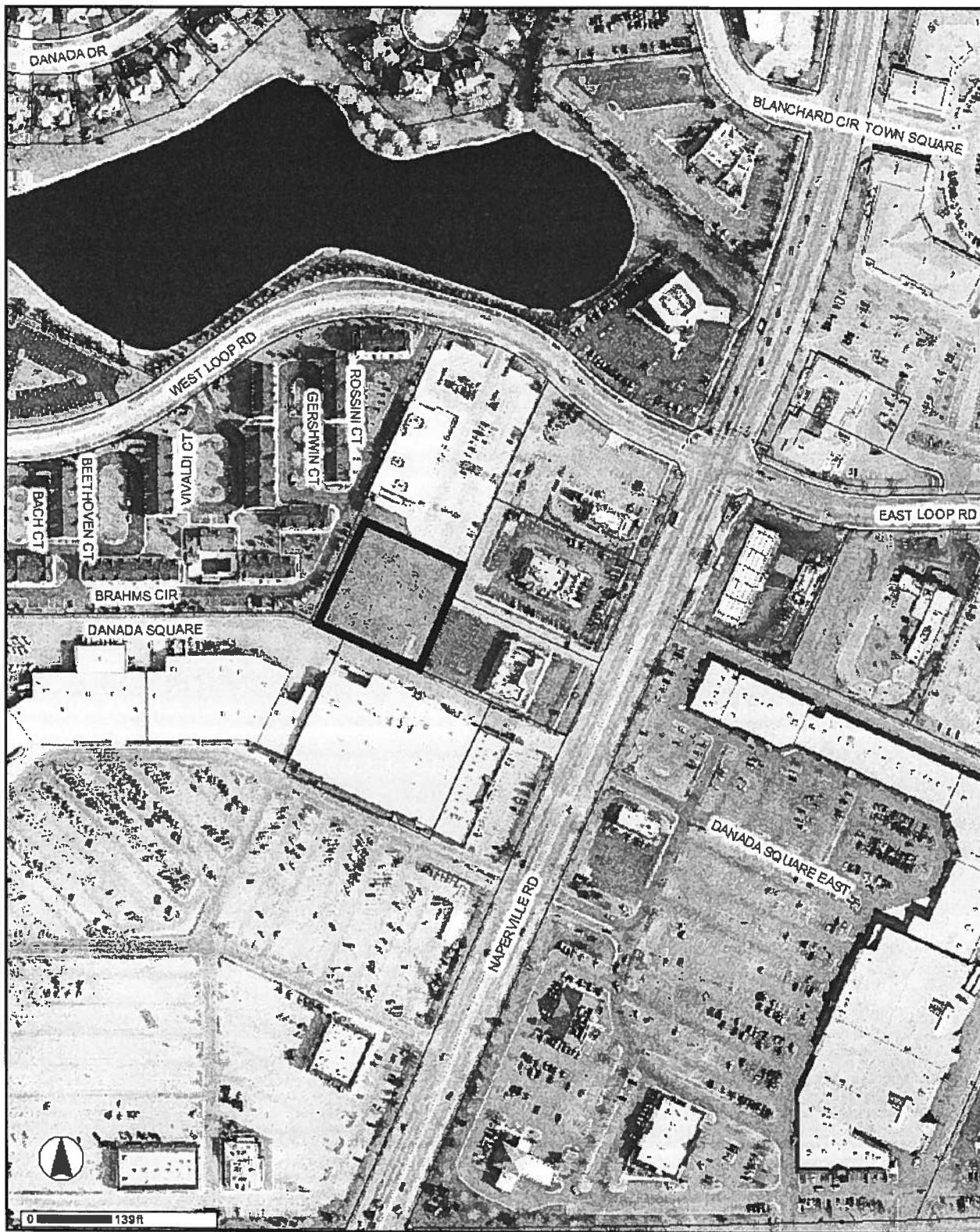
Ayes:	Councilman Levine Mayor Gresk Councilman Mouhelis Councilman Prendiville Councilman Suess Councilwoman Corry Councilman Johnson
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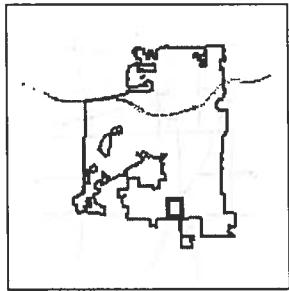
Nays:	None
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Absent:	None
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Motion Carried Unanimously

Passed: April 21, 2008
Published: April 22, 2008

Subject Property[Print](#) [Close](#)



