

ORDINANCE NO. F-1279

AN ORDINANCE GRANTING A FRONT YARD SETBACK VARIATION
ON PROPERTY COMMONLY KNOWN AS
1211 WEBSTER AVENUE/SCHMELA

WHEREAS, written application has been made requesting a variation from the provisions of Article 9.2.5 of the Wheaton Zoning Ordinance to allow the construction of a second-story addition over an existing garage and the construction of a covered front porch with a front yard setback of 34.0 feet in lieu of the required 44.3 feet on certain property legally described herein and commonly known as 1211 Webster Avenue, Wheaton, Illinois; and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on May 7, 2007, to consider the variation request; and the Planning and Zoning Board has recommended approval of the zoning variation.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

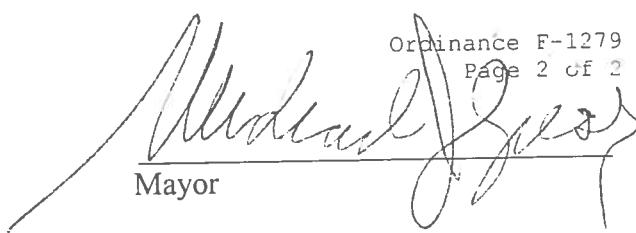
Section 1: Pursuant to the Findings of Fact made and determined by the Wheaton Planning and Zoning Board, a front yard setback of 34.0 feet in lieu of the required 44.3 feet is granted in full compliance with the plans entitled "*Schmela Residence, 1211 Webster, Wheaton, Illinois 60187*" prepared by *Romack Associates, Wheaton, Illinois 60187, sheets 1 to 3, dated March 5, 2007*, to allow construction of a second-story addition and covered front porch to an existing house on the following-described real estate:

LOT 34 IN CADILLAC REALTY CO.'S SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 9, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF RECORDED MAY 2, 1955 AS DOCUMENT 755134, IN DUPAGE COUNTY, ILLINOIS.
P.I.N. 05-09-404-036

This property is commonly known as 1211 Webster Avenue, Wheaton, IL 60187.

Section 2: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 3: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.



Michael Gresk

ATTEST:

Emily M. Canalewski
City Clerk

Roll Call Vote:

Ayes: Councilman Levine
Mayor Gresk
Councilman Mouhelis
Councilman Prendiville
Councilman Suess
Councilwoman Corry
Councilman Johnson

Nays: None

Absent: None

Motion Carried Unanimously

Passed: May 21, 2007
Published: May 22, 2007



FRED BUCHOLZ

Du Page County Recorder
421 North County Farm Road
Wheaton, IL 60187

(630) 407-5400



FRED BUCHOLZ
DUPAGE COUNTY RECORDER
JUN.27,2007 3:28 PM
05-09-404-036
OTHER 004 PAGES R2007-119900

RECORDING COVER PAGE

DEED **OTHER** **UCC** **PLAT** **RE-RECORD**

***Please note - This cover page has been attached to the document for recording purposes. It is a permanent part of the document and has been included in the page count.**

general notes

1. ALL FLOOR JOISTS SHALL BE # 2 DOMESTIC HEM-FIR OR # 2 CANADIAN SPRUCE PINE FIR OR BETTER WITH BRACING L.I.C. OR PLANS.
2. FOOTING SIZES REQ'D: 6" x 15" SUPPORTING FRAME
10" x 12" SUPPORTING BRICK VENEER
DESIGN SEAT BEARING CAPACITY = 3000 PSF
3. FOUNDATION WALLS SHALL BE 10" THICK UNDER BRICK VENEER AND 8" THICK UNDER FRAME CONSTRUCTION
4. NO MORE THAN 4" PERMITTED BETWEEN RAILING BALLASTERS OR OTHER CONSTRUCTION ON BSMT. STAIR
5. NO MORE THAN 12'-0" PERMITTED BETWEEN ELECTRICAL RECEPTACLES AND THEY SHALL BE LOCATED NO MORE THAN 18"-0" FROM AN OPENING IN A WALL
6. PROVIDE A (1) HOUR FIRE SEPARATION AT WALLS AND CEILINGS IN BARGE COMMON TO RESIDENCE.
7. INSTALL (1) ELECTRIC FIRE AND SMOKE DETECTOR ON EACH FLOOR, INCLUDING BASEMENT, AND EACH BEDROOM WIRED IN SERIES FOR SIMULTANEOUS ACTION. 110V INTERCONNECTED WHICH IS FOR EACH SLEEPING ROOM.
8. INSTALL TYPE "L" COPPER OR BETTER WATER DISTRIBUTION PIPE.
9. VENT THE ROOF RAFTER AREA, CATHEDRAL (VAULTED) CEILING, AND SKYLIGHTS W/ ADEQUATE AIR CIRCULATION.
10. ALL FIREPLACE HEAVENS MUST EXTEND A MINIMUM OF 18" FROM THE FIREPLACE AND 8" TO THE SIDES (FIREPLACE LIP MUST SWING OUT)

