

**ORDINANCE NO. F-1280**

**AN ORDINANCE GRANTING A SIDE YARD SETBACK ABUTTING  
CHASE STREET ON THE PROPERTY COMMONLY KNOWN AS  
701 PERSHING AVENUE/HALM**

**WHEREAS**, written application has been made requesting a variation to Article 9.2.5 of the Wheaton Zoning Ordinance to allow the construction of a covered front porch with a side yard setback of 3.0 feet abutting Chase Street in lieu of the required 25.6 feet on certain property legally described herein and commonly known as 701 Pershing Avenue, Wheaton, Illinois; and

**WHEREAS**, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on May 7, 2007, to consider the variation request; and the Planning and Zoning Board has recommended approval of the zoning variation.

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

**Section 1:** Pursuant to the Findings of Fact made and determined by the Wheaton Planning and Zoning Board, a side yard setback abutting Chase Street of 3.0 feet in lieu of the required 25.6 feet is granted in full compliance with the plans entitled "*A Front Porch Remodeling to the Halm Residence, 701 Pershing Avenue, Wheaton Illinois 60187*" prepared by *DK Architecture, 1115 Wheaton Oaks Court, Wheaton, Illinois 60187, sheets G1 and A1, dated April 3, 2007*, to allow the construction of a covered front porch on the following-described real estate:

LOT 1 IN PHELPS' SUBDIVISION, BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 21, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 21, 1985 AS DOCUMENT R85-90817 IN DUPAGE COUNTY, ILLINOIS.

P.I.N. 05-21-201-059

This property is commonly known as 701 Pershing Avenue, Wheaton, IL 60187.

**Section 2:** All ordinances or parts of ordinances in conflict with these provisions are repealed.

**Section 3:** This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.



Michael Gresk  
Mayor

ATTEST:

Emily Consalvo  
City Clerk

Roll Call Vote:

Ayes: Councilman Levine  
Mayor Gresk  
Councilman Mouhelis  
Councilman Prendiville  
Councilman Suess  
Councilwoman Corry  
Councilman Johnson

Nays: None

Absent: None

Motion Carried Unanimously

Passed: May 21, 2007  
Published: May 22, 2007

# A FRONT PORCH REMODELING TO THE HALM RESIDENCE

701 PERSHING AVENUE  
WHEATON, ILLINOIS 60187

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dk ARCHITECTURE, Inc.

REVISIONS  
#

DATE

1115 WHEATON OAKS COURT

WHEATON, ILLINOIS 60187

phone: 630-553-1603

fax: 630-553-1604

## ZONING DATA

ZONING DESIGNATION	R3
LOT AREA	15,237 SF
LOT COVERAGE	MAX ALLOWABLE COVERAGE (33.33%)
	5,079 SF
	EXISTING COVERAGE 1,461 SF
	PROPOSED ADDITIONAL COVERAGE 28 SF
	TOTAL LOT COVERAGE 1,489 SF
F.A.R. (0.40)	ALLOWABLE BUILDING AREA (40%)
	6,095 SF
	EXISTING FIRST FLOOR AREA 1,410 SF
	PROPOSED NEW FRONT PORCH AREA 78 SF
	EXISTING SECOND FLOOR ATTIC AREA 819 SF
	PROPOSED SECOND FLOOR ATTIC AREA 0 SF
	TOTAL FLOOR AREA 2,307 SF
SETBACKS	
FRONT YARD	30 FEET
SIDE YARD	
INTERIOR	15 FEET
CORNER	20 FEET
REAR YARD	25 FEET

## SITE NOTES

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## BASE LUMBER VALUES

	Fb	E
HEM-FIR #2 (DOMESTIC)	850 psi	1,300,000
S.P.F. #2 (CANADIAN)	875 psi	1,400,000
GLULAM	1,850 psi	1,800,000
Laminated Veneer Lumber (LVL)	2,800 psi	2,000,000
Pararell Strand Lumber (PSL)	2,900 psi	2,000,000

## DESIGN LOADS

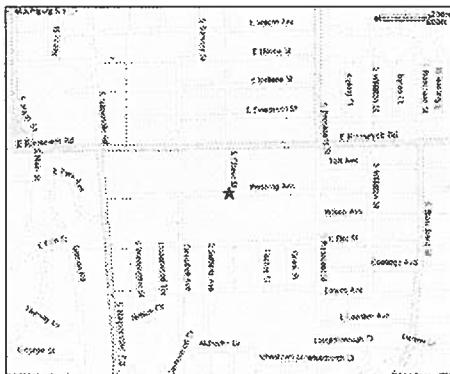
USE	LIVE LOAD	DEAD LOAD
ATTICS WITH STORAGE	20	10
ATTICS WITHOUT STORAGE	10	10
DECKS	40	7
BALCONIES (EXTERIOR)	60	7
GUARDRAILS AND HANDRAILS	200	
ROOMS OTHER THAN SLEEPING ROOMS	40	10
SLEEPING ROOMS	30	10
STAIRS	40	
ROOF (SNOW LOAD)	30	10
ROOF (SNOWLOAD) CATHEDRAL CEILING	30	15

