ORDINANCE NO. F- 1175

AN ORDINANCE AMENDING THE WHEATON ZONING MAP BY GRANTING A SPECIAL USE PERMIT FOR PLANNED UNIT DEVELOPMENT- 2175 W. ROOSEVELT ROAD/MCDONALD'S CORPORATION

WHEREAS, written application has been made to amend the Zoning Map, which is attached to and forms a part of the Zoning Ordinance of Wheaton, Illinois, by the issuance of a special use permit for a Planned Unit Development in order to allow for the demolition of an existing Mc Donald's restaurant and the construction of a new approximately 6100 square foot, restaurant and indoor play place building with two (2) drive-through facilities and a fifty (50) space parking lot, all on the property legally described herein within the city limits of Wheaton, Illinois, and commonly known as 2175 W. Roosevelt Road; and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on April 25 and May 9, 2006, to consider the issuance of the special use permit; and the Board has recommended the issuance of the special use permit for planned unit development;

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: The following described property has been and continues to be zoned and classified in the C-5 Planned Commercial District zoning classification:

> LOTS 1 AND 2 IN MCDONALD'S SUBDIVISION OF PART OF BLOCK 19 IN WHEATON PARK MANOR, IN THE SOUTWEST ¼ OF SECTION 18, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID MCDONALD'S SUBDIVISION RECORDED JUNE 5,1984 AS DOCUMENT R84-42569 (EXCEPTING FROM SAID LOT 1 THAT PART DESCRIBED AS BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 1; THENCE NORTH ALONG THE WEST LINE OF SAID LOT 1 A DISTANCE OF 76.69 FEET TO A POINT; THENCE SOUTHEASTERLY ALONG A TANGENTIAL CURVE CONCAVE TO THE EAST, RADIUS 70.0 FEET, CENTRAL ANGLE OF 95 DEGREES 13 MINUTES 24 SECONDS116.32 FEET TO A POINT ON THE SOUTH LINE OF SAID LOT 1; THENCE WEST ALONG THE SOUTH LINE OF SAID LOT 1 A DISTANCE OF 76.69 FEET TO THE POINT OF BEGINNING), IN DUPAGE COUNTY, ILLINOIS.
>
> P.I.N. 05-18-312-024, 05-18-312-029

This property is commonly known as 2175 W. Roosevelt Road, Wheaton, IL 60187 ("subject property").

Section 2: Pursuant to the Findings of Fact made and determined by the Planning and Zoning Board, a special use permit is hereby issued to allow for the construction and use of a

Planned Unit Development to allow for the demolition of an existing Mc Donald's restaurant and the construction of a new approximately 6100 square foot, restaurant and indoor play place building with two (2) drive-through facilities and a fifty (50) space parking lot on the subject property, in full compliance with the Site Plan prepared by Compass Consulting Group dated March 14,2006 and bearing a last date of revision of June 5,2006, the Landscape Plan prepared by Couture Landscape Construction dated March 14, 2006 and bearing a last date of revision of April 25, 2006, the Preliminary Engineering Plans prepared by Compass Consulting Group dated March 14,2006, and the Building Elevation Plans prepared by McDonalds USA, LLC. dated March 22, 2006, and in further compliance with the following conditions, restrictions, and requirements:

1. EIFS shall only be used on the building above the accent band.

2. Owner shall be allowed to install two electronic changeable message signs at each entrance to their property. Said signs shall not exceed 48 square feet in size or 7 feet in height.

3. Owner shall submit a plat of consolidation to the City; the plat shall be subject to the reasonable approval of the City.

4. Developer shall enter into a Fire Lane Designation and Enforcement Agreement with the City in substantial compliance with Exhibit "A".

Section 3: Demolition of the existing commercial improvement on the subject property is authorized and approved.

Section 4: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 5: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.

Mayor

ATTEST:

City Clerk,

ROLL CALL VOTE:

Ayes: Councilman Mouhelis
Councilman Suess
Councilman Bolds
Councilwoman Corry
Councilman Johnson
Mayor Carr

Councilman Levine

Nays: None
Absent: None

Motion Carried Unanimously

Passed: June **5,2006**
Published: June **6,2006**

EXHIBIT "A"

FIRE LANE DESIGNATION AND ENFORCEMENT AGREEMENT

THIS AGREEMENT is made and entered into this day of 2006, by and between the City of Wheaton, an Illinois Municipal Corporation, 303 W. Wesley Street, Wheaton, Illinois 60189 (hereinafter referred to as "CITY") and _____ (hereinafter referred to as "OWNER(S)"), OWNER(S) of the property located at _____, within the corporate limits of the City of Wheaton, Illinois (hereinafter referred to as "Subject Property"), and which is legally described below:

(MSERT LEGAL(S) AND P.I.N(S)

RECITALS

WHEREAS, the OWNER(S) desire to establish Fire Lanes upon the Subject Property to improve the health and safety of the citizens of Wheaton; and

WHEREAS, the CITY believes that it is in the best interests of the public health and safety that Fire Lanes be established, maintained and enforced upon the Subject Property.

NOW, THEREFORE, in consideration of the mutual covenants and obligations contained herein, the OWNER(S) and CITY agree to the following in regards to the Subject Property:

1. The CITY Fire Chief, Chief of Police or their designated representative and OWNER(S), shall identify the specific Fire Lane locations within the Subject Property which shall, pursuant to the terms of this Agreement and Ordinance No. be regulated. The specific locations of the Fire Lane(s) to be enforced shall be as set forth on the Site Plan ("Plan") attached hereto and fully incorporated into this Agreement as Exhibit " ". The CITY Fire Chief,

Chief of Police or their designated representative and OWNER(S) or designated representative may from time to time mutually agree to amend the Fire Lane(s) location(s) as set forth in the Site Plan. At such time, the Site Plan shall be amended and appended to this Agreement as an Amended Exhibit " ".

2. The OWNER(S) are responsible for providing any required pavement markings.

3. The OWNER(S), at their sole expense, shall be responsible for obtaining, erecting and maintaining the appropriate signage in accordance with applicable CITY and State of Illinois regulations and specifications.

4. The CITY shall inspect and approve the signage prior to entering into this Agreement. The CITY Fire Chief, Chief of Police or their designated representative may require additional signage and/or pavement markings, if it is later determined that the inspected and approved signage does not provide adequate notification of the established fire lanes.

5. Upon execution of this Agreement, the CITY will enforce the Fire Lane parking and standing prohibitions and the Fire Lane maintenance requirements contained in Sections 70-355 and 30-2 of the Wheaton City Code in regards to the Subject Property. No "special duty" to third persons shall be imposed by this Agreement. The CITY's enforcement obligation shall be legally the same as it is with all other ordinances.

6. This Agreement may be terminated by either party by providing not less than thirty (30) days notice to the other party of the intention to terminate this Agreement.

7. This Agreement shall be assignable by OWNER(S) to their successors in interest upon the sale or lease of the Subject Property.

8. The OWNER(S) hereby agrees to release and hold harmless, indemnify and defend (including the payment of all costs and attorneys' fees) the CITY, its Officers, Agents and

Employees, in connection with any and all actions or claims for any loss, damage, personal injury or death occurring as a consequence of the performance of this Agreement.

9. The sole remedy available to the OWNER(S), upon any breach of this Agreement by the CITY, shall be the termination of the Agreement. It is of the essence of this Agreement that the CITY shall not be liable in money damage for any breach of this Agreement.

10. Whenever notice to the CITY is required, it shall be addressed to:

City Clerk
City of Wheaton
303 West Wesley Street
Wheaton, IL 60189-0727

Whenever notice to the Owner is required, it shall be addressed to:

_____
_____
_____
_____

IN WITNESS WHEREOF, the parties hereto have executed this instrument by their duly authorized officers of the day and year first above written.

CITY OF WHEATON, ILLINOIS, a Municipal Corporation

BY: _____ ATTEST: _____
City Manager City Clerk

BY: _____ ATTEST: _____

NOTE: THESE PLANS ARE BASED ON THE TOPOGRAPHIC AND BOUNDARY SURVEY PREPARED BY:
GENTILE AND ASSOCIATES, INC.
550 E. ST. CHARLES PLACE
630-916-6282

NOTES

1. ALL PROPOSED IMPROVEMENTS ARE PARALLEL AND PERPENDICULAR TO THE NORTHERN PROPERTY LINE.
2. ALL RADIUS DIMENSIONS ARE TO BACK OF CURB.
3. SEE ARCH. PLANS FOR EXACT BUILDING DIMENSIONS.
4. ALL STRIPING TO BE 4" WHITE PAINT UNLESS OTHERWISE NOTED.
5. ENTIRE SITE TO BE RAZED PRIOR TO CONSTRUCTION.

SITE DATA

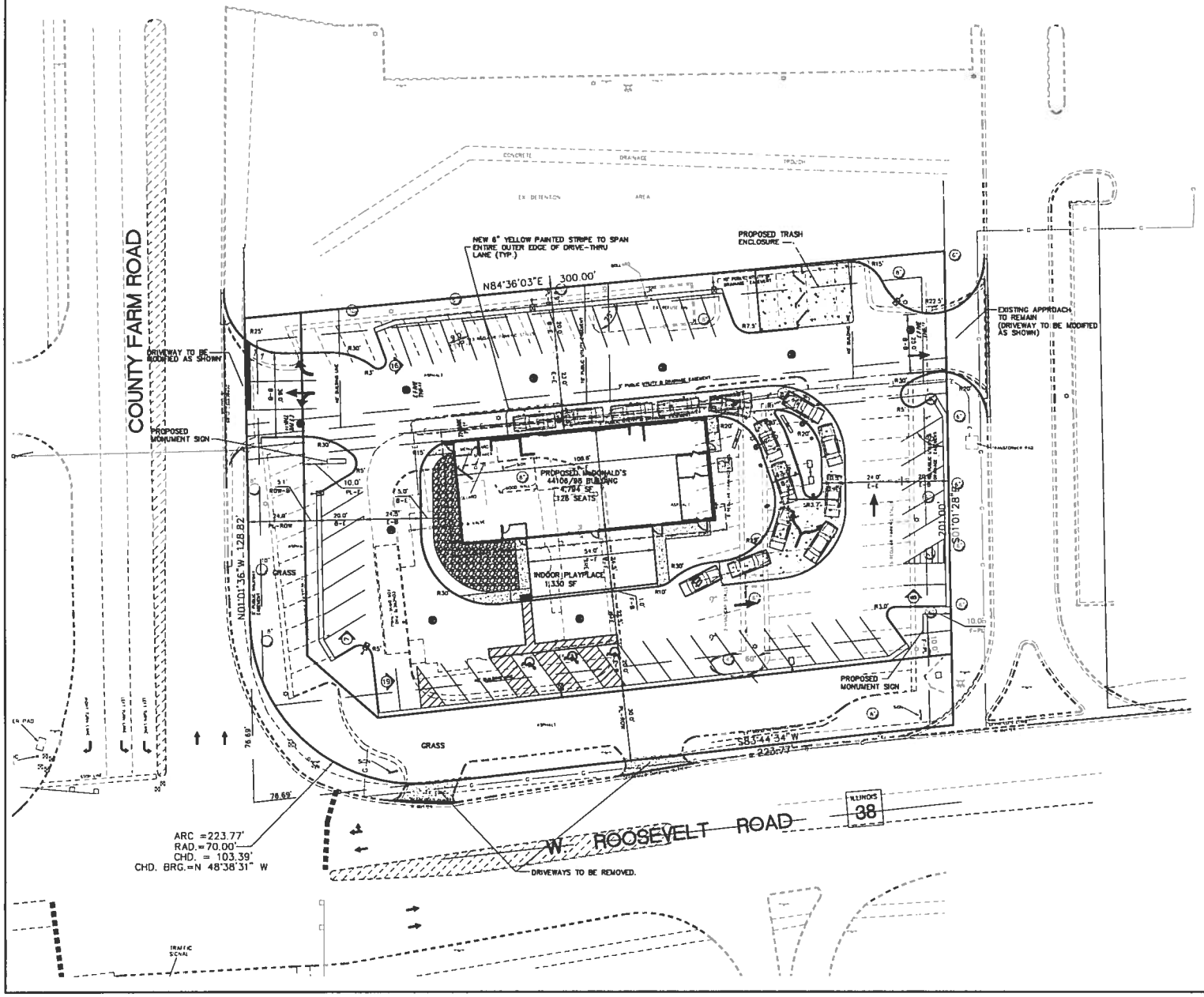
EXISTING LOT AREA =	59,500 S.F. (0.689 AC)
EXISTING McDONALD'S BUILDING AREA =	4,106 SF
PROPOSED McDONALD'S BUILDING AREA =	4,794 SF
PROPOSED INDOOR PLAYLAND AREA =	1,330 SF
TOTAL PROPOSED BUILDING AREA =	6,124 SF
F.A.R. =	0.1299
PROPOSED R.O.W. TAKING =	12,356 SF