11. ALL FRAMING DRILLED FOR PLUMBING VENTS OR SIMILAR HOLES SHALL BE A MINIMUM OF 2 1/2 STUDS IN LIEU OF 2 X 4 STUDS.
12. ALL DRAFTSTOPPING TO COMPLY WITH 1995 CAL/BO. CODE 504.1.1 AND FIRESTOPPING TO COMPLY WITH 1995 C.A.B.O.
13. ALL GLAZING TO FOLLOW 1995 C.A.B.O. CODE AS REQUIRED. WINDOWS SHALL BE PELLA OR EQUAL.
14. THE GENERAL CONTRACTOR SHALL REVIEW DWGS. FOR ACCURACY AND THE DESIGNER/ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES AND/OR POTENTIAL PROBLEMS BETWEEN DRAWINGS, THESE NOTES, AND FIELD CONDITIONS THEREON BEFORE COMMENCING WORK.
15. DESIGNER IS NOT RETAIRED FOR ON-SITE CONSTRUCTION OBSERVATION, CONSTRUCTION METHODS, AND SAFETY PROCEDURES. THESE NOTES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUBCONTRACTORS.
16. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE SOLIDLY RESPONSIBLE FOR FULLY UNDERSTANDING THE DRAWINGS, NOTES, AND IMPLICIT DETAILS NECESSARY TO COMPLETE THE WORK.
17. ALL BEARING HEADERS SHALL BE 2-21/2" W/ 1/2" PLWM. FOR 2x4 WALLS, AND 3-21/2" W/ 1/2 PLWM. BETWEEN FOR 2x6 WALLS, UNLESS OTHERWISE NOTED. SEE DETAIL FOR FLUSH HEADERS.

12. PROVIDE DOUBLED JOISTS UNDER PARALLEL PARTITIONS, TUBS, SHOWERS, AND CANTILEVERS. FOR MECHANICAL ACCESS REQUIRED DBL JOISTS MAY BE SPACED NO MORE THAN 4' APART. PROVIDE SOLID BLOCKING, BRIDGING, AND NAILING AS REQ'D BY BORING CO.ES.

13. ALL PENETRATIONS THROUGH ANY SURFACE SHALL BE THOROUGHLY SEALED WITH APPROVED SEALANT MATERIAL, TO COMPLY WITH BUILDING AND FIRE SAFETY CODES.

14. FIREPLACES SHALL COMPLY WITH THE LATEST INSTALLATION REQUIREMENTS OF THE COUNTY.

15. BRICK SHALL BE SUPPLIED AND INSTALLED FOR THE LATEST STANDARDS OF THE BRICK INSTITUTE OF AMERICA. STEEL LINTELS SHALL EXTEND 6" EACH SIDE BEYOND OPENING. STANDARD LINTEL SIZES ARE:
NO SUPERPOSED LOADS

MAX. CLEAR SPAN	EXTERIOR ANGLES
4'-0"	3 1/2" x 3 1/2" x 5/16"
5'-0"	4" x 3 1/2" x 5/16"
6'-0"	5" x 3 1/2" x 5/16"
10'-0"	6" x 3 1/2" x 3/8"

16. SUPPLY AND INSTALL THE PLUMBING SYSTEM PER REQUIREMENTS OF THE 1998 ILLINOIS STATE PLUMBING CODE WITH THE 14 AMENDMENTS.
17. SUPPLY AND INSTALL THE ELECTRICAL SYSTEM PER THE REQUIREMENTS OF THE 1998 NATIONAL ELECTRICAL CODE. PROVIDE GROUND FAULT CIRCUIT INTERRUPTER PROTECTION AT ALL BATHROOM, EXTERIOR, GARAGE, KITCHEN OUTLETS (WITHIN 8' OF SINK), AND BASEMENT (SINGLE DEDICATED OUTLETS FOR SWIM AND FURNACE NOT GFI). WHIRLPOOL TO FOLLOW 1998 NATIONAL ELECTRICAL CODES.
18. SUPPLY AND INSTALL THE HVAC SYSTEM PER THE REQUIREMENTS OF THE 1998 BOCA MECHANICAL CODE AND THE LATEST STANDARDS OF SMACNA AND ASHRAE. PROVIDE HEATING CAPABLE OF MAINTAINING 70°F - 10°F W/ 15 MPH WINDS. IF COOLING IS PROVIDED, COOLING SHALL BE CAPABLE OF MAINTAINING A 15 DEGREE TEMP. DIFFERENTIAL. PROVIDE CONTROLS THAT MAINTAIN HUMIDITY WITHIN THE COMFORT ENVELOPE AS DEFINED IN ASHRAE 55. SHALL BE SELECTED, VERIFY W/ GOVERNING CODES. LOCATIONS SIZE, AND QUANTITY OF DUCTS, SUPPLY AND RETURN VENTS, AND FURNACES TO BE VERIFIED BY HEATING