City of Wheaton

WARNING AND DISCLAIMER

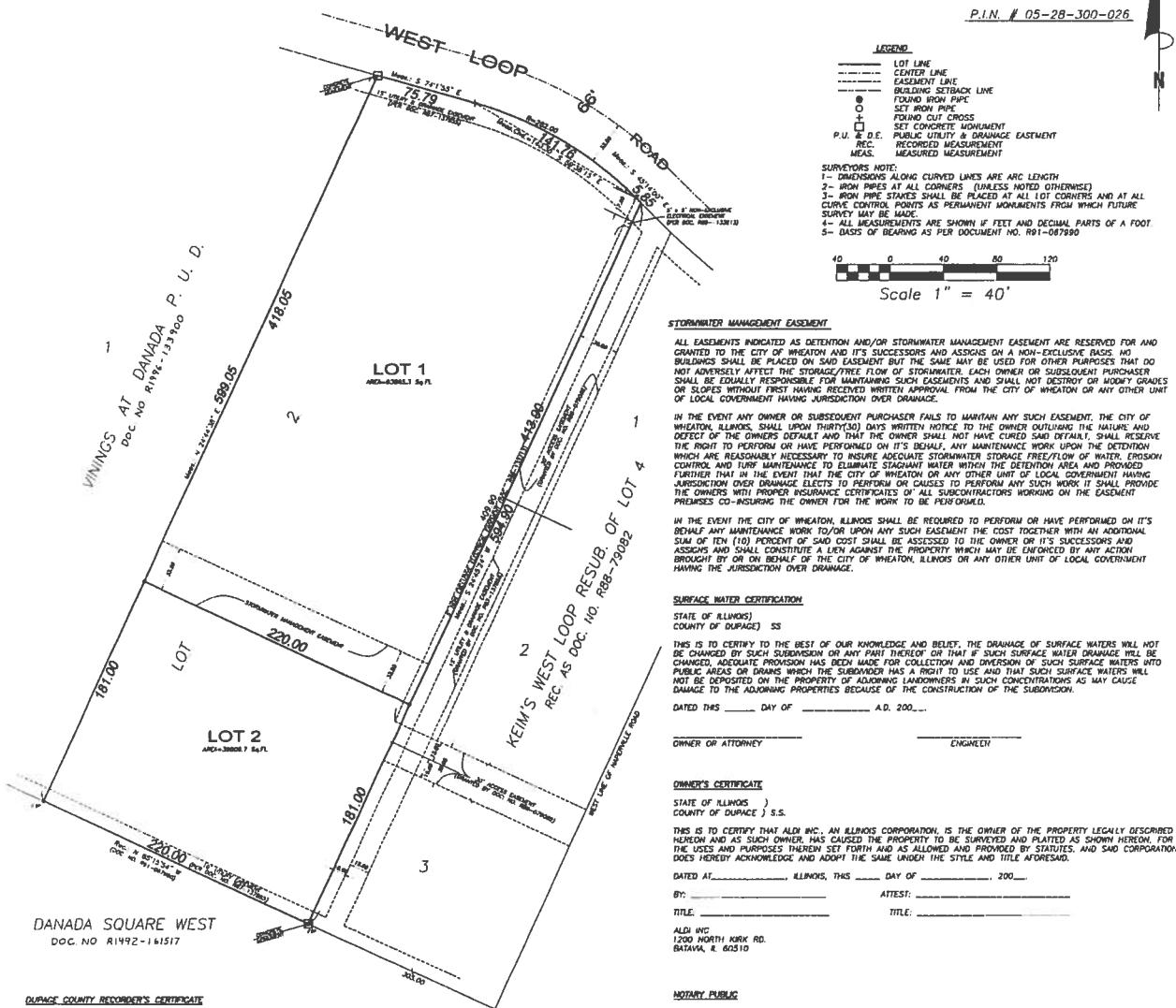
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Printed: 04/16/2008 10:25:19 AM

**FINAL PLAT
OF
ALDI INC RESUBDIVISION**

OF LOT 2 IN KEM'S WEST LOOP ROAD SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHWEST 1/4 OF SECTION 28, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 5, 1991 AS DOCUMENT NO. R91-067990, IN DUPAGE COUNTY, ILLINOIS.

P.I.N. # 05-28-300-026



LEGEND

—	LOT LINE
—	CENTER LINE
—	EASMENT LINE
—	EDITION SETBACK LINE
●	FOUND IRON PIPE
○	SET IRON PIPE
×	CURB CROSS
■	SET CONCRETE MONUMENT
P.U.	PUBLIC UTILITY & DRAINAGE EASTMENT
R.E.	RIGHT-OF-WAY EASEMENT
MEAS.	MEASURED MEASUREMENT

SURVEYORS NOTE:

1- DIMENSIONS ALONG SURVEY LINES ARE ARC LENGTH
2- IRON PIPE AND CONCRETE MONUMENTS (WHEN OTHERWISE)
3- IRON PIPE STAVES SHALL BE PLACED AT ALL LOT CORNERS AND AT ALL CURVE CONTROL POINTS AS PERMANENT MONUMENTS FROM WHICH FUTURE SURVEY MAY BE MADE
4- ALL MEASUREMENTS ARE SHOWN IN FEET AND DECIMAL PARTS OF A FOOT.
5- BASIS OF BEARING AS PER DOCUMENT NO. R91-067990

40 0 40 80 120
Scale 1" = 40'

STORMWATER MANAGEMENT EASEMENT

ALL EASEMENTS INDICATED AS DETENTION AND/OR STORMWATER MANAGEMENT EASEMENT ARE RESERVED FOR AND GRANTED TO THE CITY OF WHEATON AND ITS SUCCESSORS AND ASSIGNS ON A NON-EXCLUSIVE BASIS. NO BUILDINGS SHALL BE PLACED ON SAID EASEMENT BUT THE SAME MAY BE USED FOR OTHER PURPOSES THAT DO NOT AFFECT THE FREE FLOW OF STORMWATER. EACH OWNER OR SUBSEQUENT PURCHASER SHALL BE EQUALLY RESPONSIBLE FOR MAINTAINING SAID EASEMENT AND SHALL NOT DESTROY DROPPY GRADES OR SLOPES WITHOUT FIRST HAVING RECEIVED WRITTEN APPROVAL FROM THE CITY OF WHEATON OR ANY OTHER UNIT OF LOCAL GOVERNMENT HAVING JURISDICTION OVER DRAINAGE.