PARKING DATA

EXISTING PARKING STALLS =	66
PROPOSED PARKING STALLS =	50
NET LOSS =	16

DRIVE-THRU DATA

DRIVE-THRU STACKING PROVIDED = 14 CARS



SITE PLAN

NO.	REVISIONS	DATE

Prepared For:

McDonald's Corporation
4320 Winfield Road, Suite 400
Warrenville, IL 60555

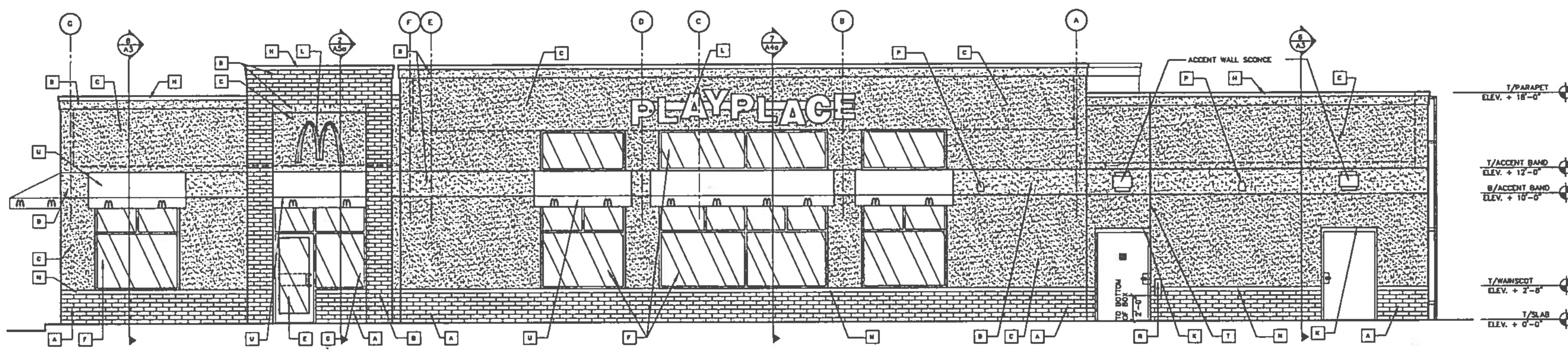
McDONALD'S - WHEATON, IL (LC #12-1749)
2175 West Roosevelt
Wheaton, Illinois

Prepared By:

COMPASS
Consulting Group, Ltd.
2831 Ginger Woods Parkway, Suite 100, Aurora, IL 60504
(630)820-9100 FAX: (630)820-7030
www.compassconsultinggroup.com

DESIGN BY: J. MILLER
DRAWN BY: K.S., S.P.
DATE: MARCH 14, 2006
SCALE: 1" = 20'
PROJECT NO: 05-140

A/A2 FRONT ELEVATION
1/4" = 1'-0"



B/A2 RIGHT SIDE ELEVATION
1/4" = 1'-0"

KEY NOTES: ANOOK_A1

- A — 4" FACE BRICK COLOR: MARSEILLES #321 SADDLE VELOUR CONTACT: ILLINOIS BRICK CO. CINO 708.912.8578
- B — 4" FACE BRICK COLOR: MARSEILLES #811 NAVAJO VELOUR CONTACT: ILLINOIS BRICK CO. CINO 708.912.8578
- C — EXTERIOR INSULATION FINISH SYSTEM COLOR: MATCH MARSEILLES #321 SADDLE VELOUR
- D — EXTERIOR INSULATION FINISH SYSTEM COLOR: MATCH MARSEILLES #811 NAVAJO VELOUR
- E — 1/4" TEMPERED SAFETY GLASS.
- F — 1" CLEAR INSUL. GLASS SET IN AN ANOD. ALUM. THERMAL BREAK WINDOW FRAME.
- G — 1" CLR. INSUL. TEMPERED GLASS SET IN AN ANOD. ALUM. THERMAL BREAK WINDOW FRAME
- H — METAL PARAPET CAP
- J — BREAK METAL CLOSURE TO MATCH WINDOW SYSTEM
- K — METAL DRIP EDGE ABOVE DOOR COORDINATE LOACATION W/ PROJECT MANAGER
- L — McDONALD'S SIGNAGE BY OTHERS – UNDER SEPARATE PERMIT.
- M — LOGO WINDOW WITH DECAL
- N — STONE SILL
- O — PIPE BOLLARD. SEE "SD" SHEETS. SEE NOTES ON SHEET A1.
- P — PAINT OVERFLOW DRAINS TO MATCH EIFS
- Q — METAL RAILING. SEE DETAIL 7/A7.
- R — FILL BOX. SEE NOTES ON SHEET A1.
- S — NOT USED
- T — CONTROL JOINT. SEE DETAIL 7/A8.
- U — FABRIC AWNINGS, COLORS TO BE SELECTED

REV	DATE	DESCRIPTION	BY

PREPARED FOR: McDonald's USA, LLC

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These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for use on this specific site in conjunction with its issue date and are not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the services of properly licensed architects and engineers. Reproduction of the contract documents for reuse on another project is not authorized.

PREPARED BY:

DRAWN BY: dob
STD ISSUE DATE: 03/22/06
REVIEWED BY: RAM
DATE ISSUED: 03/22/06

TITLE: 44-106 PROTO-CHICAGO REGION 2005 EIFS PARAPET EXTERIOR
DESCRIPTION: EIFS WITH BRICK VENEER – Steel Studs/Steel Roof Truss
GAS UTILITIES
SITE ID: 012-0824
SITE ADDRESS: 2175 W. ROOSEVELT ROAD WHEATON, IL

SHEET NO. A2
IBC
FLOOR PLAN

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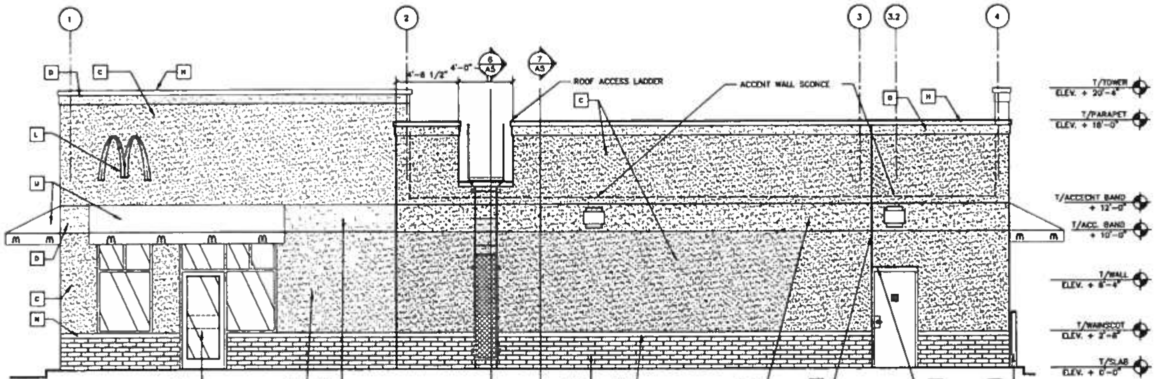
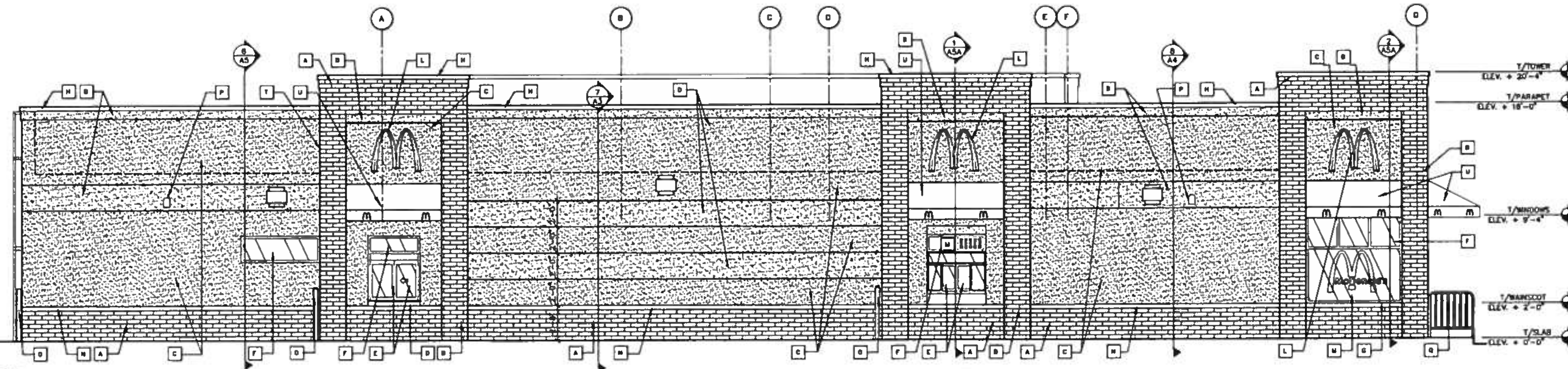


A
A2.1
REAR ELEVATION
1/4" = 1'-0"



B
A2.1
LEFT SIDE ELEVATION
1/4" = 1'-0"

KEY NOTES: ANOOK_A1

A	4" FACE BRICK COLOR: MARSEILLES #321 SADDLE VELOUR CONTACT: ILLINOIS BRICK CO. CINO 708.912.8578
B	4" FACE BRICK COLOR: MARSEILLES #811 NAVAJO VELOUR CONTACT: ILLINOIS BRICK CO. CINO 708.912.8578
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L	McDONALD'S SIGNAGE BY OTHERS – UNDER SEPARATE PERMIT.
M	LOGO WINDOW WITH DECAL
N	STONE SILL
O	PIPE BOLLARD. SEE "SD" SHEETS. SEE NOTES ON SHEET A1.
P	PAINT OVERFLOW DRAINS TO MATCH EIFS
Q	METAL RAILING. SEE DETAIL 7/A7.
R	FILL BOX. SEE NOTES ON SHEET A1.
S	NOT USED
T	CONTROL JOINT. SEE DETAIL 7/A8.
U	FABRIC AWNINGS, COLORS TO BE SELECTED

REV | DATE | DESCRIPTION | BY

PREPARED BY:

PREPARED FOR:
McDonald's USA, LLC
© 2006 McDonald's USA, LLC

DRAWN BY	dch
STD ISSUE DATE	03/22/06
REVIEWED BY	RAM
DATE ISSUED	03/22/06

TITLE
44–106 PROTO–CHICAGO REGION
2005 EIFS PARAPET EXTERIOR

DESCRIPTION
EIFS WITH BRICK VENEER – Steel Studs/Steel Roof Truss
GAS UTILITIES

SITE ID 012–0824
SITE ADDRESS 2175 W. ROOSEVELT ROAD WHEATON, IL

IBC
SHEET NO. A2.1
EXT. ELEVATIONS

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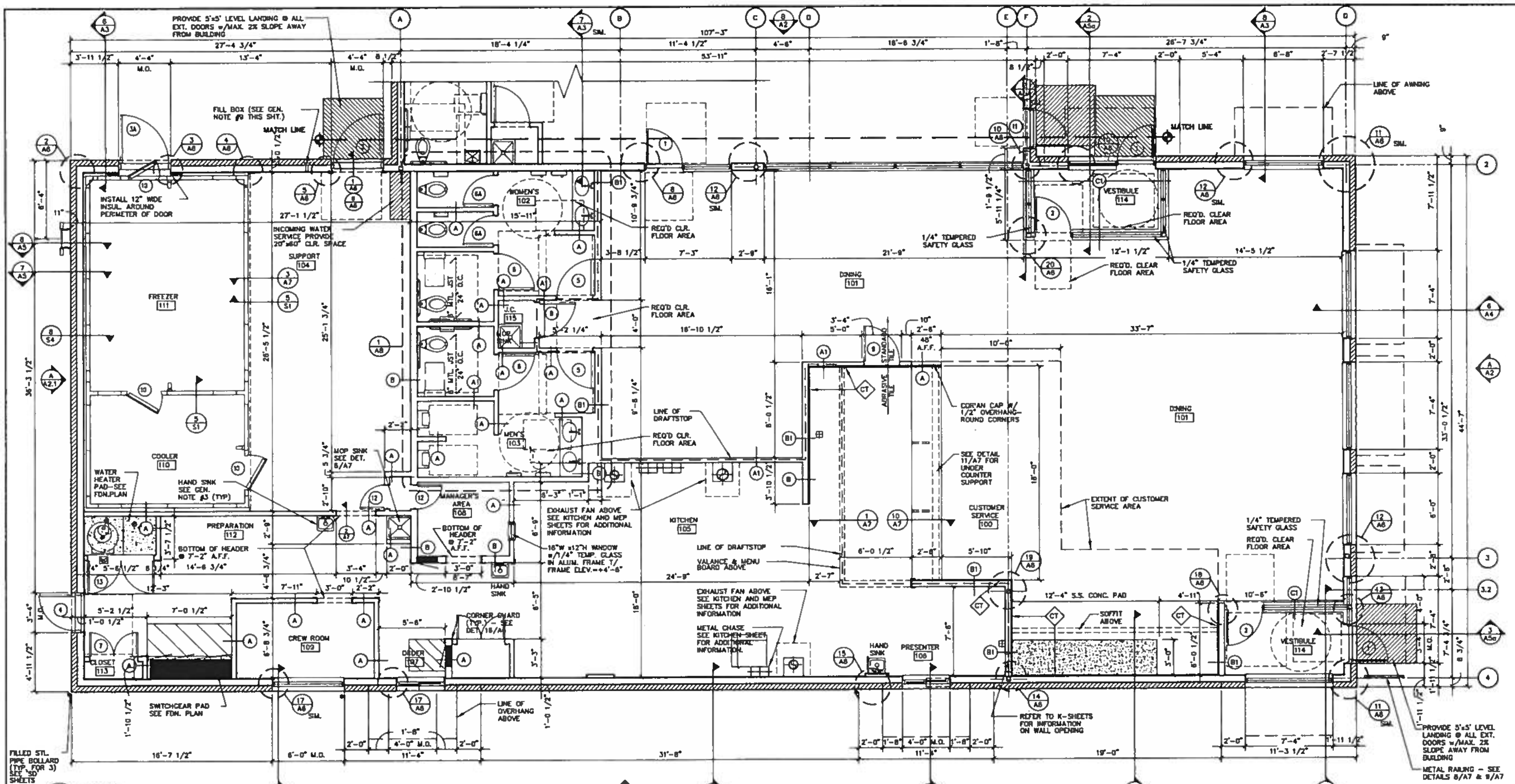