9. ALL FOUNDATIONS EXCAVATIONS SHALL BE EXTENDED TO A DEPTH REQUIRED TO REACH SOILS HAVING A MIN. BEARING CAPACITY OF 2500 PSF. ALL EXCAVATIONS SHALL BE FIELD VERIFIED BY A GEOTECHNICAL ENGINEER AT THE TIME OF EXCAVATION FOR ADEQUATE BEARING SOIL.
10. ALL CONCRETE WORK SHALL COMPLY W/ THE REQUIREMENTS OF THE ACI, LATEST EDITION.
11. ALL CONCRETE SHALL HAVE THE FOLLOWING 28 DAY ULTIMATE COMPRESSIVE STRENGTHS: FOUNDATIONS: 3000 PSI. GLASS: 4000 PSI.
12. ALL STEEL WORK SHALL COMPLY W/ THE REQUIREMENTS OF THE AISI, LATEST EDITION. ALL STRUCTURAL STEEL SHALL BE ASTM 36.
13. CONTRACTOR SHALL FIELD VERIFY ALL DIM. AND ELEVATIONS PRIOR TO FABRICATION OF ALL STEEL COMPONENTS.
14. ALL WELDING SHALL COMPLY W/ THE REQUIREMENTS OF THE AWS, LATEST EDITION. ALL STRUCTURAL STEEL SHALL BE ASTM 36.
15. DO NOT BACKFILL UNTIL THE CONCRETE FOUNDATION HAS CURED PER ACI STANDARDS AND THE FIRST FLOOR JOISTS AND DECKING ARE IN PLACE. ARCHITECT ASSUMES NO RESPONSIBILITY IF BACKFILLED.