IN THE EVENT ANY OWNER OR SUBSEQUENT PURCHASER FAILS TO MAINTAIN ANY SUCH EASEMENT, THE CITY OF WHEATON, ILLINOIS, SHALL UPON THIRTY(30) DAYS WRITTEN NOTICE TO THE OWNER OUTLAWING THE NATURE AND DEGREE OF NON-MAINTENANCE, HAVE THE RIGHT TO RECLAIM THE EASEMENT AND TO MAINTAIN THE SAME AT THE EXPENSE OF THE OWNER OR PURCHASER. THE OWNER OR PURCHASER SHALL BE HELD LIABLE FOR THE COST OF MAINTENANCE AND SHALL BE EQUITABLY RESPONSIBLE FOR MAINTAINING THE EASEMENT. THE CITY OF WHEATON, ILLINOIS, OR ANY OTHER UNIT OF LOCAL GOVERNMENT HAVING JURISDICTION OVER DRAINAGE ELECTS TO PERFORM ANY CAUSES TO PERFORM ANY SUCH WORK IT SHALL PROVIDE THE OWNERS WITH PROPER INSURANCE CERTIFICATES OF ALL SUBCONTRACTORS WORKING ON THE EASEMENT PREMISES CO-INSURING THE OWNER FOR THE WORK TO BE PERFORMED.

IN THE EVENT THE CITY OF WHEATON, ILLINOIS SHALL BE REQUIRED TO PERFORM OR HAVE PERFORMED ON ITS BEHALF ANY MAINTENANCE WORK TO OR UPON ANY SUCH EASEMENT THE COST THEREOF TOGETHER WITH AN ADDITIONAL SUM FOR THE PERTINENT TAXES, PENALTIES AND FEES OF THE CITY OF WHEATON, ILLINOIS, SHALL BE ASSUMED BY THE OWNER AND ASSIGNS AND SHALL CONSTITUTE A LIEN AGAINST THE PROPERTY WHICH MAY BE ENFORCED BY ANY ACTION BROUGHT BY OR ON BEHALF OF THE CITY OF WHEATON, ILLINOIS OR ANY OTHER UNIT OF LOCAL GOVERNMENT HAVING THE JURISDICTION OVER DRAINAGE.

SURFACE WATER CERTIFICATION

STATE OF ILLINOIS)
COUNTY OF DUPAGE) S.S.

THIS IS TO CERTIFY TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY SUCH SUBDIVISION OR ANY PART THEREOF OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, ADEQUATE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC STREAMS OR DRAINS. THE DRAINAGE OF SURFACE WATERS INTO PUBLIC STREAMS OR DRAINS WILL NOT BE DEPOSITED ON THE PROPERTY OF ADJOINING LANDOWNERS IN SUCH CONCENTRATIONS AS MAY CAUSE DAMAGE TO THE ADJOINING PROPERTIES BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

DATED THIS _____ DAY OF _____ A.D. 200...

OWNER OR ATTORNEY

ENGINEER

OWNER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) S.S.

THIS IS TO CERTIFY THAT ALDI INC., AN ILLINOIS CORPORATION, IS THE OWNER OF THE PROPERTY LEGALLY DESCRIBED HEREON AND AS SUCH OWNER HAS CAUSED THE PROPERTY TO BE SURVEYED AND PLATED AS SHOWN HEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH AND AS ALLOWED AND PROVIDED BY STATUTES, AND SAID CORPORATION DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE AFORESAID.

DATED AT _____, ILLINOIS, THIS _____ DAY OF _____ 200...

BY: _____ ATTEST: _____

TITLE: _____ TITLE: _____

ALDI INC
1200 NORTH KIRK RD.
BATAVIA, IL 60510

NOTARY PUBLIC

STATE OF ILLINOIS)
COUNTY OF DUPAGE) S.S.

I, NOTARY PUBLIC IN AND FOR THE SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THIS INSTRUMENT, ARE PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE RESPECTIVELY APPEARED BEFORE ME THIS DAY IN PERSON AND JOINTLY AND SEVERALLY ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE SAID INSTRUMENT AS THEIR OWN FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT OF SAID CORPORATION, AND THAT THE SAID INSTRUMENT SET FORTH THEREIN WAS SO DELIVERED BY THEM, AND THAT THEY, THE CUSTODIANS OF THE CORPORATION SEAL OF SAID CORPORATION, DID AFFIX SAID SEAL OF SAID CORPORATION TO SAID INSTRUMENT AS THEIR OWN FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT OF SAID CORPORATION, FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____ IN THE YEAR 200...

NOTARY PUBLIC

COMMISSION EXPIRES

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) S.S.

THIS IS TO CERTIFY THAT L. NORBERT V. LAMBERT JR., AN ILLINOIS PROFESSIONAL LAND SURVEYOR, NUMBER 1863, HAVE SURVEYED AND RESUBDIVIDED THE PROPERTY DESCRIBED AS:

LOT 2 IN KEM'S WEST LOOP ROAD SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHWEST 1/4 OF SECTION 28, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT RECORDED JUNE 5, 1991 AS DOCUMENT NO. R91-067990, IN DUPAGE COUNTY, ILLINOIS.