1 / A1 FLOOR PLAN
1/4"=1'-0"
XA-44106

GENERAL NOTES

1. EXTERIOR DIMENSIONS ARE TO COLUMN REFERENCE LINES AND/OR FACE OF FOUNDATION UNLESS OTHERWISE NOTED ASSUME 1/2" FINISH.
2. INTERIOR DIMENSIONS ARE TO FACE OF FINISH.
3. SEE FINISH SCHEDULE FOR LOCATIONS OF EQUIPMENT BACKUP SUPPORT. BACKUP SUPPORT TO BE 1/2" PLYWOOD FROM FLOOR TO 6" ABOVE FINISHED CEILING, SPANNING ENTIRE LENGTH OF WALL PER THE FINISH SCHEDULE.
4. SEE SHEET A7 FOR DOOR AND ROOM FINISH SCHEDULES. SEE ALSO SHEET A7 FOR P.O.S. MONITOR DETAIL.
5. SEATING PACKAGE SUPPLIED BY OTHERS.
6. DECOR CONTRACTOR TO PROVIDE TWO SPACE DEFINING SOFFITS, TO ENHANCE OVER-ALL DECOR SCHEME. SOFFIT LOCATIONS ARE DEFINED ON FLOOR PLAN BY PARTITION TYPES "D1" & "D2" AND ON REFLECTED CEILING PLAN, KEYNOTE #3. SEE DECOR DRAWINGS FOR FINAL "D" PARTITION LAYOUT/FINISHES AND SOFFIT INFORMATION.
7. SEE SITE PLAN FOR SIDEWALKS, RAMPS, ETC.
8. VIDEO CABINET & LOCKERS SUPPLIED BY OPERATOR, INSTALLED BY G.C.
9. MANAGER'S AREA PACKAGE SUPPLIED BY OPERATOR, INSTALLED BY G.C.
10. FILL BOX MTD. @ 36" ABOVE SLAB TO BOTTOM OF BOX. SUPPLIERS:
    a) CHART INDUSTRIES.(MVE .INC.), MODEL #8512829, TEL. # 612-853-9866 OR 800-247-4446
11. DRIVE-THRU WINDOW SUPPLIER:
    a. READY ACCESS: SERIES 275 – 47 1/2" x 43 1/2" TYPE "O-X" OR "X-O" TELEPHONE #800-621-5045.
    b. PROVIDE ELECTRIC OPENING OPTION.
12. PROVIDE "SURE TRED" QUARRY TILE AT FREEZER/COOLER FLOOR. APPLY MORTAR SETTING BED W/ 3/8" NOTCHED TROWEL IN A PARALLEL PATTERN (DO NOT APPLY IN A SWIRL OR SEMI-SWIRL PATTERN). SET TILES BY KEYING PERPENDICULAR TO TROWEL PATTERN TO ACHIEVE 100% COVERAGE.

    *DALTILE CORP "SURE-TRED" QUARRY TILE
    SETTING MATERIAL: KERABOND & KERALASTIC PREMIUM MODIFIED PORTLAND OR MANUF. APPROVED EQUAL
    CONTACT: MARI ANNE WOHLFEIL (847)228-9731
    SUMMITVILLE CORP – FLOOR MUST MEET PERFORMANCE SPEC SUMMITVILLE S-400 SETTING AND GROUTING EPOXY
    CONTACT: BRIAN RENNER (317)698-4025
13. G.C. TO PROVIDE 4"x4"x5'-0" HIGH STAINLESS STEEL CORNER GUARDS AT ALL EXPOSED LOCATIONS IN KITCHEN/SUPPORT AREA CORNERS STARTING AT FINISH FLOOR. ATTACH WITH WOOD SCREWS INTO WOOD BLOCKING, SEE DETAIL 16/A8.
14. DO NOT SCALE DRAWINGS.

EXTERIOR WALL ASSEMBLY
(REFER TO SHEETS A3–A5)

1. 4" BRICK WAINSCOT W/ STONE SILL & EIFS ABOVE.
2. BUILDING PAPER OVER FIRE RATED PLYWOOD SHEATHING (LAP BUILDING PAPER OVER ALL METAL FLASHING)
3. 6" METAL STUD FRAMING @ 16" O.C. (WITH DRAFTSTOP/FIRESTOP BLOCKING AT FINISH CEILING LEVEL, CONTINUOUS)
4. VAPOR BARRIER, PER REGIONAL REQUIREMENTS.
5. GYPSUM BOARD.
6. BATT INSULATION
7. SEE FINISH SCHEDULE & PARTITION SCHEDULE.

WINDOW ASSEMBLY
(REFER TO SHEETS A3–A5)

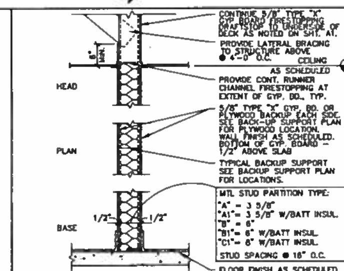
1. ANOD. ALUMINUM FRAME, THERMALLY BROKEN.
2. 1" INSULATED GLAZING. SEE SHEETS A2.0 AND A2.1 FOR LOCATIONS OF SAFETY GLASS.
3. PROVIDE FLASHING AT HEAD & SILL; CONTINUOUS SEALANT.
4. CORIAN SILL.

F/C WALL ASSEMBLY
(REFER TO SHEETS A3–A5)

1. FREEZER/COOLER PANEL ASSEMBLY BY "KOLPAK" CONSISTS OF A MIN. 28 GAUGE STEEL-FACED WALL & CEILING URETHANE INSULATED PANELS OF 4" MAX. THICKNESS. ASSEMBLY TO COMPLY WITH ALL LOCAL CODES.

LEGEND

- (A) PARTITION TYPE TAG SEE DETAIL 2/A1
- (3) DOOR TAG – SEE DOOR SCHEDULE ON SHEET A7
- ◇CT INDICATES CERAMIC WALL TILE @ CUSTOMER SERVICE AND KITCHEN SERVING AREAS – TO BE COORDINATED W/FINAL DINING DECOR SCHEME & McDONALD'S PROJECT MANAGER

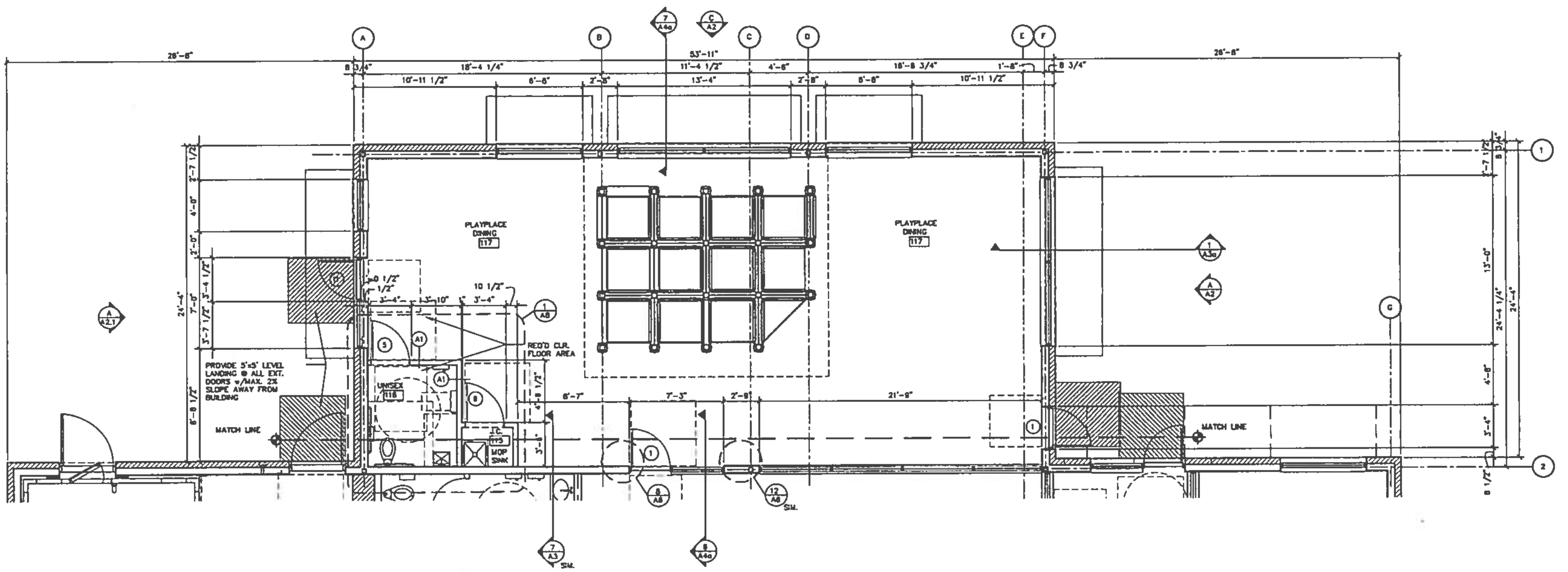


2 / A1 INTERIOR PARTITION
3/4"=1'-0"
A0510S90

McDonald's USA, LLC

44-106 PROTO-CHICAGO REGION
2005 EIFS PARAPET EXTERIOR

A1
FLOOR PLAN



PLAY PLACE FLOOR PLAN
1/4"=1'-0"
XA-44106

GENERAL NOTES

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4. SEE SHEET A7 FOR DOOR AND ROOM FINISH SCHEDULES. SEE ALSO SHEET A7 FOR P.O.S. MONITOR DETAIL.
5. SEATING PACKAGE SUPPLIED BY OTHERS.
6. DECOR CONTRACTOR TO PROVIDE TWO SPACE DEFINING SOFFITS, TO ENHANCE OVER-ALL DECOR SCHEME. SOFFIT LOCATIONS ARE DEFINED ON FLOOR PLAN BY PARTITION TYPES "D1" & "D2" AND ON REFLECTED CEILING PLAN, KEYNOTE #3. SEE DECOR DRAWINGS FOR FINAL "D" PARTITION LAYOUT/FINISHES AND SOFFIT INFORMATION.
7. SEE SITE PLAN FOR SIDEWALKS, RAMPS, ETC.
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9. MANAGER'S AREA PACKAGE SUPPLIED BY OPERATOR, INSTALLED BY G.C.
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    b. PROVIDE ELECTRIC OPENING OPTION.
12. PROVIDE "SURE TRED" QUARRY TILE AT FREEZER/COOLER FLOOR. APPLY MORTAR SETTING BED W/ 3/8" NOTCHED TROWEL IN A PARALLEL PATTERN (DO NOT APPLY IN A SWIRL OR SEMI-SWIRL PATTERN). SET TILES BY KEYING PERPENDICULAR TO TROWEL PATTERN TO ACHIEVE 100% COVERAGE.

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14. DO NOT SCALE DRAWINGS.