electrical key

120 V. DUPLEX OUTLET Recessed Incand.

220 V. OUTLET Ceiling Incand.

1 THERMOSTAT Pull Chain

1 DIMMER Fluorescent

1 DOOR BELL Wall Mount Incand.

1 SINGLE POLE SWITCH Exhaust Fan

1 THREE WAY SWITCH Motor

1 SPEAKER OUTLET Smoke Detector

1 TELEPHONE OUTLET Location by Owner

1 EXIT SIGN Existing Device

1 TV ANTENNA OUTLET Remove or Relocate

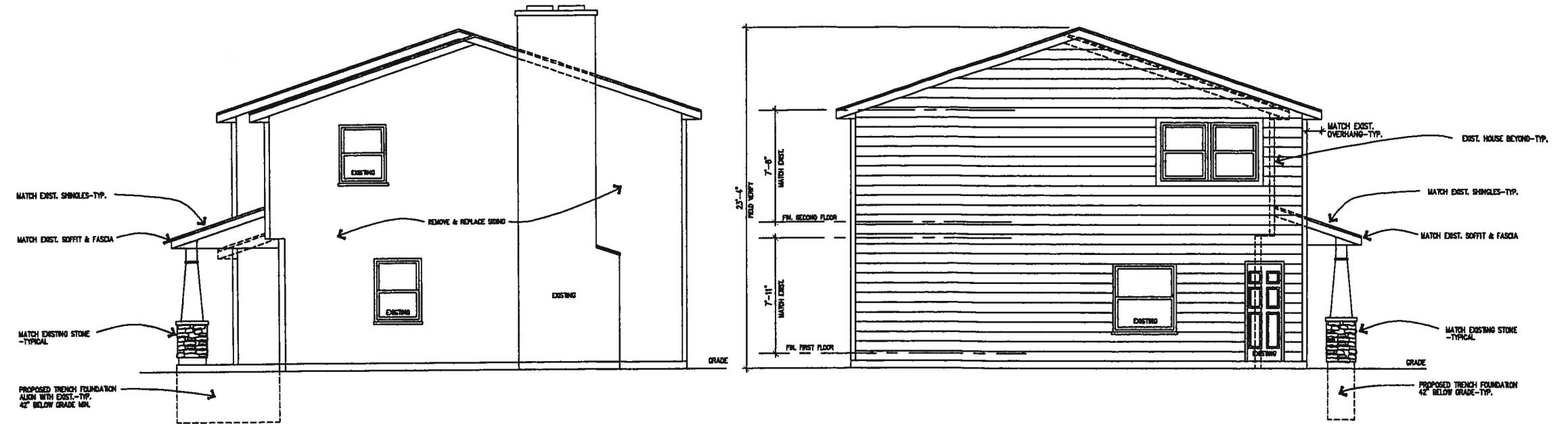
1 JUNCTION BOX

REVERSE RECESSED INCANDESCENT LIGHT FIXTURE WITH SOLID LENS OR FLUORESCENT IN ALL CLOSETS 2'-0" DEEP OR LESS.
 RECESSED CAN FIXTURES SHALL HAVE LENS COVERS AND BE NO
 LESS THAN 5' HORIZONTALLY IN FRONT OF CLOSET SHELF OR STORAGE
 AREA IN COMPLIANCE WITH 1987 NATIONAL ELECTRIC CODE SECT. 410-8
 AND SHADE DETECTORS SHALL BE HARDWIRED AND
 INTERCONNECTED FOR SIMULTANEOUS ACTUATION. PROVIDE A
 MINIMUM OF ONE DETECTOR PER FLOOR AS SHOWN ON PLAN
 ELECTRICAL INSTALLATION SHALL BE PER THE NATIONAL
 ELECTRIC CODE AND PER ANY LOCAL ORDINANCES.

JOIST & SPACING		MAXIMUM SPAN	
		NON-SLEEPING ROOMS	SLEEPING ROOMS
L / 360	100' LL - 100' DL	100' LL - 100' DL	
6' 6" AT 12" O.C.	13'-2"	14'-6"	
6' 6" AT 18" O.C.	12'-0"	13'-2"	
10' AT 12" O.C.	16'-10"	18'-6"	
10' AT 18" O.C.	15'-2"	18'-10"	
10' AT 18" O.C. L. EVERY OTHER JOIST	15'-8"	17'-5"	
12' AT 12" O.C.	20'-6"	22'-6"	
12' AT 18" O.C.	17'-7"	19'-8"	
12' AT 18" O.C. L. EVERY OTHER JOIST	19'-1"	21'-6"	
TA-150 AT 12" O.C.	20'-1"		
TA-150 AT 18" O.C.	18'-4"		

NONDE DBL. FLOOR JOIST BELOW ALL PARALLEL
SUTTIONS, UNLESS NOTED OTHERWISE ON PLANS.
FLOOR JOISTS SHALL BE #2 DOMESTIC HEM-FIR
OR #2 CANADIAN SPRUCE PINE FIR OR BETTER.
NONDE CROSS BRIDGING AT MAX. 8'-0" O.C.

RIGHTS RESERVED
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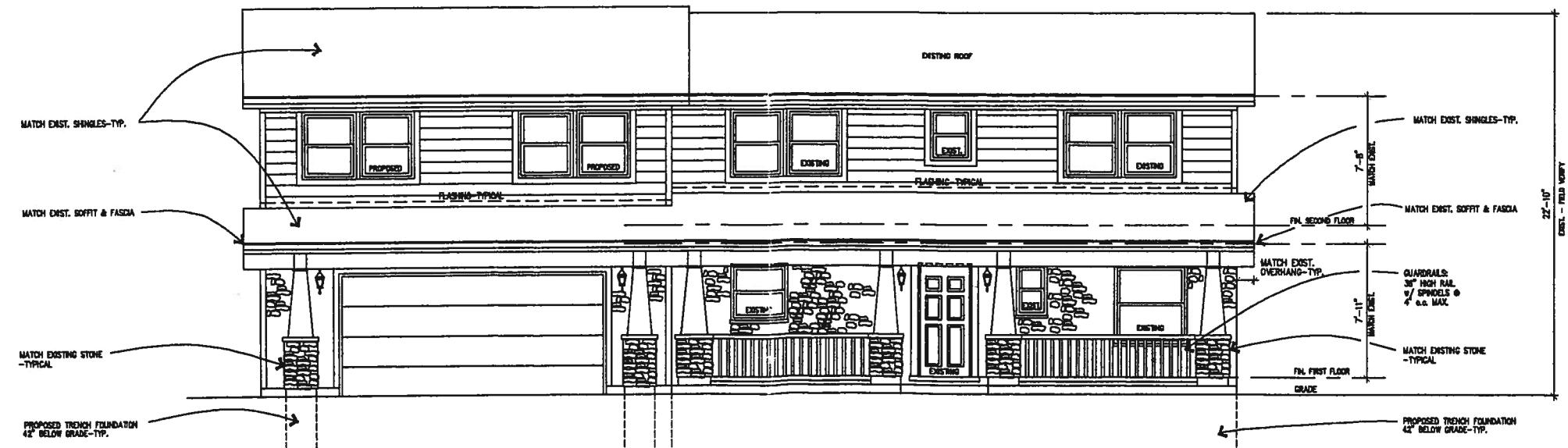