I, FURTHER CERTIFY THAT ALL REGULATIONS ENACTED BY THE CITY COUNCIL RELATIVE TO PLATS AND SUBDIVISIONS HAVE BEEN COMPLIED WITH.

THE PROPERTY SHOWN ON THE PLAT HEREBY DRAWN IS SITUATED WITHIN THE CORPORATE LIMITS OF THE CITY OF WHEATON, WHICH HAS ADOPTED A COMPREHENSIVE PLAN AND WHICH IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY STATE OF ILLINOIS ACCORDING TO 65 ILL. 5/11-12-6* (... FORMERLY KNOWN AS DIVISION 12 OF ARTICLE 11 OF THE ILLINOIS MUNICIPAL CODE.)

I, FURTHER CERTIFY THAT PARCELS INCLUDED IN THIS PLAT ARE NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ACCORDING TO THE FLOOD RATE MAP PANEL NUMBER 170187 C 0505 A, DATED DEC. 16, 2004, A.D.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY, GIVEN UNDER MY HAND AND SEAL THIS 23rd DAY OF JANUARY, 2008.

Norbert V. Lambert Jr.
NORBERT V. LAMBERT JR.
ILLINOIS LAND SURVEYOR NUMBER 1863



SUBMITTED BY & RETURN TO:

CITY OF WHEATON
303 W. WESLEY ST.
WHEATON, ILL. 60187

LAMBERT & ASSOCIATES
LAND SURVEYORS
320 SOUTH REDER ST., WHEATON, ILL. 60187
PHONE: (630) 853-8331 FAX: (630) 843-6128

DUPAGE COUNTY RECORDER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) S.S.

THIS PLAT WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS, ON THE _____ DAY OF _____ A.D. 200... AT _____ O'CLOCK M.

RECORDER

CITY COLLECTOR'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) S.S.

CITY COLLECTOR FOR THE CITY OF WHEATON, ILLINOIS DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DELINQUENT INSTALLMENTS THEREOF THAT HAVE BEEN APPORTIONED AGAINST THE TRACT OF LAND DESCRIBED ON THIS PLAT.

DAILED AT WHEATON, ILLINOIS, THIS _____ DAY OF _____ A.D. 200...

CITY COLLECTOR

CITY COUNCIL CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) S.S.

APPROVED BY THE MAJOR AND THE CITY COUNCIL OF THE CITY OF WHEATON, ILLINOIS, THIS _____ DAY OF _____ A.D. 200...

BY _____
MAYOR

ATTEST: _____ CIVIL CLERK

COUNTY CLERK'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) S.S.

COUNTY CLERK OF DUPAGE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID CURRENT TAXES, NO UNPAID OR FORFEITED TAXES AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT.

I, FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT
GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK OF WHEATON, ILLINOIS THIS _____ DAY OF _____ A.D. 200...

COUNTY CLERK

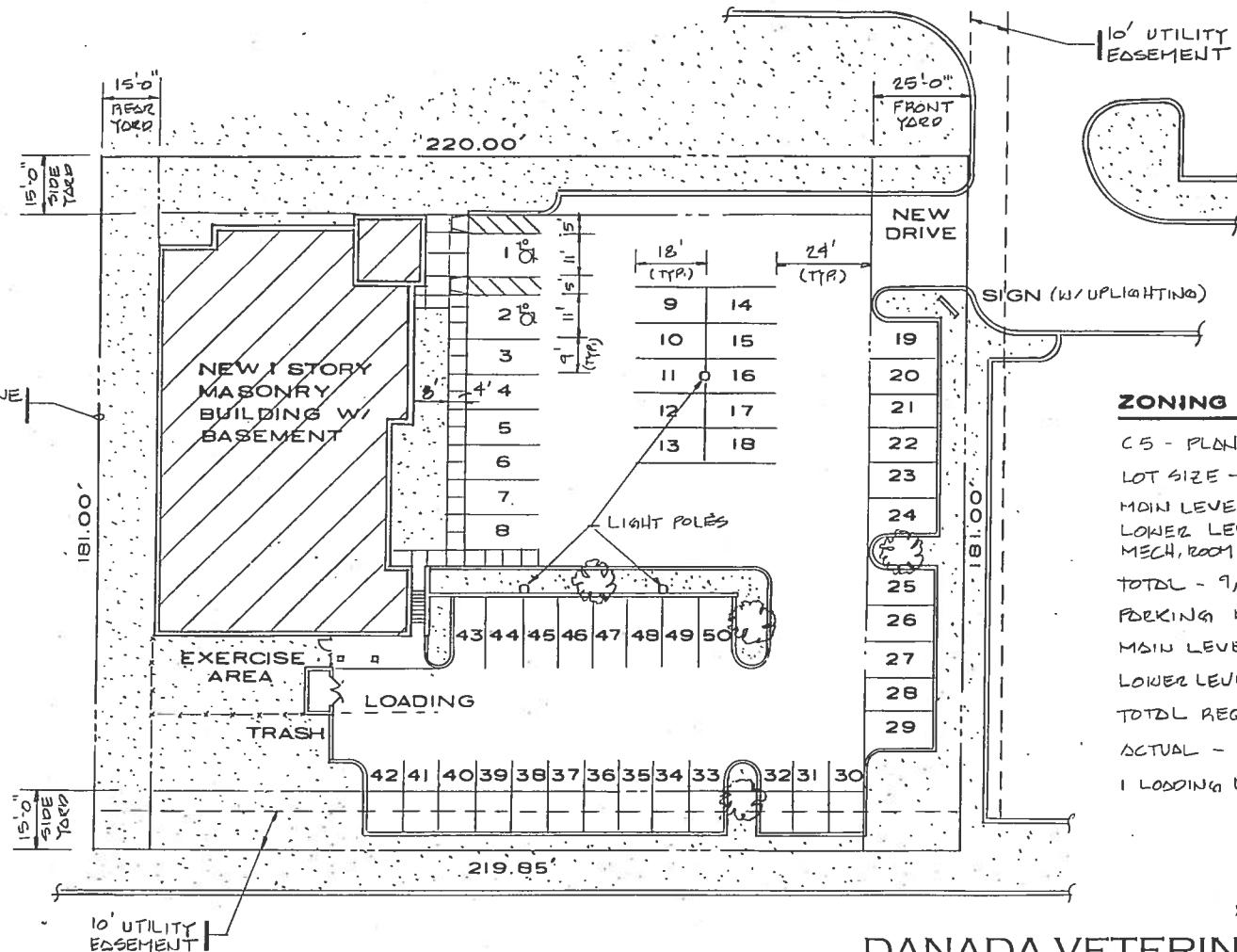
DIRECTOR OF ENGINEERING CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) S.S.