EXTERIOR WALL ASSEMBLY
(REFER TO SHEETS A3-A5)

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2. BUILDING PAPER OVER FIRE RATED PLYWOOD SHEATHING (LAP BUILDING PAPER OVER ALL METAL FLASHING)
3. 6" METAL STUD FRAMING @ 16" O.C. (WITH DRAFTSTOP/FIRESTOP BLOCKING AT FINISH CEILING LEVEL, CONTINUOUS)
4. VAPOR BARRIER, PER REGIONAL REQUIREMENTS.
5. GYPSUM BOARD.
6. BATT INSULATION
7. SEE FINISH SCHEDULE & PARTITION SCHEDULE.

WINDOW ASSEMBLY
(REFER TO SHEETS A3-A5)

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4. CORIAN SILL.

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1. FREEZER/COOLER PANEL ASSEMBLY BY "KOLPAK" CONSISTS OF A MIN. 26 GAUGE STEEL-FACED WALL & CEILING URETHANE INSULATED PANELS OF 4" MAX. THICKNESS. ASSEMBLY TO COMPLY WITH ALL LOCAL CODES.

LEGEND

(A) — PARTITION TYPE TAG SEE DETAIL 2/A1
(7) DOOR TAG - SEE DOOR SCHEDULE ON SHEET A7
(CT) INDICATES CERAMIC WALL TILE @ CUSTOMER SERVICE AND KITCHEN SERVING AREAS - TO BE COORDINATED W/FINAL DINING DECOR SCHEME & McDONALD'S PROJECT MANAGER

REV	DATE	DESCRIPTION	BY

PREPARED FOR: McDonald's USA, LLC

© 2008 McDonald's USA, LLC

DRAWN BY: dak
STD ISSUE DATE: 03/22/06
REVIEWED BY: RAM
DATE ISSUED: 03/22/06

TITLE: 44-106 PROTO-CHICAGO REGION 2005 EIFS PARAPET EXTERIOR

DESCRIPTION: EIFS WITH BRICK VENEER - Steel Studs/Steel Roof Truss
GAS UTILITIES
SITE ID: 012-0824
SITE ADDRESS: 2175 E. ROOSEVELT ROAD WHEATON, IL

IBC
SHEET NO. A1.1
FLOOR PLAN

K:\DIV\CENTRAL\- CH\012-0824-00-0 WHEATON\44106-A1-1.DWG 03-08-2008 07:49

PRELIMINARY ENGINEERING PLANS

FOR

MCDONALD'S - WHEATON (LC #12-1749)

AT

2175 WEST ROOSEVELT RD
WHEATON
DUPAGE COUNTY, ILLINOIS

INDEX

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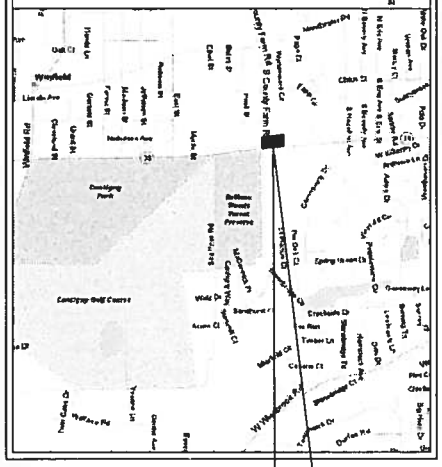
SUPPORTING DOCUMENTS

1 of 1 LAND TITLE SURVEY
1 of 2 TREE PRESERVATION AND PROTECTION PLAN
2 of 2 LANDSCAPE PLAN
1 of 1 PHOTOMETRIC PLAN

LOCATION MAP



SITE LOCATION

LEGEND

EXISTING	DESCRIPTION	PROPOSED
	CATCH BASIN	
	INLET	
	STORM MANHOLE	
	SANITARY MANHOLE	
	VALVE VAULT	
	FIRE HYDRANT	
	FLARED END SECTION	
	ELECTRICAL POWER POLE	
	OVERHEAD TRAFFIC SIGNAL	
	TRAFFIC SIGNAL MANHOLE	
	OVERHEAD ELECTRIC WIRES	
	TRANSFORMER PAD	
	TELEPHONE PEDESTAL	
	TELEPHONE MANHOLE	
	CABLE TELEVISION PEDESTAL	
	COMMONWEALTH EDISON MANHOLE	
	B/BOX	
	LIGHT POLE	
	SIGN	
	BOLLARD POLE	
	DECORATIVE LIGHT	
	GAS MARKER	
	ELECTRIC MARKER	
	TELEPHONE MARKER	
	WATER MAIN	W
	GAS MAIN	G
	ELECTRIC LINE	E
	TELEPHONE LINE	T
	CABLE TV LINE	C
	SANITARY SEWER	SAN
	STORM SEWER	STM
	TREE W/ DIAMETER	
	WOOD FENCE	
	CHAIN LINK FENCE	
	METAL GUARDRAIL	
	CONCRETE SURFACE	
	CONTOUR LINE	77
	PAVEMENT ELEVATION	P
	GROUND ELEVATION	G
	TOP OF WALK ELEVATION	TW
	TOP OF RETAINING WALL ELEVATION	TRW
	FLOW LINE ELEVATION	FL
	TOP OF CURB ELEVATION	TC
	RIM ELEVATION	R

BENCHMARK

BENCHMARK:
DUPAGE COUNTY B.M # 0295: MONUMENT LOCATED AT THE NORTHWEST CORNER OF MANCHESTER ROAD AND COUNTY FARM ROAD. ELEV. = 730.4312

SITE BENCHMARK:
NORTH BOLT OF HYDRANT LOCATED AT THE NORTHEAST CORNER OF ROOSEVELT ROAD AND COUNTY FARM ROAD. ELEV. = 732.35

PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS, THE CONTRACTOR MUST CALL J.U.L.I.E. FOR THE LOCATION AND STAKING OF EXISTING UNDERGROUND PRIVATE UTILITIES (GAS, ELECTRIC, TELEPHONE) AT 1-800-892-0123 48 HOURS PRIOR TO DIGGING.

COVER SHEET

NO.	REVISION	DRAWING	DATE

Prepared For:

McDonald's Corporation
4320 Winfield Road, Suite 400
Warrenville, IL 60555

McDONALD'S - WHEATON, IL (LC #12-1749)
2175 West Roosevelt
Wheaton, Illinois

Prepared By:

COMPASS
Consulting Group, Ltd.
2631 Ginger Woods Parkway, Suite 100, Aurora, IL 60504
(630)820-9100 FAX: (630)820-7030
www.compassconsultinggroup.com

DESIGN BY: J. MILLER
DRAWN BY: K.S., S.P.
DATE: MARCH 14, 2006
SCALE: NONE
PROJECT NO: 05-140

C-1

COVER SHEET

NOTE: THESE PLANS ARE BASED ON THE TOPOGRAPHIC AND BOUNDARY SURVEY PREPARED BY:
GENTILE AND ASSOCIATES, INC.
550 E. ST. CHARLES PLACE
630-916-6262

NOTES

1. ALL PROPOSED IMPROVEMENTS ARE PARALLEL AND PERPENDICULAR TO THE NORTHERN PROPERTY LINE.
2. ALL RADIUS DIMENSIONS ARE TO BACK OF CURB.
3. SEE ARCH. PLANS FOR EXACT BUILDING DIMENSIONS.
4. ALL STRIPING TO BE 4" WHITE PAINT UNLESS OTHERWISE NOTED.
5. ENTIRE SITE TO BE RAZED PRIOR TO CONSTRUCTION.

SITE DATA

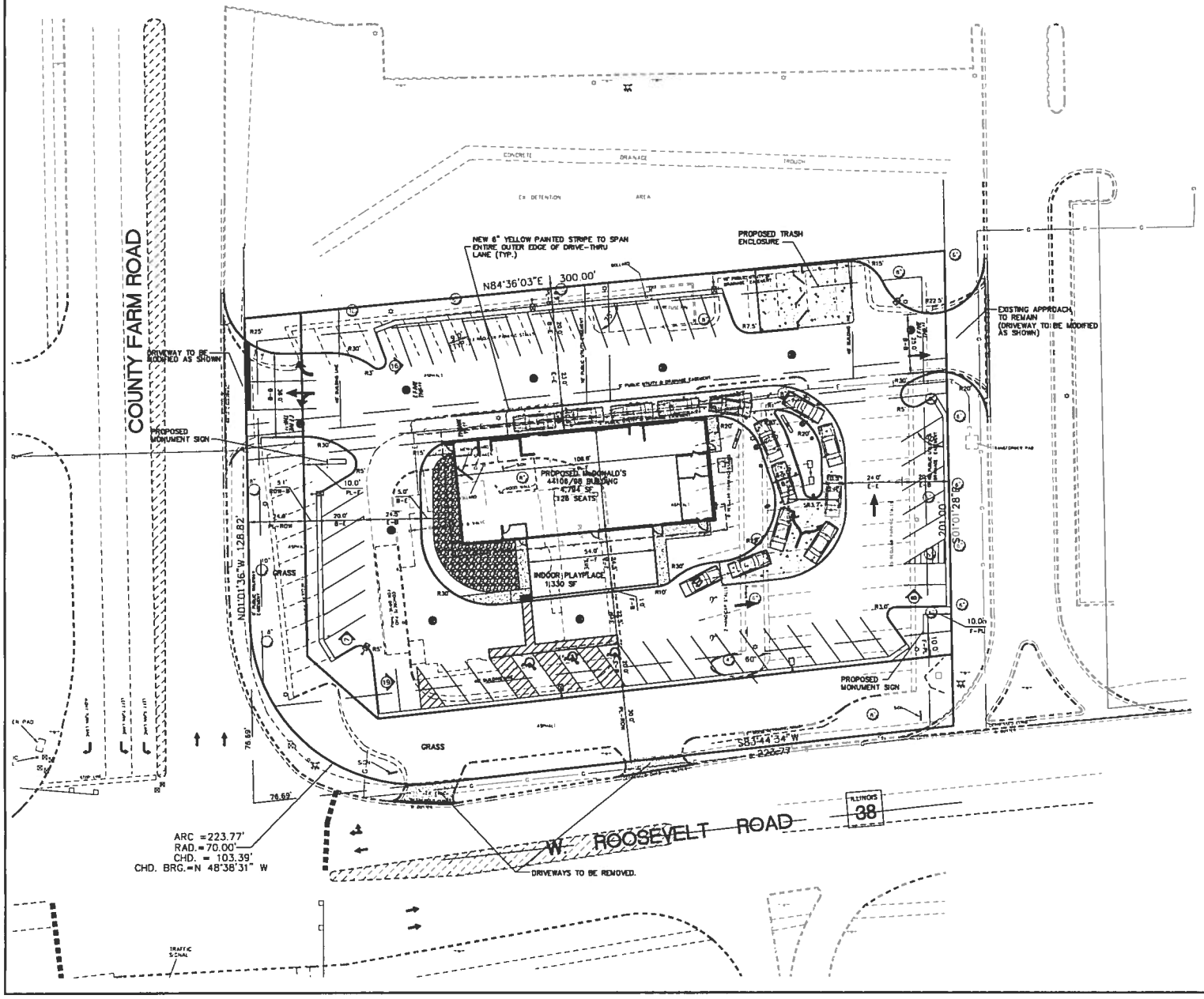
EXISTING LOT AREA =	59,500 S.F. (0.689 AC)
EXISTING McDONALD'S BUILDING AREA =	4,108 SF
PROPOSED McDONALD'S BUILDING AREA =	4,794 SF
PROPOSED INDOOR PLAYLAND AREA =	1,330 SF
TOTAL PROPOSED BUILDING AREA =	6,124 SF
F.A.R. =	0.1299
PROPOSED R.O.W. TAKING =	12,358 SF

PARKING DATA

EXISTING PARKING STALLS =	66
PROPOSED PARKING STALLS =	50
NET LOSS =	16

DRIVE-THRU DATA

DRIVE-THRU STACKING PROVIDED = 14 CARS



GEOMETRIC PLAN

NO	REVISIONS	DATE

Prepared For:

McDonald's Corporation
4320 Winfield Road, Suite 400
Warrenville, IL 60555

McDONALD'S - WHEATON, IL (LC #12-1749)
2175 West Roosevelt
Wheaton, Illinois

Prepared By:

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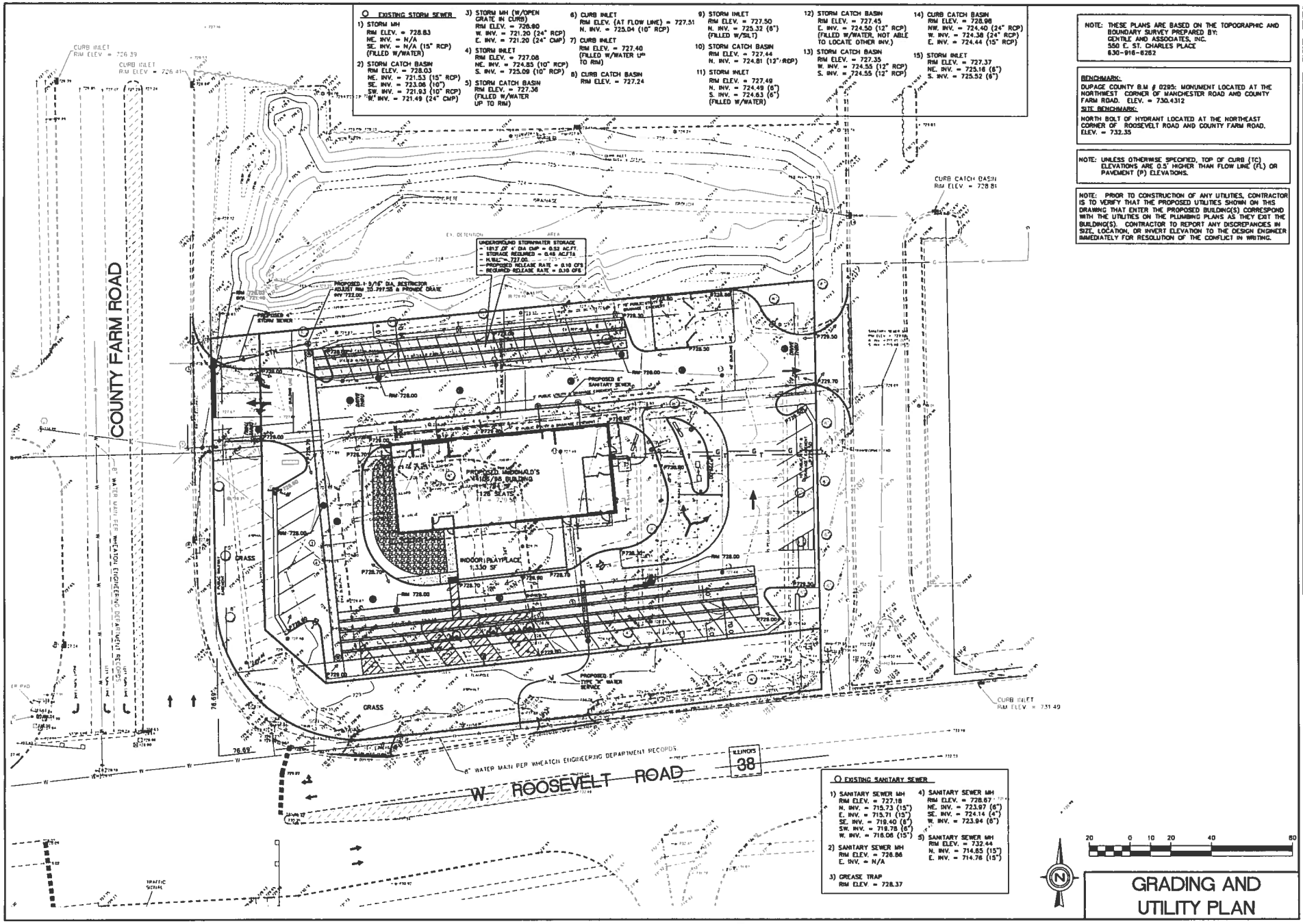
2831 Ginger Woods Parkway, Suite 100, Aurora, IL 60504
(630)820-9100 FAX: (630)820-7030
www.compassconsultinggroup.com

DESIGN BY: J. MILLER
DRAWN BY: K.S., S.P.
DATE: MARCH 14, 2006
SCALE: 1" = 20'
PROJECT NO: 05-140

C-2

GEOMETRIC PLAN



EXISTING STORM SEWER

1) STORM MH
RIM ELEV. = 728.83
NE. INV. = N/A
SE. INV. = N/A (15" RCP)
(FILLED W/WATER)

2) STORM CATCH BASIN
RIM ELEV. = 728.03
NE. INV. = 721.53 (15" RCP)
SE. INV. = 723.06 (10")
SW. INV. = 721.93 (10" RCP)
W. INV. = 721.49 (24" CMP)

3) STORM MH (W/OPEN GRATE IN CURB)
RIM ELEV. = 726.80
W. INV. = 721.20 (24" RCP)
E. INV. = 721.20 (24" CMP)

4) STORM INLET
RIM ELEV. = 727.08
NE. INV. = 724.85 (10" RCP)
S. INV. = 725.09 (10" RCP)

5) STORM CATCH BASIN
RIM ELEV. = 727.36
(FILLED W/WATER UP TO RIM)

6) CURB INLET
RIM ELEV. (AT FLOW LINE) = 727.51
N. INV. = 725.04 (10" RCP)

7) CURB INLET
RIM ELEV. = 727.40
(FILLED W/WATER UP TO RIM)

8) CURB CATCH BASIN
RIM ELEV. = 727.24

9) STORM INLET
RIM ELEV. = 727.50
N. INV. = 725.32 (6")
(FILLED W/SILT)

10) STORM CATCH BASIN
RIM ELEV. = 727.44
N. INV. = 724.81 (12"/RCP)

11) STORM INLET
RIM ELEV. = 727.49
N. INV. = 724.49 (6")
S. INV. = 724.63 (6")
(FILLED W/WATER)

12) STORM CATCH BASIN
RIM ELEV. = 727.45
E. INV. = 724.50 (12" RCP)
(FILLED W/WATER, NOT ABLE TO LOCATE OTHER INV.)

13) STORM CATCH BASIN
RIM ELEV. = 727.35
W. INV. = 724.55 (12" RCP)
S. INV. = 724.55 (12" RCP)

14) CURB CATCH BASIN
RIM ELEV. = 728.98
NW. INV. = 724.40 (24" RCP)
W. INV. = 724.38 (24" RCP)
E. INV. = 724.44 (15" RCP)

15) STORM INLET
RIM ELEV. = 727.37
NE. INV. = 725.18 (6")
S. INV. = 725.52 (6")

NOTE: THESE PLANS ARE BASED ON THE TOPOGRAPHIC AND BOUNDARY SURVEY PREPARED BY:
CENTILE AND ASSOCIATES, INC.
550 E. ST. CHARLES PLACE
630-916-8262

BENCHMARK:
DUPAGE COUNTY B.M # 0295: MONUMENT LOCATED AT THE NORTHWEST CORNER OF MANCHESTER ROAD AND COUNTY FARM ROAD. ELEV. = 730.4312

SITE BENCHMARK:
NORTH BOLT OF HYDRANT LOCATED AT THE NORTHEAST CORNER OF ROOSEVELT ROAD AND COUNTY FARM ROAD. ELEV. = 732.35

NOTE: UNLESS OTHERWISE SPECIFIED, TOP OF CURB (TC) ELEVATIONS ARE 0.5' HIGHER THAN FLOW LINE (FL) OR PAVEMENT (P) ELEVATIONS.

NOTE: PRIOR TO CONSTRUCTION OF ANY UTILITIES, CONTRACTOR IS TO VERIFY THAT THE PROPOSED UTILITIES SHOWN ON THIS DRAWING THAT ENTER THE PROPOSED BUILDING(S) CORRESPOND WITH THE UTILITIES ON THE PLUMBING PLANS AS THEY EXIT THE BUILDING(S). CONTRACTOR TO REPORT ANY DISCREPANCIES IN SIZE, LOCATION, OR INVERT ELEVATION TO THE DESIGN ENGINEER IMMEDIATELY FOR RESOLUTION OF THE CONFLICT IN WRITING.

EXISTING SANITARY SEWER

1) SANITARY SEWER MH
RIM ELEV. = 727.18
N. INV. = 715.73 (15")
E. INV. = 715.71 (15")
SE. INV. = 719.40 (6")
SW. INV. = 719.78 (6")
W. INV. = 718.06 (15")

2) SANITARY SEWER MH
RIM ELEV. = 726.86
E. INV. = N/A

3) GREASE TRAP
RIM ELEV. = 728.37

4) SANITARY SEWER MH
RIM ELEV. = 728.67
NE. INV. = 723.97 (6")
SE. INV. = 724.14 (4")
W. INV. = 723.94 (6")

5) SANITARY SEWER MH
RIM ELEV. = 732.44
N. INV. = 714.85 (15")
E. INV. = 714.76 (15")

20 0 10 20 40 80

GRADING AND UTILITY PLAN

NO	REVISIONS	DATE

Prepared For:

McDonald's Corporation
4320 Winfield Road, Suite 400
Warrenville, IL 60555

McDONALD'S - WHEATON, IL (LC #12-1749)
2175 West Roosevelt
Wheaton, Illinois

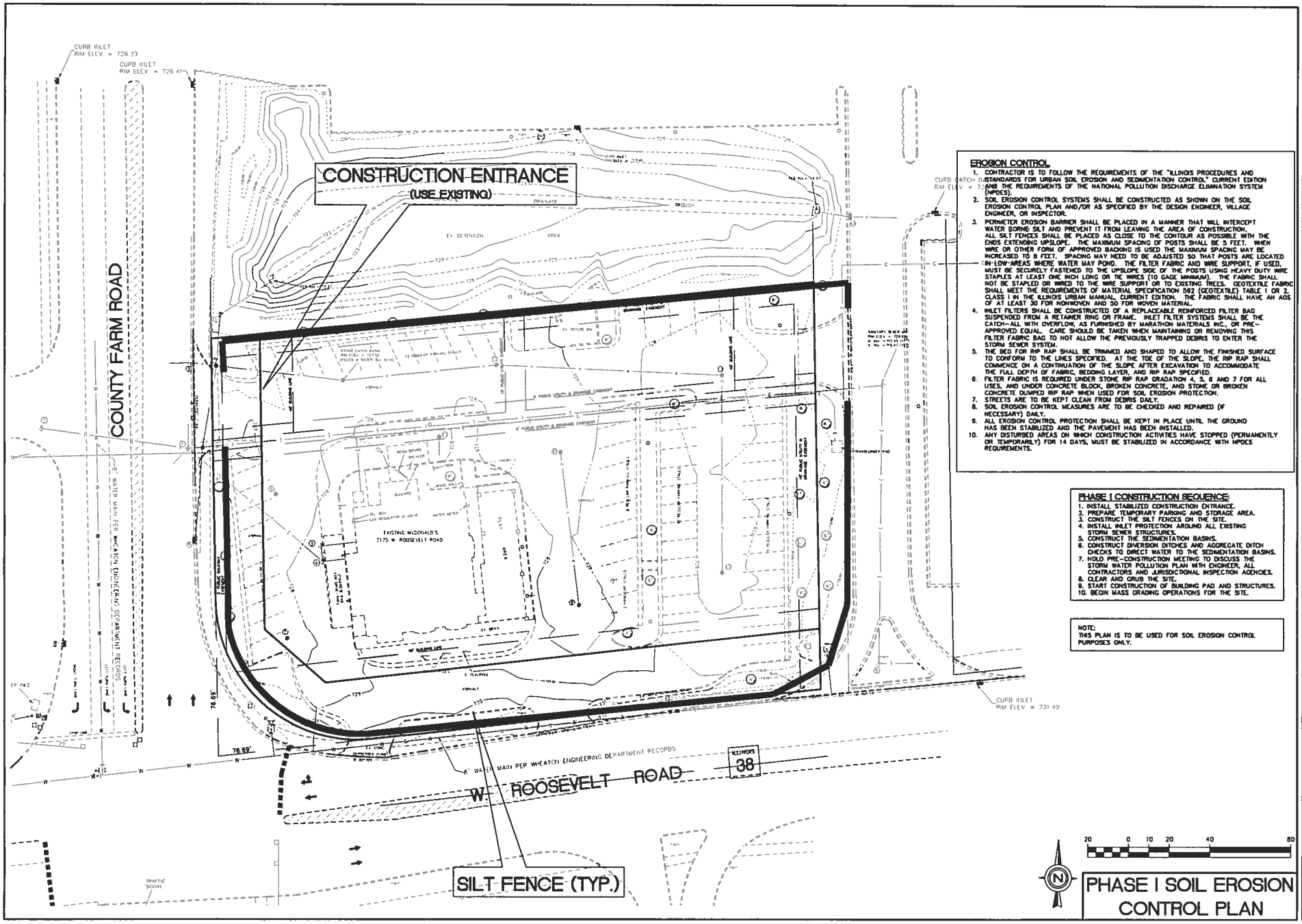
Prepared By:

COMPASS
Consulting Group, Ltd.
2831 Ginger Woods Parkway, Suite 100, Aurora, IL 60504
(630)820-9100 FAX: (630)820-7030
www.compassconsultinggroup.com