RIGHT ELEVATION

PROPOSED PLAN

LEFT ELEVATION

PROPOSED PLAN



FRONT ELEVATION

PROPOSED PLAN

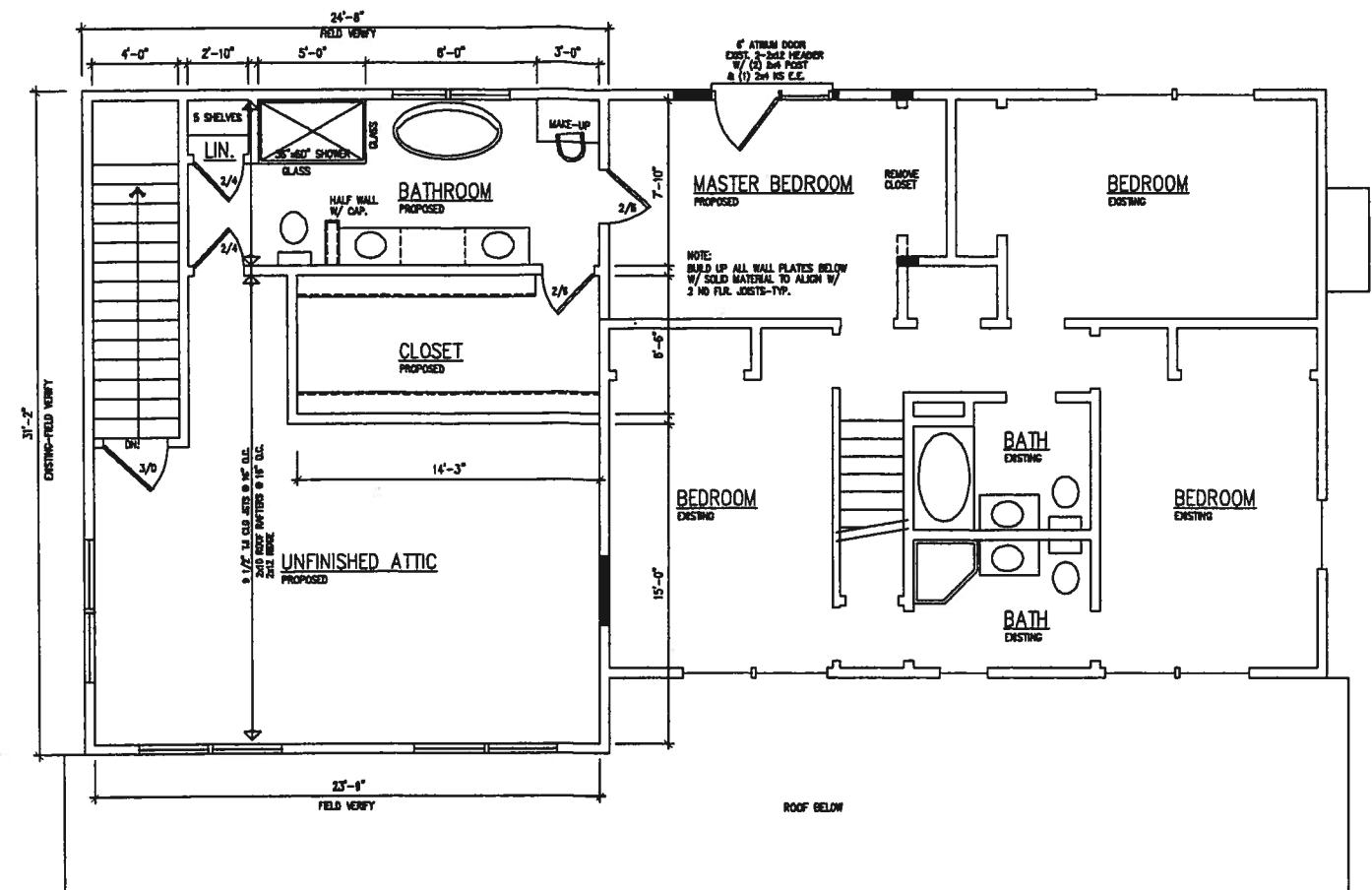
ADDITION: SCHMELA RESIDENCE
11211 WEBSTER WHEATON, ILLINOIS 60187

BRANCH	JDR
DATE	8.8.87
PROJECT	SCHMIDLA
SCALE	1/4" = 1'-0"