CITY ENGINEER OF WHEATON, ILLINOIS, DO HEREBY CERTIFY THAT THE PLAT APPROVED HERETO MEETS WITH THE REQUIREMENTS AND PLANS AND SPECIFICATIONS OF THE WHEATON CITY CODE AND HAS BEEN APPROVED BY ALL PUBLIC AUTHORITIES.

DAILED AT WHEATON, ILLINOIS, THIS _____ DAY OF _____ A.D. 200...

DIRECTOR OF ENGINEERING



ZONING INFORMATION

C 5 - PLANNED COMMERCIAL DISTRICT

LOT SIZE - 39,806.72 SQ. FT.

MAIN LEVEL - 6,770 SQ. FT.

LOWER LEVEL (NOT INCLUDING STORAGE, MECH, ROOM, KENNEL AREAS) - 2,930 SQ. FT.

TOTAL - 9,732 SQ. FT.

PARKING REQ'D:

MAIN LEVEL 5/1000 SQ. FT - 34 SPACES

LOWER LEVEL 1/250 SQ. FT - 12 SPACES

TOTAL REQ'D - 46 SPACES

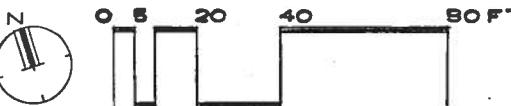
ACTUAL - 50 SPACES

1 LOADING BERTH @ 10' x 25'

DANADA VETERINARY HOSPITAL WHEATON, IL.

SITE PLAN (REVISED)

1" = 30'-0"



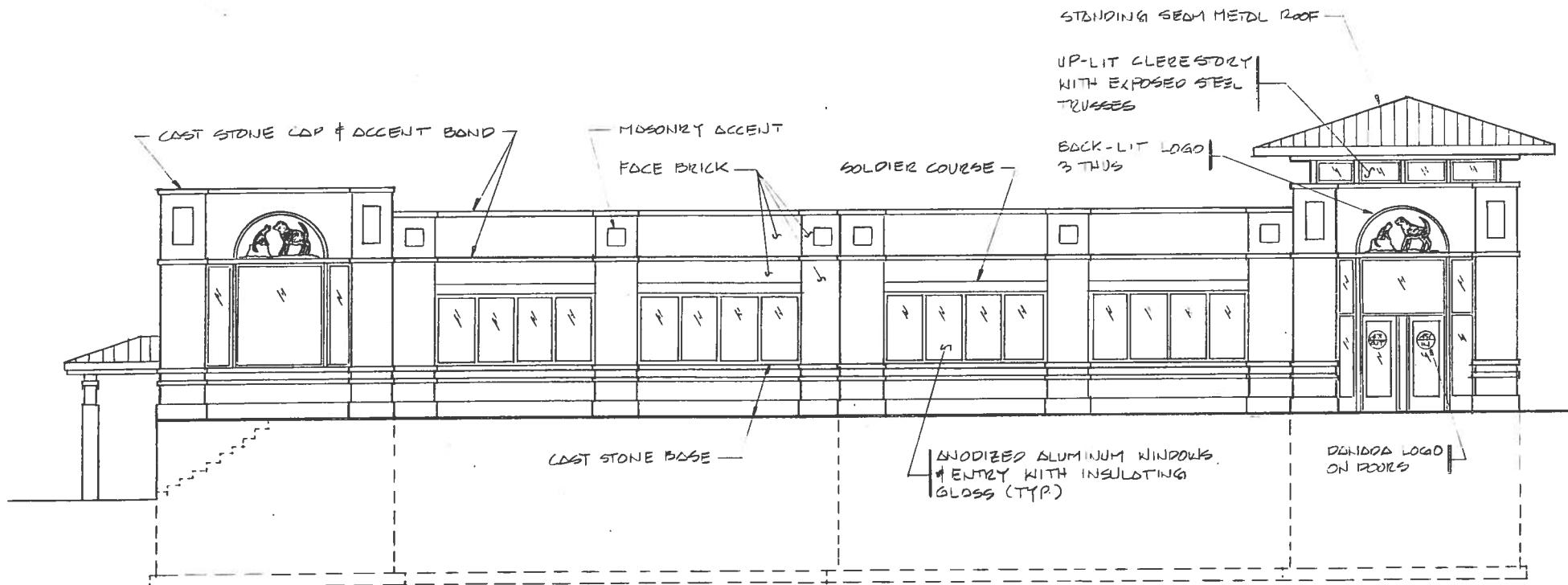
Peter R. Krallitsch & Assoc., Ltd.