DESIGN BY: J. MILLER
DRAWN BY: K.S., S.P.
DATE: MARCH 14, 2006
SCALE: 1" = 20'
PROJECT NO. 05-140

C-3

GRADING AND UTILITY PLAN



EROSION CONTROL

1. CONTRACTOR IS TO FOLLOW THE REQUIREMENTS OF THE "ILLINOIS PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL" CURRENT EDITION AND THE REQUIREMENTS OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES).
2. SOIL EROSION CONTROL SYSTEMS SHALL BE CONSTRUCTED AS SHOWN ON THE SOIL EROSION CONTROL PLAN AND/OR AS SPECIFIED BY THE DESIGN ENGINEER, VILLAGE ENGINEER, OR INSPECTOR.
3. PERIMETER EROSION BARRIER SHALL BE PLACED IN A MANNER THAT WILL INTERCEPT WATER BORNE SILT AND PREVENT IT FROM LEAVING THE AREA OF CONSTRUCTION. ALL SILT FENCES SHALL BE PLACED AS CLOSE TO THE CONTOUR AS POSSIBLE WITH THE ENDS EXTENDING UPSLOPE. THE MAXIMUM SPACING OF POSTS SHALL BE 5 FEET. WHEN WIRE OR OTHER FORM OF APPROVED BACKING IS USED THE MAXIMUM SPACING MAY BE INCREASED TO 8 FEET. SPACING MAY NEED TO BE ADJUSTED SO THAT POSTS ARE LOCATED IN LOW AREAS WHERE WATER MAY POND. THE FILTER FABRIC AND WIRE SUPPORT, IF USED, MUST BE SECURELY FASTENED TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST ONE INCH LONG OR TIE WIRES (10 GAGE MINIMUM). THE FABRIC SHALL NOT BE STAPLED OR WIRED TO THE WIRE SUPPORT OR TO EXISTING TREES. GEOTEXTILE FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL SPECIFICATION 592 (GEOTEXTILE) TABLE 1 OR 2, CLASS I IN THE ILLINOIS URBAN MANUAL, CURRENT EDITION. THE FABRIC SHALL HAVE AN AOS OF AT LEAST 30 FOR NONWOVEN AND 50 FOR WOVEN MATERIAL.
4. INLET FILTERS SHALL BE CONSTRUCTED OF A REPLACEABLE REINFORCED FILTER BAG SUSPENDED FROM A RETAINER RING OR FRAME. INLET FILTER SYSTEMS SHALL BE THE CATCH-ALL WITH OVERFLOW, AS FURNISHED BY MARATHON MATERIALS INC., OR PRE-APPROVED EQUAL. CARE SHOULD BE TAKEN WHEN MAINTAINING OR REMOVING THIS FILTER FABRIC BAG TO NOT ALLOW THE PREVIOUSLY TRAPPED DEBRIS TO ENTER THE STORM SEWER SYSTEM.
5. THE BED FOR RIP RAP SHALL BE TRIMMED AND SHAPED TO ALLOW THE FINISHED SURFACE TO CONFORM TO THE LINES SPECIFIED. AT THE TOE OF THE SLOPE, THE RIP RAP SHALL COMMENCE ON A CONTINUATION OF THE SLOPE AFTER EXCAVATION TO ACCOMMODATE THE FULL DEPTH OF FABRIC, BEDDING LAYER, AND RIP RAP SPECIFIED.
6. FILTER FABRIC IS REQUIRED UNDER STONE RIP RAP GRADATION 4, 5, 6 AND 7 FOR ALL USES, AND UNDER CONCRETE BLOCK, BROKEN CONCRETE, AND STONE OR BROKEN CONCRETE DUMPED RIP RAP WHEN USED FOR SOIL EROSION PROTECTION.
7. STREETS ARE TO BE KEPT CLEAN FROM DEBRIS DAILY.
8. SOIL EROSION CONTROL MEASURES ARE TO BE CHECKED AND REPAIRED (IF NECESSARY) DAILY.
9. ALL EROSION CONTROL PROTECTION SHALL BE KEPT IN PLACE UNTIL THE GROUND HAS BEEN STABILIZED AND THE PAVEMENT HAS BEEN INSTALLED.
10. ANY DISTURBED AREAS ON WHICH CONSTRUCTION ACTIVITIES HAVE STOPPED (PERMANENTLY OR TEMPORARILY) FOR 14 DAYS, MUST BE STABILIZED IN ACCORDANCE WITH NPDES REQUIREMENTS.

PHASE I CONSTRUCTION SEQUENCE:

1. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
2. PREPARE TEMPORARY PARKING AND STORAGE AREA.
3. CONSTRUCT THE SILT FENCES ON THE SITE.
4. INSTALL INLET PROTECTION AROUND ALL EXISTING STORM SEWER STRUCTURES.
5. CONSTRUCT THE SEDIMENTATION BASINS.
6. CONSTRUCT DIVERSION DITCHES AND AGGREGATE DITCH CHECKS TO DIRECT WATER TO THE SEDIMENTATION BASINS.
7. HOLD PRE-CONSTRUCTION MEETING TO DISCUSS THE STORM WATER POLLUTION PLAN WITH ENGINEER, ALL CONTRACTORS AND JURISDICTIONAL INSPECTION AGENCIES.
8. CLEAR AND GRUB THE SITE.
9. START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
10. BEGIN MASS GRADING OPERATIONS FOR THE SITE.

NOTE:
THIS PLAN IS TO BE USED FOR SOIL EROSION CONTROL PURPOSES ONLY.

PHASE I SOIL EROSION CONTROL PLAN

NO.	REVISIONS	DATE

Prepared For:

McDonald's Corporation
4320 Winfield Road, Suite 400
Warrenville, IL 60555

McDONALD'S - WHEATON, IL (LC #12-1749)
2175 West Roosevelt
Wheaton, Illinois

Prepared By:

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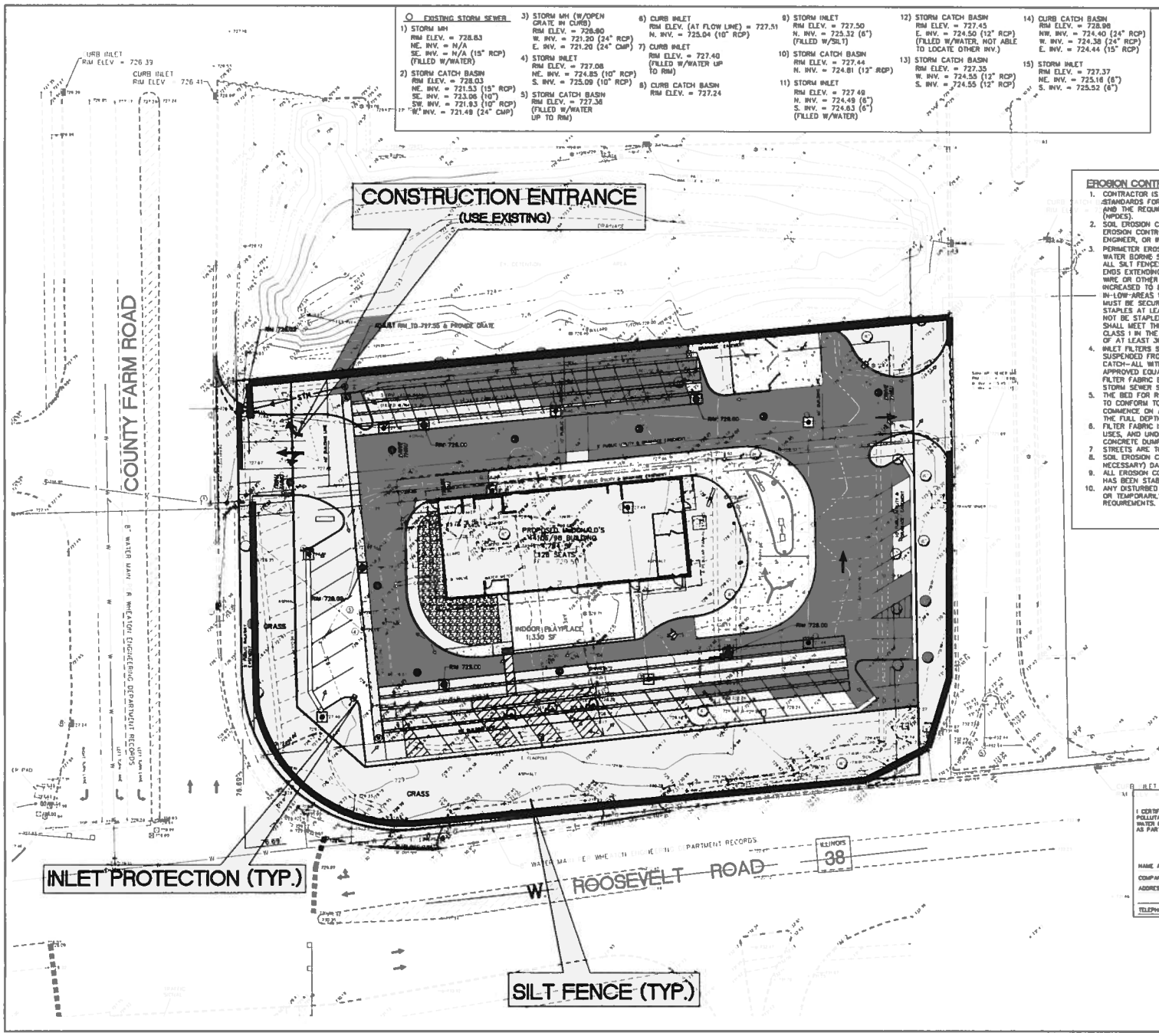
DESIGN BY: J. MILLER
DRAWN BY: K.S., S.P.
DATE: MARCH 14, 2006
SCALE: 1" = 20'
PROJECT NO: 05-140

C-4

PHASE I SOIL EROSION CONTROL PLAN



O EXISTING STORM SEWER

1) STORM MH
RIM ELEV. = 728.83
NE. INV. = N/A
SE. INV. = N/A (15" RCP)
(FILLED W/WATER)

2) STORM CATCH BASIN
RIM ELEV. = 728.03
NE. INV. = 721.53 (15" RCP)
SE. INV. = 723.06 (10")
SW. INV. = 721.93 (10" RCP)
W. INV. = 721.48 (24" CMP)

3) STORM MH (W/OPEN GRATE IN CURB)
RIM ELEV. = 726.80
W. INV. = 721.20 (24" RCP)
E. INV. = 721.20 (24" CMP)

4) STORM INLET
RIM ELEV. = 727.08
NE. INV. = 724.85 (10" RCP)
S. INV. = 725.09 (10" RCP)

5) STORM CATCH BASIN
RIM ELEV. = 727.38
(FILLED W/WATER UP TO RIM)

6) CURB INLET
RIM ELEV. (AT FLOW LINE) = 727.51
N. INV. = 725.04 (10" RCP)

7) CURB INLET
RIM ELEV. = 727.40
(FILLED W/WATER UP TO RIM)

8) CURB CATCH BASIN
RIM ELEV. = 727.24

9) STORM INLET
RIM ELEV. = 727.50
N. INV. = 725.32 (6")
(FILLED W/SILT)

10) STORM CATCH BASIN
RIM ELEV. = 727.44
N. INV. = 724.81 (12" RCP)

11) STORM INLET
RIM ELEV. = 727.48
N. INV. = 724.49 (6")
S. INV. = 724.63 (6")
(FILLED W/WATER)

12) STORM CATCH BASIN
RIM ELEV. = 727.45
E. INV. = 724.50 (12" RCP)
(FILLED W/WATER, NOT ABLE TO LOCATE OTHER INV.)