SHEET

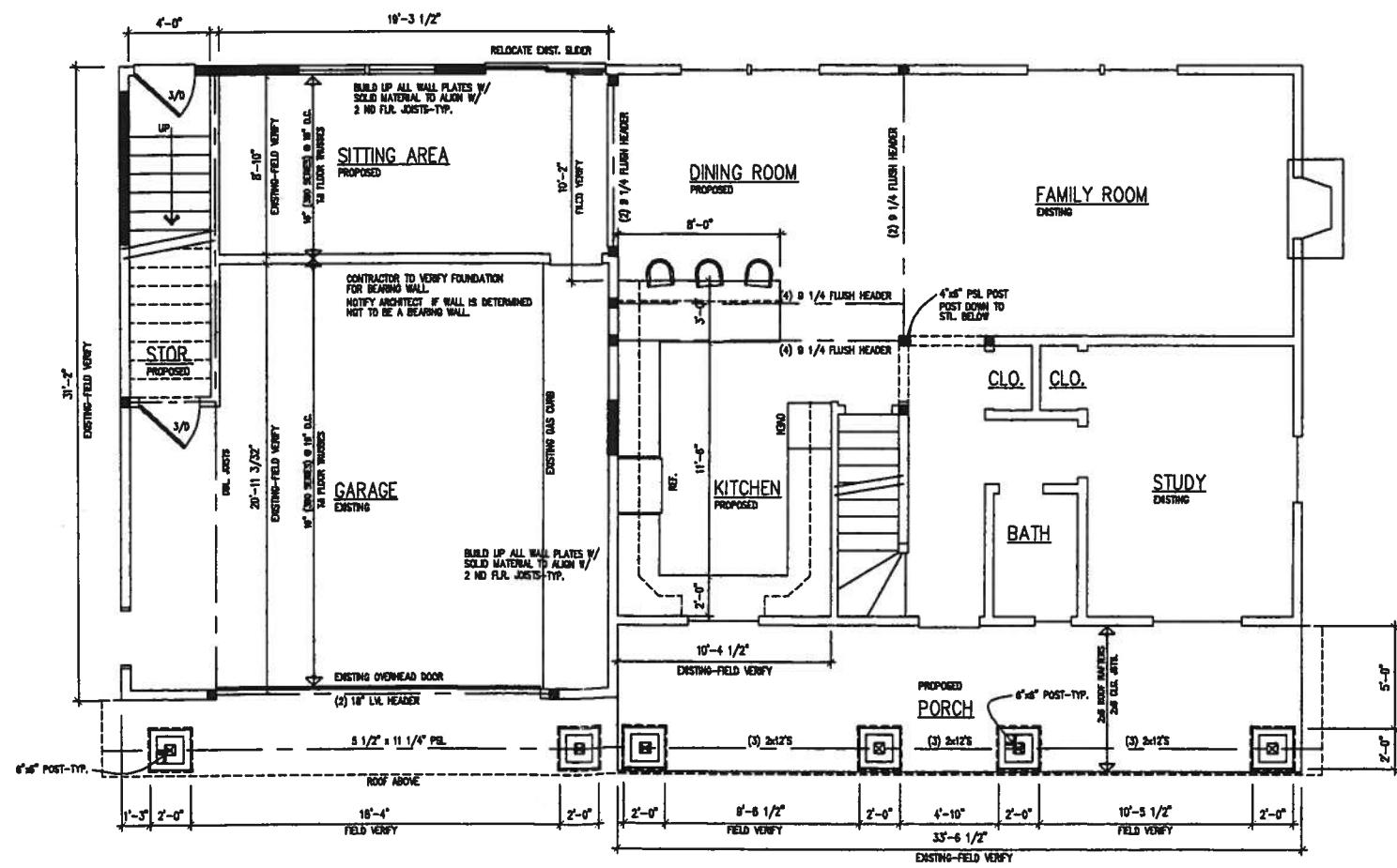
1

ELEVATIONS



SECOND FLOOR PLAN

PROPOSED PLAN

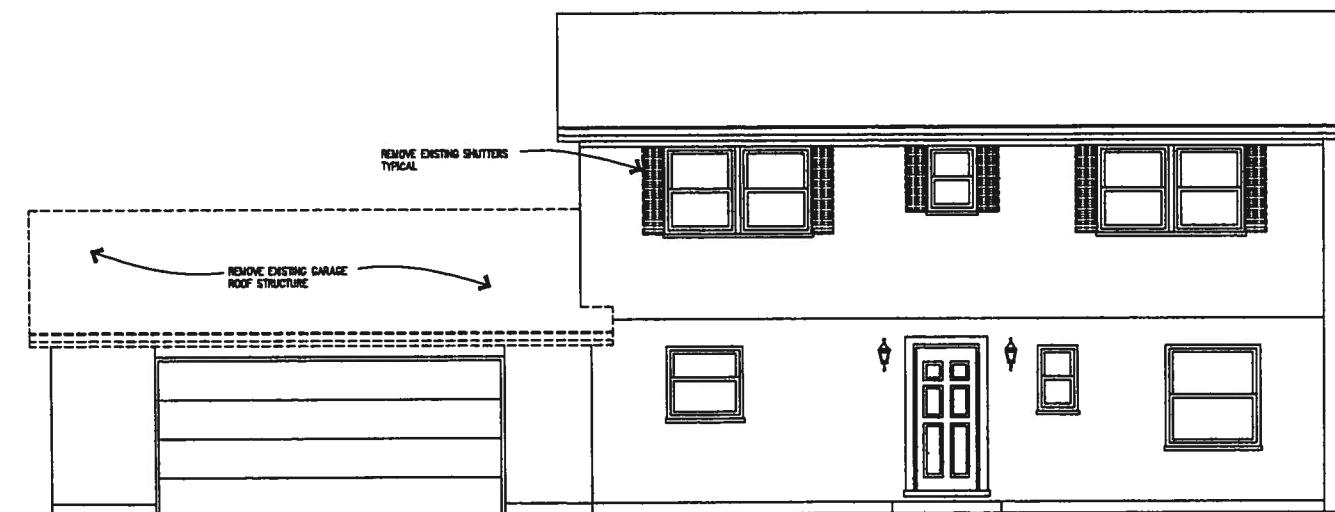