Architects Structural Engineers Design Firm Lic.#184-003437

220 South State Street 295 Rebecca St.
Chicago, IL 60604 Crystal Lake, IL 60014
(312) 939-0603 FAX (312) 939-8715 (815) 455-4880

VILLAGE REVIEW 2/29/08

DANADA VETERINARY HOSPITAL
WHEATON, IL.



PROPOSED EAST ELEVATION

1/8" = 1'-0"

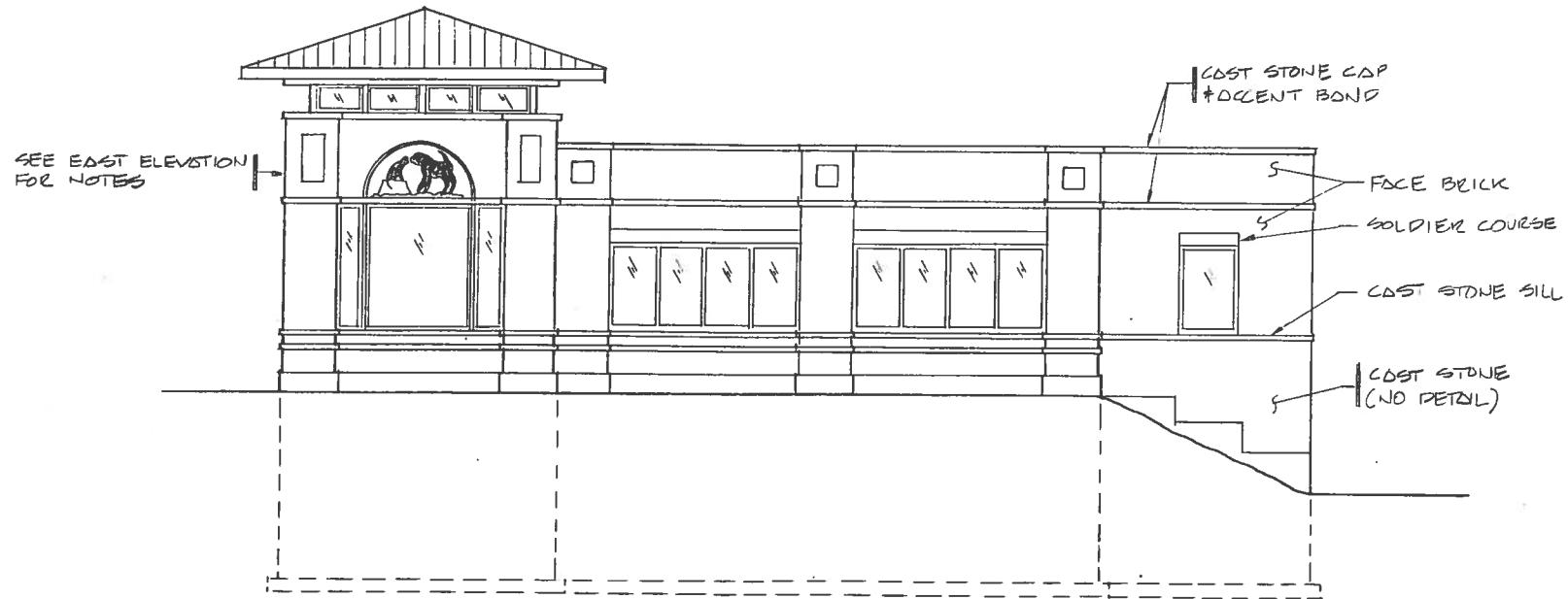
VILLAGE REVIEW 4/15/07

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Architectural Engineers Design Firm Lic #184-003427

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DANADA VETERINARY HOSPITAL
WHEATON, IL.