13) STORM CATCH BASIN
RIM ELEV. = 727.35
W. INV. = 724.55 (12" RCP)
S. INV. = 724.55 (12" RCP)

14) CURB CATCH BASIN
RIM ELEV. = 728.96
NW. INV. = 724.40 (24" RCP)
W. INV. = 724.38 (24" RCP)
E. INV. = 724.44 (15" RCP)

15) STORM INLET
RIM ELEV. = 727.37
NE. INV. = 725.18 (6")
S. INV. = 725.52 (6")

NOTE: THESE PLANS ARE BASED ON THE TOPOGRAPHIC AND BOUNDARY SURVEY PREPARED BY:
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BENCHMARK:
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SITE BENCHMARK:
NORTH BOLT OF HYDRANT LOCATED AT THE NORTHEAST CORNER OF ROOSEVELT ROAD AND COUNTY FARM ROAD. ELEV. = 732.35

EROSION CONTROL

1. CONTRACTOR IS TO FOLLOW THE REQUIREMENTS OF THE "ILLINOIS PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL" CURRENT EDITION AND THE REQUIREMENTS OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES).
2. SOIL EROSION CONTROL SYSTEMS SHALL BE CONSTRUCTED AS SHOWN ON THE SOIL EROSION CONTROL PLAN AND/OR AS SPECIFIED BY THE DESIGN ENGINEER, VILLAGE ENGINEER, OR INSPECTOR.
3. PERIMETER EROSION BARRIER SHALL BE PLACED IN A MANNER THAT WILL INTERCEPT WATER BORNE SILT AND PREVENT IT FROM LEAVING THE AREA OF CONSTRUCTION. ALL SILT FENCES SHALL BE PLACED AS CLOSE TO THE CONTOUR AS POSSIBLE WITH THE ENDS EXTENDING UPSLOPE. THE MAXIMUM SPACING OF POSTS SHALL BE 5 FEET. WHEN WIRE OR OTHER FORM OF APPROVED BACKING IS USED THE MAXIMUM SPACING MAY BE INCREASED TO 8 FEET. SPACING MAY NEED TO BE ADJUSTED SO THAT POSTS ARE LOCATED IN LOW-AREAS WHERE WATER MAY POND. THE FILTER FABRIC AND WIRE SUPPORT, IF USED, MUST BE SECURELY FASTENED TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST ONE INCH LONG OR TIE WIRES (10 GAGE MINIMUM). THE FABRIC SHALL NOT BE STAPLED OR WIRED TO THE WIRE SUPPORT OR TO EXISTING TREES. GEOTEXTILE FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL SPECIFICATION 592 (GEOTEXTILE) TABLE 1 OR 2, CLASS I IN THE ILLINOIS URBAN MANUAL, CURRENT EDITION. THE FABRIC SHALL HAVE AN AOS OF AT LEAST 30 FOR NONWOVEN AND 50 FOR WOVEN MATERIAL.
4. INLET FILTERS SHALL BE CONSTRUCTED OF A REPLACEABLE REINFORCED FILTER BAG SUSPENDED FROM A RETAINER RING OR FRAME. INLET FILTER SYSTEMS SHALL BE THE CATCH-ALL WITH OVERFLOW, AS FURNISHED BY MARATHON MATERIALS INC., OR PRE-APPROVED EQUAL. CARE SHOULD BE TAKEN WHEN MAINTAINING OR REMOVING THIS FILTER FABRIC BAG TO NOT ALLOW THE PREVIOUSLY TRAPPED DEBRIS TO ENTER THE STORM SEWER SYSTEM.
5. THE BED FOR RIP RAP SHALL BE TRIMMED AND SHAPED TO ALLOW THE FINISHED SURFACE TO CONFORM TO THE LINES SPECIFIED. AT THE TOE OF THE SLOPE, THE RIP RAP SHALL COMMENCE ON A CONTINUATION OF THE SLOPE AFTER EXCAVATION TO ACCOMMODATE THE FULL DEPTH OF FABRIC, BEDDING LAYER, AND RIP RAP SPECIFIED.
6. FILTER FABRIC IS REQUIRED UNDER STONE RIP RAP GRADATION 4, 5, 6 AND 7 FOR ALL USES, AND UNDER CONCRETE BLOCK, BROKEN CONCRETE, AND STONE OR BROKEN CONCRETE DUMPED RIP RAP WHEN USED FOR SOIL EROSION PROTECTION.
7. STREETS ARE TO BE KEPT CLEAN FROM DEBRIS DAILY.
8. SOIL EROSION CONTROL MEASURES ARE TO BE CHECKED AND REPAIRED (IF NECESSARY) DAILY.
9. ALL EROSION CONTROL PROTECTION SHALL BE KEPT IN PLACE UNTIL THE GROUND HAS BEEN STABILIZED AND THE PAVEMENT HAS BEEN INSTALLED.
10. ANY DISTURBED AREAS ON WHICH CONSTRUCTION ACTIVITIES HAVE STOPPED (PERMANENTLY OR TEMPORARILY) FOR 14 DAYS, MUST BE STABILIZED IN ACCORDANCE WITH NPDES REQUIREMENTS.

PHASE II CONSTRUCTION SEQUENCE:

1. TEMPORARILY SEED DENUDED AREAS.
2. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
3. INSTALL RIP RAP AROUND OUTLET STRUCTURES.
4. INSTALL INLET PROTECTION AROUND ALL STORM SEWER STRUCTURES.
5. PREPARE SITE FOR PAVING.
6. PAVE SITE.
7. INSTALL INLET PROTECTION DEVICES.
8. COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING.
9. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED).

NOTE:
THIS PLAN IS TO BE USED FOR SOIL EROSION CONTROL PURPOSES ONLY.

CONTRACTOR CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT (ILR10) THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

NAME AND TITLE: _____ DATE: _____
COMPANY: _____
ADDRESS: _____
_____
TELEPHONE: _____

20 0 10 20 40 80

PHASE II SOIL EROSION CONTROL PLAN

NO	REVISIONS	DATE

Prepared For:

McDonald's Corporation
4320 Winfield Road, Suite 400
Warrenville, IL 60555

McDONALD'S - WHEATON, IL (LC #12-1749)
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Wheaton, Illinois

Prepared By:

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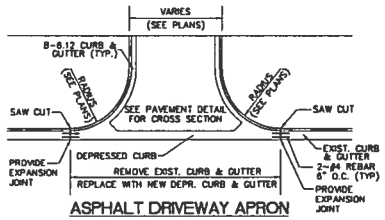
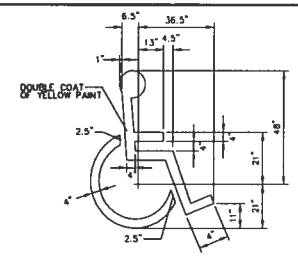
DESIGN BY: J. MILLER
DRAWN BY: K.S., S.P.
DATE: MARCH 14, 2006
SCALE: 1" = 20'
PROJECT NO. 05-140

C-5

PHASE II SOIL EROSION CONTROL PLAN

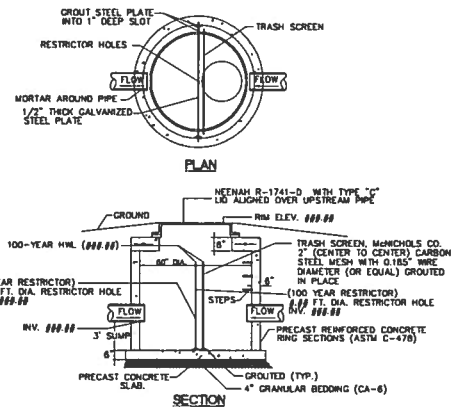


ASPHALT DRIVEWAY APRON

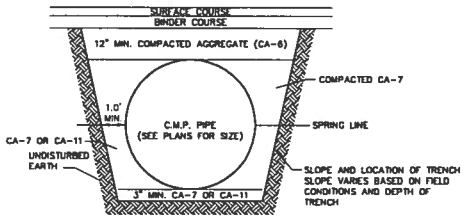


ACCESSIBLE PARKING SPACE PARKING SYMBOL

NOTES:
1. SYMBOL IS CENTERED ON WIDTH OF PARKING STALL AND 2' FROM THE END OF THE STALL.

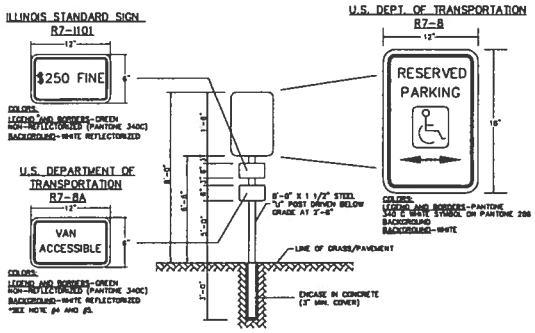


RESTRICTOR MANHOLE



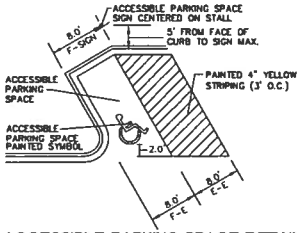
C.M.P. PIPE TRENCH DETAIL

NOTE: 24" MIN. SPACING BETWEEN PIPES.

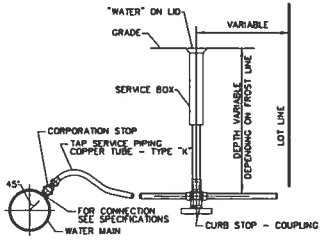


ACCESSIBLE PARKING SPACE SIGN DETAIL

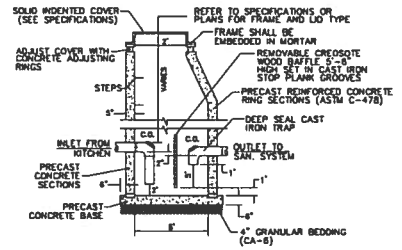
1. WHERE A FINE IN EXCESS OF $250 IS ESTABLISHED BY A MUNICIPALITY BY ORDINANCE IN ACCORDANCE WITH THE STATUTES, THE ACTUAL AMOUNT OF THE FINE SHOULD BE SHOWN.
2. THIS PLATE MAY BE MOUNTED DIRECTLY BELOW THE R7-8 SIGN OR COMBINED WITH THAT SIGN ON A SINGLE 12 INCH BY 24 INCH PANEL.
3. ON THE RESERVED PARKING SIGN, THE ARROW SHOULD BE OMITTED WHERE THERE IS ONLY ONE SPACE. THE ARROW MAY ALSO BE MADE TO POINT IN ONLY ONE DIRECTION. THE ARROW MAY ALSO BE REPLACED BY "TIME" SUCH AS 8 AM-5 PM WHERE A PART THE RESTRICTION EXISTS.
4. ONE IN EVERY EIGHT ACCESSIBLE SPACES, BUT NOT LESS THAN ONE, SHALL BE SERVED BY AN ACCESS AISLE 8 FEET WIDE MINIMUM AND SHALL BE DESIGNATED "VAN ACCESSIBLE".
5. THE LOWEST BOTTOM EDGE OF THE LOWEST REQUIRED SIGN SHALL BE MOUNTED AT 80" ABOVE FINISHED GRADE.



ACCESSIBLE PARKING SPACE DETAIL

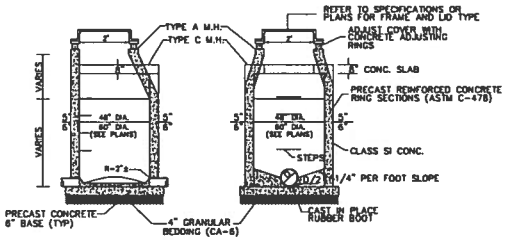


TYPICAL TAP SERVICE PIPING



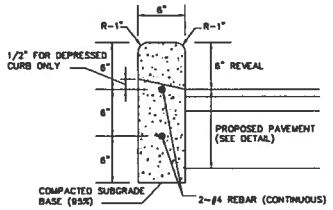
GREASE TRAP

1. GREASE TRAP HAS 1,000 GALLON CAPACITY



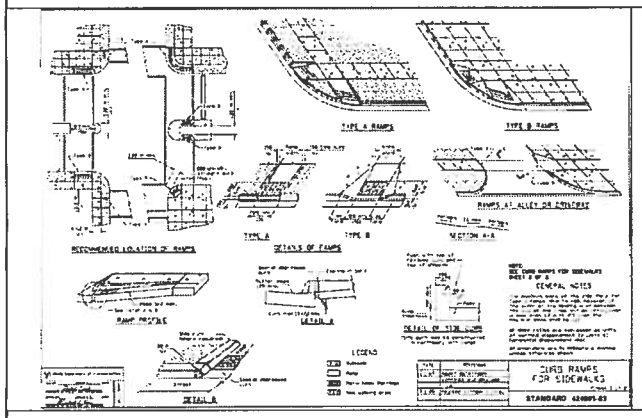
SANITARY MANHOLE (TYPES A AND C)

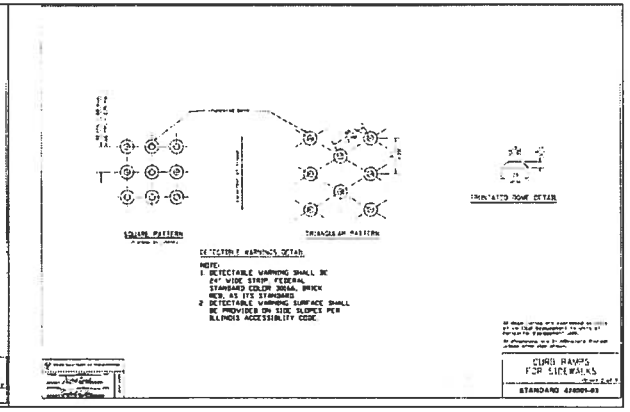
NOTES:
1. PROVIDE EXTERNAL CHIMNEY SEAL ON ALL SANITARY MANHOLES
2. USE TYPE A UNLESS SPECIFIED IN SEWER CALLOUT
3. OUTSIDE OF SANITARY MANHOLE SHALL BE MOISTURE PROOFED WITH TWO COATS OF BITUMINOUS MATERIAL.



TYPE "C" BARRIER CURB

NOTES:
1. PROVIDE 1/2" EXPANSION JOINTS EVERY 50' O.C.
2. PROVIDE HAND TOOLED CONTRACTION JOINTS EVERY 10' O.C.