FIRST FLOOR PLAN

PROPOSED PLAN

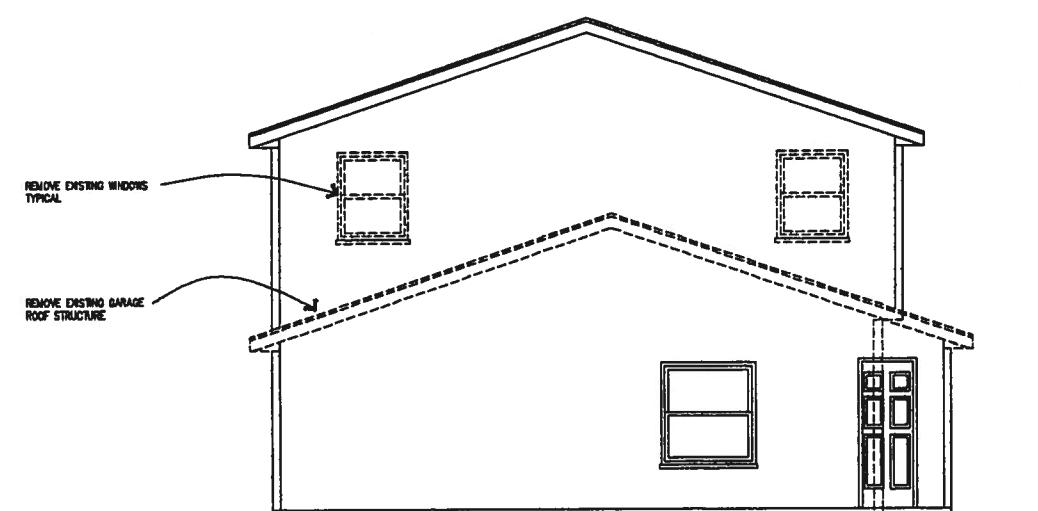
SCHMELA RESIDENCE
12111 WEBSTER
WHEATON, ILLINOIS 60187