## DRAWING INDEX

G1	GENERAL INFORMATION / SITE PLAN
A1	FLOOR PLANS / ELEVATIONS

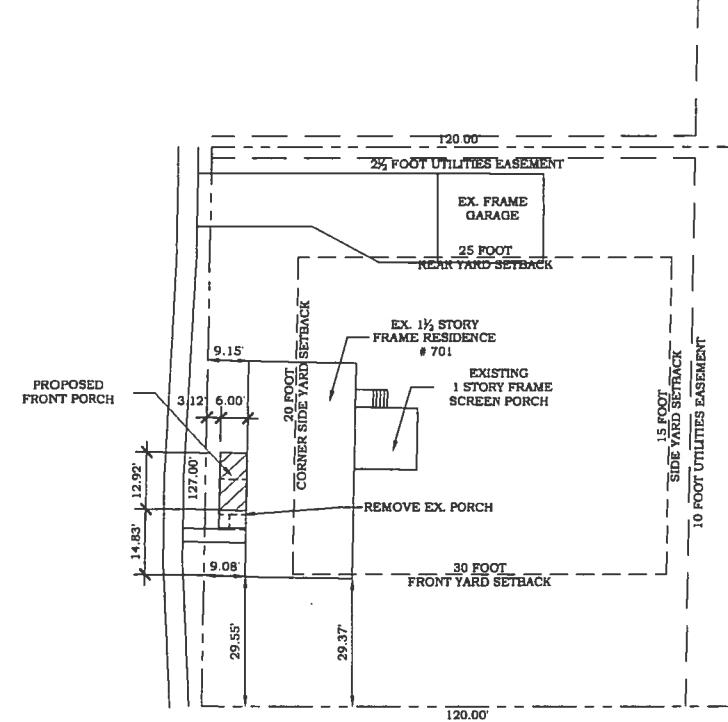
## LOCATION MAP

701 PERSHING AVENUE, WHEATON, ILLINOIS 60187



## APPLICABLE CODES

ICC INTERNATIONAL RESIDENTIAL CODE - 2003 EDITION  
ICC INTERNATIONAL ELECTRICAL CODE - 2003 EDITION  
NFPA NATIONAL ELECTRIC CODE - 2002 EDITION  
ICC INTERNATIONAL MECHANICAL CODE - 2003 EDITION  
2004 STATE OF ILLINOIS PLUMBING CODE  
ICC INTERNATIONAL FIRE CODE - 2003 EDITION



## NOTE:

REFER TO PLAT OF SURVEY AND  
REMANDEE OF DRAWINGS INDICATED IN  
THE DRAWING INDEX FOR ADDITIONAL  
INFORMATION NOT SHOWN HEREIN.



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701 PERSHING AVENUE  
WHEATON, ILLINOIS 60187

DATE:  
APR 3, 2007

SHEET:

G1  
OF: 2

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THE HALM RESIDENCE**

701 PERSHING AVENUE  
WHEATON, ILLINOIS 60187

ARCHITECTURE

DATE

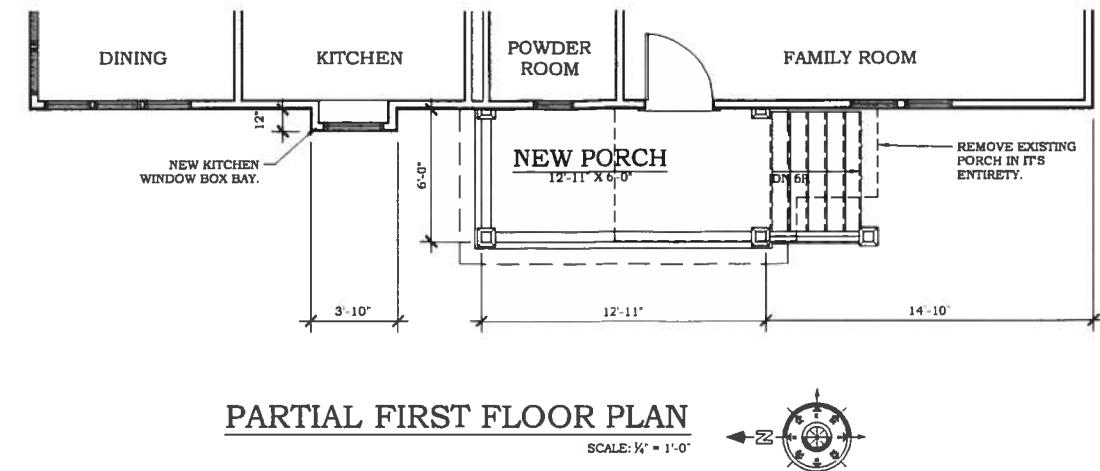
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**NORTH ELEVATION**

SCALE:  $\frac{1}{4}'' = 1'-0''$

**WEST ELEVATION**

SCALE:  $\frac{1}{4}'' = 1'-0''$

**SOUTH ELEVATION**

SCALE:  $\frac{1}{4}'' = 1'-0''$

DATE:  
APR 3, 2007  
SHEET:  
1

OF: 2