PROPOSED NORTH ELEVATION

1/8" = 1'-0"

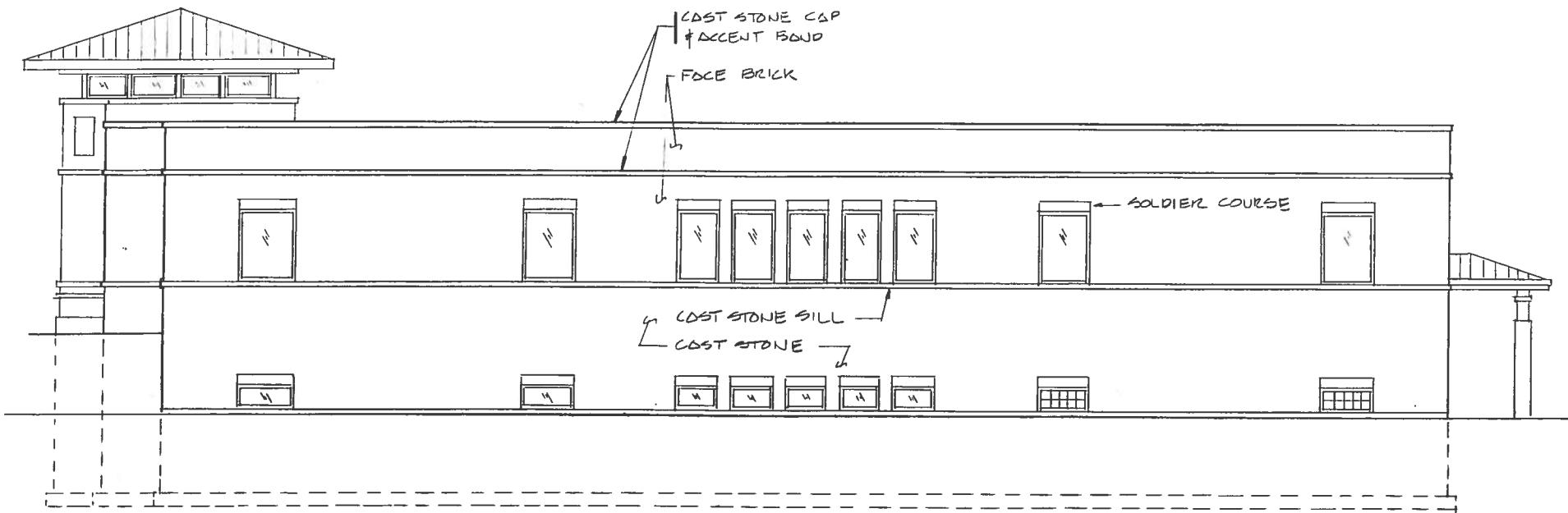
VILLAGE REVIEW 4/16/07

Peter R. Krallitsch & Assoc., Ltd.

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220 South State Street 295 Rebecca St.
Chicago, IL 60604 Crystal Lake, IL 60014
(312) 939-0600 FAX (312) 939-8715 (815) 455-4880

DANADA VETERINARY HOSPITAL
WHEATON, IL.



PROPOSED WEST ELEVATION

1/8" = 1'-0"

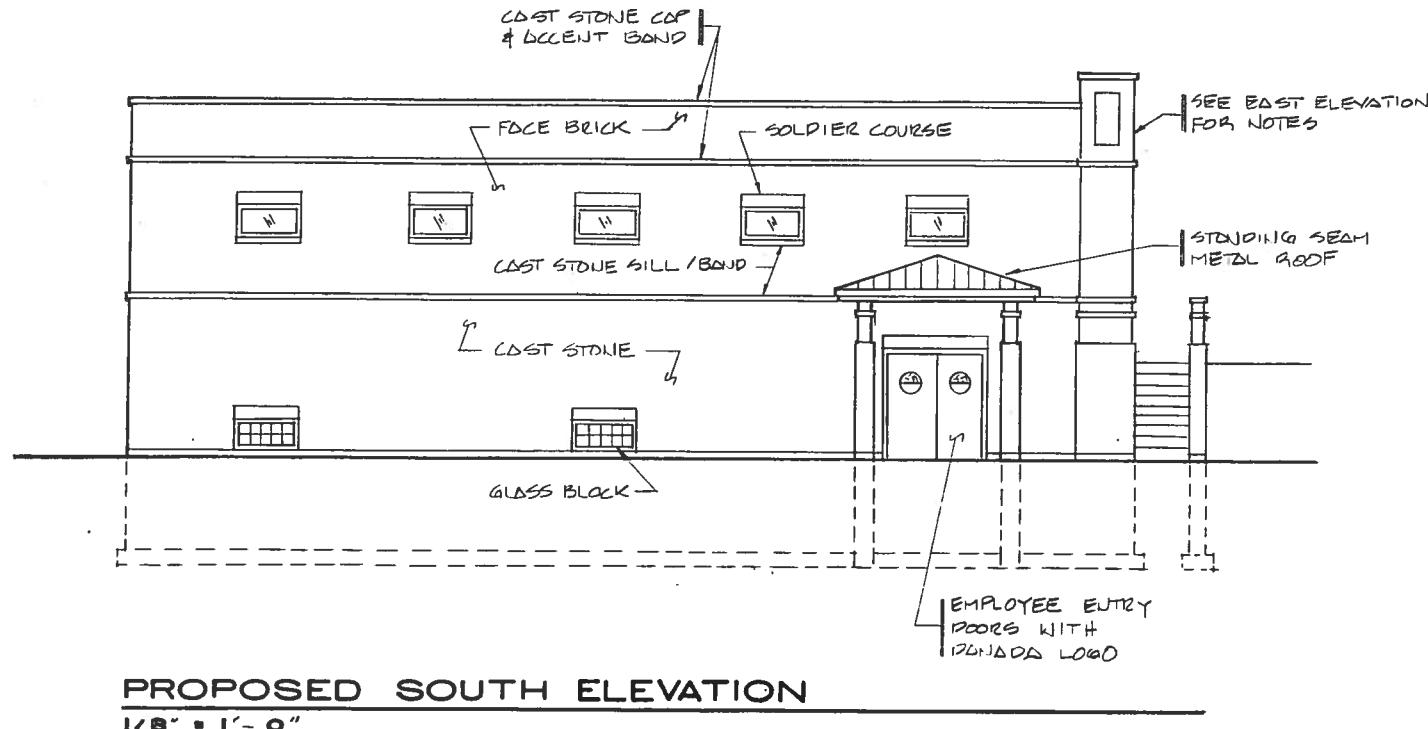
VILLAGE REVIEW 4/15/07

Peter R. Krallitsch & Assoc., Ltd.