NAME	BB
TE	33.07
OBJECT	ECHMELA
ANGLE	$1/4'' = 1'-0''$



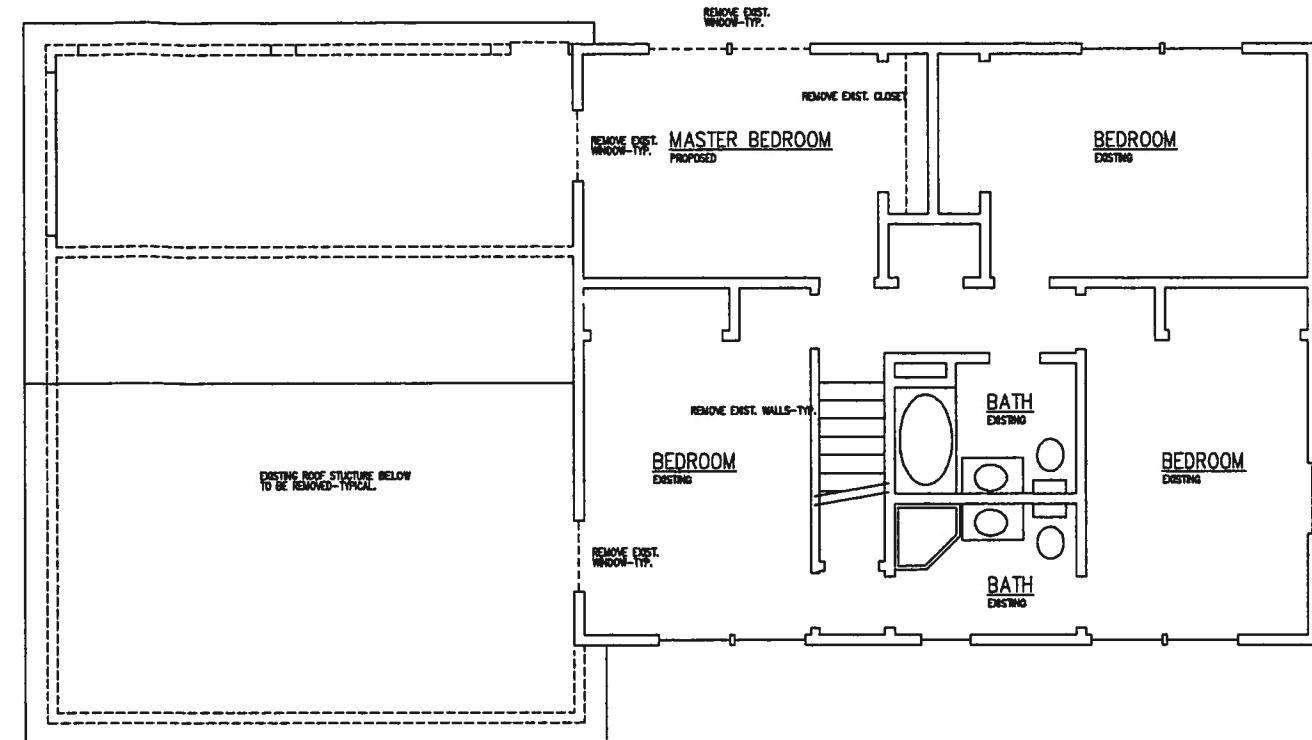
FRONT ELEVATION

EXISTING PLAN



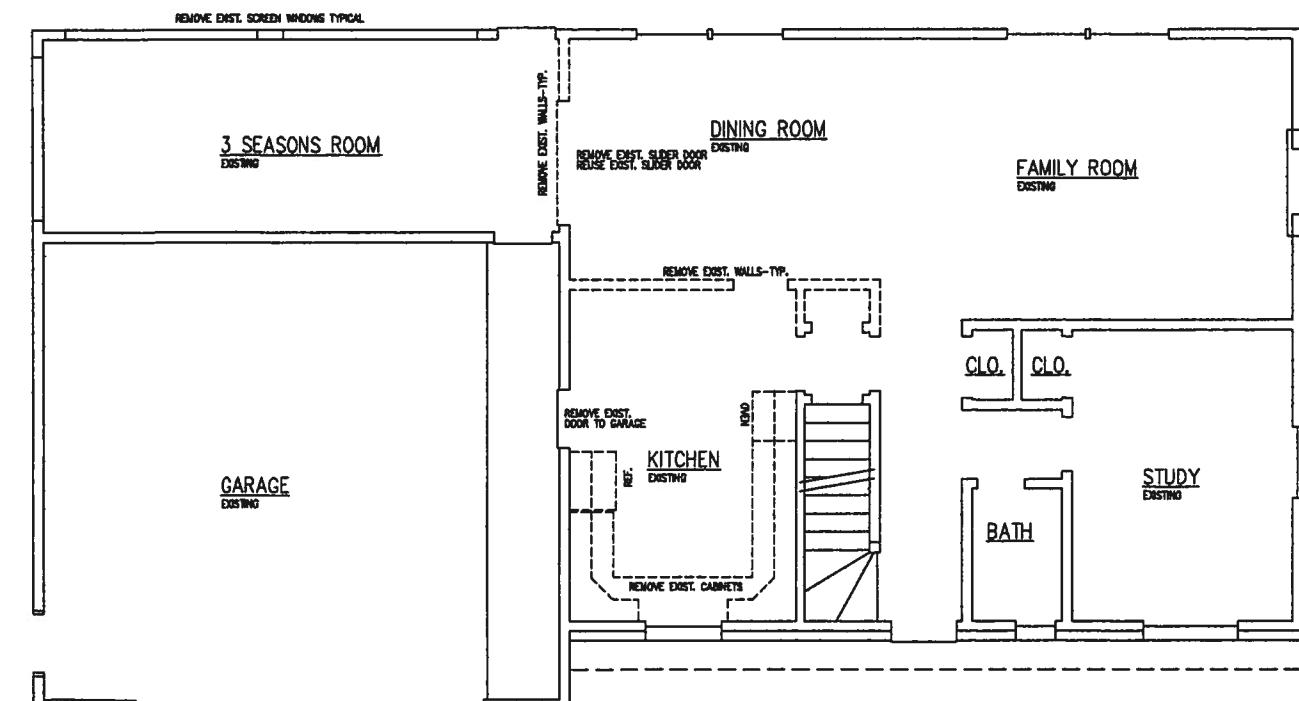
LEFT ELEVATION

EXISTING PLAN/DEMOLITION PLAN



SECOND FLOOR PLAN

EXISTING PLAN/DEMOLITION PLAN



FIRST FLOOR PLAN

EXISTING PLAN/DEMOLITION PLAN

DEPARTMENT OF PLANNING AND DEVELOPMENT
WEBSTER, ILLINOIS 60187
ALL RIGHTS RESERVED
SCHMELA RESIDENCE
1211 WEBSTER
WHEATON, ILLINOIS 60187
REVISIONS - CITY OF WHEATON

ADDITION:
SCHMELA RESIDENCE
1211 WEBSTER
WHEATON, ILLINOIS 60187

DRINK: AIR
DATE: 3.8.07
PROJECT: SCHMELA
SCALE: 1/8" = 1'-0"
ELEVATIONS
EXIST./DEMOLITION

3
ELEVATIONS
EXIST./DEMOLITION