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DANADA VETERINARY HOSPITAL
WHEATON, IL.



VILLAGE REVIEW 4/15/07

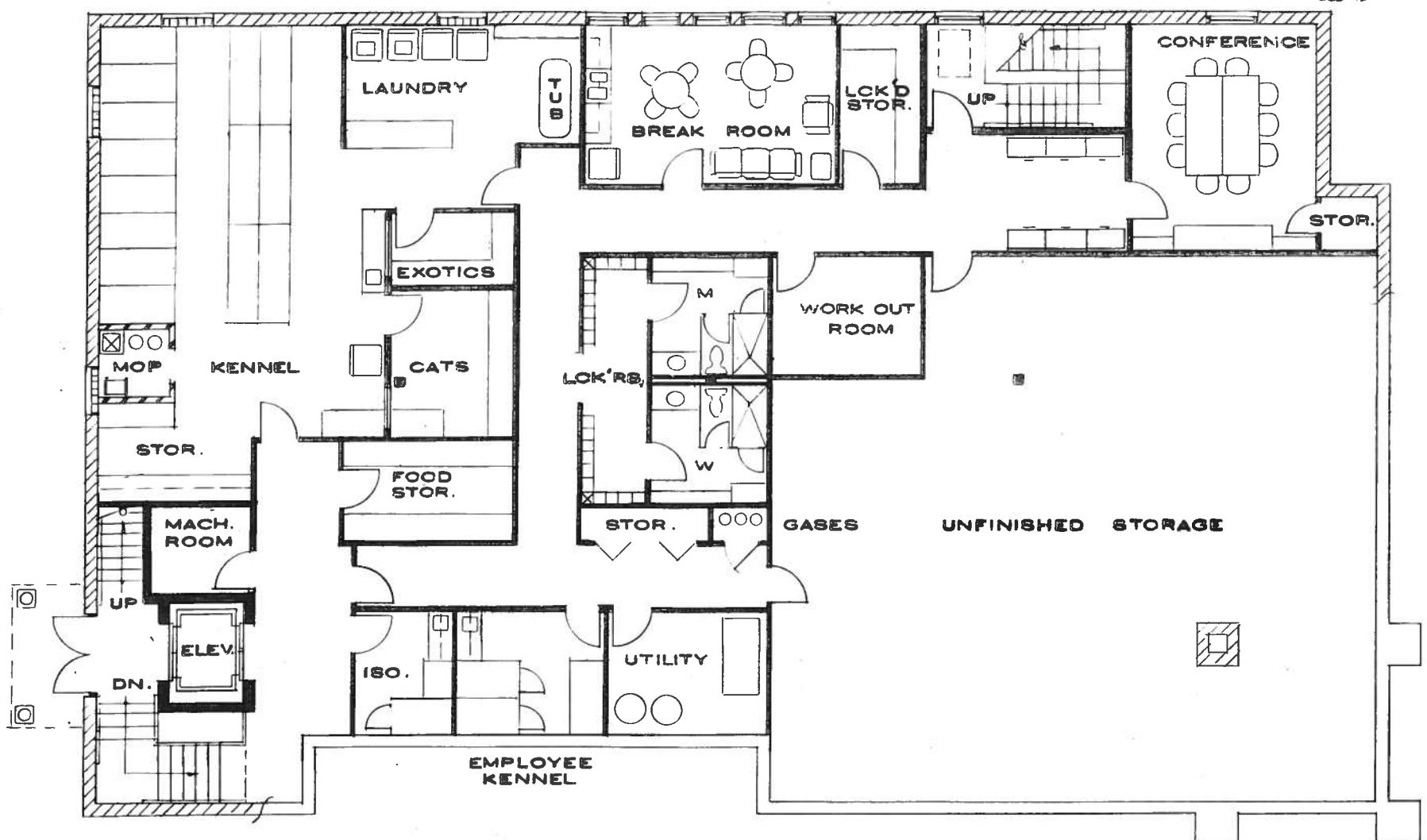
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DANADA VETERINARY HOSPITAL
WHEATON, IL.

Peter R. Krallitsch & Assoc., Ltd
Architects Structural Engineers Design Firm Lic #184-003427
220 South State Street 295 Rebecca S
Chicago, IL 60604 Crystal Lake, IL 60011
(312) 939-0603 FAX (312) 939-8715 (815) 455-4882

VILLAGE REVIEW 4/15/07



PROPOSED LOWER LEVEL PLAN

1/8" = 1'-0"



DANADA VETERINARY HOSPITAL
WHEATON, IL.