PROJECT DETAILS

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DRAWN BY: K.S., S.P.
DATE: MARCH 14, 2006
SCALE: NONE
PROJECT NO. 05-140

C-6

PROJECT DETAILS

PROJECT SPECIFICATIONS

1. CONTRACTOR IS TO FOLLOW ALL ORDINANCES AND REQUIREMENTS OF THE STATE, COMMUNITY, LOCAL DISTRICTS AND THE ILLINOIS ACCESSIBILITY CODE(IAC). ALL PROPOSED IMPROVEMENTS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AS WELL AS THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS" CURRENT EDITIONS.
2. THE CONTRACTOR SHALL INDEMNIFY COMPASS CONSULTING GROUP, LTD (THE ENGINEER), ARCHITECT AND OWNER, THEIR AGENTS, ETC., FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONDUCTING WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, SPECIFICATIONS, AND ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THIS DEVELOPMENT.
3. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL PERMITS THAT ARE REQUIRED BY THE LOCAL AGENCIES.
4. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER, ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION, AND ALL UTILITY COMPANIES THAT MAY BE AFFECTED BY THE PROPOSED CONSTRUCTION 2 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE APPROPRIATE CONSTRUCTION INSPECTION.
5. THE MUNICIPALITY SHALL HAVE THE AUTHORITY TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION OF THE IMPROVEMENTS.
6. PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS, THE CONTRACTOR MUST CALL J.U.L.I.E. FOR THE LOCATION AND STAKING OF EXISTING UNDERGROUND UTILITIES (GAS, ELECTRIC, TELEPHONE) AT 1-800-892-0123, 48 HOURS PRIOR TO DIGGING.
7. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING RECORD DRAWINGS PER THE MUNICIPALITY AND/OR ANY OTHER GOVERNMENT AGENCIES REQUIREMENTS. ANY CHANGES TO THE DRAWINGS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
8. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEERING PLANS AS APPROVED BY THE MUNICIPALITY.
9. ALL QUANTITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR AND ARE TO BE VERIFIED PRIOR TO CONSTRUCTION. IF DISCREPANCIES OCCUR, THE CONTRACTOR IS TO CONTACT THE DESIGN ENGINEER IMMEDIATELY AND NO WORK IS TO BE DONE UNTIL APPROVED BY THE DESIGN ENGINEER.
10. ANY RESTORATION NEEDED BECAUSE OF CONSTRUCTION SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL COST.
11. TRENCH BACKFILL MATERIAL (CA-6) IS REQUIRED UNDER AND WITHIN TWO FEET (2') OF SIDEWALKS AND PROPOSED PAVED AREAS. THIS BACKFILL SHALL BE IN SIX INCH (6") LIFTS AND COMPACTED TO 95% STANDARD PROCTOR.
12. CONTRACTOR IS TO PROVIDE ALL TEMPORARY SIGNAGE AS REQUIRED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION AND LOCAL MUNICIPALITIES.
13. ALL EXISTING DRAIN TILES THAT ARE ENCOUNTERED ARE TO BE RESTORED TO THEIR ORIGINAL CONDITION OR REROUTED TO THE PROPOSED STORM SEWER SYSTEM.
14. RESTORATION OF EXISTING RIGHT-OF-WAYS IS TO BE COMPLETED WITH FOUR INCH (4") MINIMUM TOPSOIL AND SALT TOLERANT SOD UNLESS OTHERWISE NOTED.
15. THE WATER SYSTEM CANNOT BE SHUT DOWN WITHOUT CONSENT BY THE MUNICIPALITY.
16. ALL FRAME ADJUSTMENTS SHALL BE MADE WITH PRE-CAST CONCRETE RINGS CONFORMING TO ASTM C-39 AND CANNOT EXCEED TWELVE INCHES (12").
17. FRAMES SHALL BE SET WITH EZ STIK8 (OR EQUAL) MATERIAL TO PREVENT LEAKAGE.
18. THE REINFORCED CONCRETE SECTIONS SHALL BE LAID IN MORTAR, SEALED WITH EXTERNAL SEALING BANDS, OR SEALED USING MASTIC JOINT SEALER. WHEN MASTIC JOINT SEALER IS USED, THE MATERIAL SHALL COMPLETELY FILL THE JOINT AFTER THE UNITS HAVE BEEN BROUGHT TOGETHER.
19. STEPS IN STRUCTURES SHALL BE MADE OF COPOLYMER POLYPROPYLENE PLASTIC WITH ONE HALF INCH (1/2") GRADE SIXTY (60) STEEL REINFORCEMENT, STEP PSI-PF, AS MANUFACTURED BY M.A. INDUSTRIES, INC., OR APPROVED EQUAL. STEPS TO BE SPACED SIXTEEN INCHES (16") ON-CENTER.
20. ALL INSTRUMENTS ARE TO BE PROPERLY CALIBRATED PRIOR TO CONSTRUCTION USE.
21. ALL PARKING LOT LIGHT POLES ARE TO BE CONSTRUCTED AT THE INTERSECTION OF PARKING LOT STRIPING OR IN LANDSCAPE AREAS WITH A MINIMUM OF 2' CLEARANCE BETWEEN THE BACK OF CURB AND THE EDGE OF THE PARKING LOT LIGHT BASE UNLESS OTHERWISE SPECIFIED.

CMP SPECIFICATIONS (ALUMINIZED STEEL, TYPE 2 CSP)

1. MATERIALS
   - A. THE COILS FROM WHICH THE PIPE IS FABRICATED SHALL BE HOT DIP COATED IN A BATH OF COMMERCIALLY PURE ALUMINUM REFERRED TO AS TYPE 2. ALUMINUM-COATED SHEET FOR THIS PRODUCT IS IDENTIFIED AS CSP GRADE AND IS PRODUCED IN COATING WEIGHT, DESIGNATED 1.00 OZ/SQ FT.
   - B. THE MATERIAL SHALL MEET THE REQUIREMENTS OF AASHTO M-274.
2. FABRICATION
   - A. PIPE SHALL BE FURNISHED CIRCULAR OR PIPE ARCH SHAPED PER DIMENSIONS AND MATERIAL GAGE AS SHOWN ON PLANS. PIPE FABRICATED UNDER THIS SPECIFICATION SHALL CONFORM TO THE DIMENSIONS AND TOLERANCES OF THE APPLICABLE SECTIONS OF AASHTO M-36.
   - B. THE PIPE SHALL BE FABRICATED WITH HELICAL CORRUGATIONS AND A CONTINUOUS WELDED SEAM OR LOCK SEAM EXTENDING FROM END TO END OF EACH LENGTH OF PIPE.
   - C. PIPE CORRUGATIONS SHALL BE:
     1) 2-2/3" X 1/2" PER AASHTO M36 TYPE 1.
     2) 3" X 1" PER AASHTO M36 TYPE 1.
     3) 125MM X 25MM PER AASHTO M 36 TYPE 1.
     4) 3/4" X 3/4" X 7-1/2" PER AASHTO M36 TYPE 1R.
   - D. EACH PIPE END SHALL BE FABRICATED WITH A MINIMUM OF TWO ANNULAR CORRUGATIONS FOR PURPOSE OF JOINING PIPE SECTIONS WITH COUPLING BANDS.
3. COUPLING BANDS
   - A. PIPE SHALL BE JOINED TOGETHER WITH COUPLING BANDS MADE FROM THE SAME METAL USED FOR THE PIPE. PIPE COUPLING BANDS SHALL CONFORM TO THE APPLICABLE SECTIONS OF AASHTO M-36.
   - B. THE BANDS SHALL NOT BE MORE THAN 3 NOMINAL SHEET THICKNESS THINNER THAN THE THICKNESS OF THE PIPE TO BE CONNECTED AND IN NO CASE THINNER THAN 0.052 INCH NOMINAL SHEET THICKNESS.
   - C. COUPLING BANDS SHALL BE FORMED WITH TWO CORRUGATIONS THAT ARE SPACED TO PROVIDE SEATING IN THE SECOND CORRUGATION OF EACH PIPE END WITHOUT CREATING MORE THAN 1/2 INCH ANNULAR SPACE BETWEEN PIPE ENDS WHEN JOINED TOGETHER.
   - D. CONNECTING BANDS SHALL NOT BE LESS THAN SEVEN INCHES (7") WIDE FOR PIPE DIAMETERS THIRTY-SIX INCHES (36") AND SMALLER AND NOT LESS THAN TWELVE INCHES (12") WIDE FOR PIPE DIAMETERS GREATER THAN THIRTY-SIX INCHES (36").
   - E. COUPLING BANDS SHALL BE DRAWN TOGETHER BY TWO ONE HALF INCH (1/2") DIAMETER GALVANIZED BOLTS THROUGH THE USE OF A BAR AND STRAP CONNECTOR SUITABLY ATTACHED TO THE BAND.
4. GENERAL
   - A. MATERIAL SUPPLIER TO SUPPLY SHOP DRAWINGS FOR APPROVAL BY DESIGN ENGINEER.
   - B. A PRECONSTRUCTION MEETING IS TO BE HELD BY CONTRACTOR AND MATERIAL SUPPLIER WITH DESIGN ENGINEER PRIOR TO INSTALLATION.
   - C. ALL GRANULAR TRENCH MATERIALS SHALL BE COMPACTED TO 95% STANDARD PROCTOR.

SANITARY SEWER SPECIFICATIONS:

1. ALL SANITARY SEWER PIPE SHALL BE EXTRA STRENGTH V.C.P CONFORMING TO ASTM C-700 SPECIFICATIONS WITH ASTM C-425 JOINTS; OR D.I.P., MIN. CLASS 50, CONFORMING TO ANSI A-21.51 WITH ANSI A-21.11 JOINTS; OR P.V.C. PIPE CONFORMING TO ASTM D-3034 SPECIFICATIONS, SDR26 WALL THICKNESS AND ASTM D-3212 GASKET TYPE JOINTS OR ASTM D-2855 SOLVENT WELDED JOINTS; OR P.V.C. PIPE CONFORMING TO ASTM D-3034 SPECIFICATIONS, SDR26 WALL THICKNESS AND ASTM D-3139 JOINT SPECIFICATIONS FOR PRESSURE PIPE; OR CAST IRON PIPE CONFORMING TO ASTM A-74 WITH ASTM C-564 JOINTS.
2. ALL WATERMAIN QUALITY PLASTIC PIPE SHALL BE P.V.C. CONFORMING TO NSF STANDARD 14 AND: ASTM STANDARD B 1784 OR AWWA STANDARD C900 OR C905. JOINTING SHALL BE PRESSURE SLIP JOINTED. ELASTOMERIC SEALS (GASKETS) USED FOR PUSH-ON JOINTS SHALL COMPLY WITH ASTM STANDARD F477, AND SHALL BE PRESSURE RATED IN ACCORDANCE WITH ASTM D3139.
3. DEFLECTION OF POLYVINYL CHLORIDE (PVC) PIPE SHALL NOT EXCEED 5.0% OF THE "BASE I.D." (INTERNAL DIAMETER) OF THE PIPE. "BASE I.D." SHALL BE CALCULATED IN ACCORDANCE WITH THE FOLLOWING:
   AVG ID = AVG OD - 2(1.06)T
   TOLERANCE PACKAGE = $(A^2 + B^2 + C^2)^{(1/2)}$
   WHERE:
   A = OD TOLERANCE (ASTM D-3034)
   B = EXCESS WALL THICKNESS TOLERANCE = 0.06T
   C = OUT-OF-ROUNDNESS TOLERANCE = 0.015 (AVG OD)
   T = MINIMUM WALL THICKNESS (ASTM D-3034)
   BASE ID = AVG ID - TOLERANCE PACKAGE
   DEFLECTION OF COMPOSITE PIPE ("TRUSS" PIPE) SHALL NOT EXCEED 3.0% OF THE AVERAGE INSIDE DIAMETER (ID) OF THE PIPE IN ACCORDANCE WITH ASTM D-2680. THE PIPE LINE SHALL BE TESTED FOR EXCESS DEFLECTING BY PULLING A "GO - NO GO" MANDREL THROUGH THE PIPE FROM MANHOLE TO MANHOLE. THE MANDREL SHALL BE SIZED IN ACCORDANCE WITH SECTION 31-1.11C (4), AND AS SPECIFIED IN THE SPECIAL PROVISIONS. A "DEFLECTOMETER" MAY ALSO BE USED TO CHECK AND RECORD DEFLECTION. WHENEVER POSSIBLE AND PRACTICAL, THE TESTING SHALL INITIATE AT THE DOWNSTREAM LINES AND PROCEED TOWARDS THE UPSTREAM LINES. WHERE THE DEFLECTION IS FOUND TO BE IN EXCESS OF ALLOWABLE TESTING LIMITS, THE CONTRACTOR SHALL EXCAVATE TO THE POINT OF EXCESS DEFLECTION AND CAREFULLY COMPACT AROUND THE POINT WHERE EXCESS DEFLECTION WAS FOUND. THE LINE SHALL THEN BE RETESTED FOR DEFLECTION. HOWEVER, SHOULD AFTER THE INITIAL TESTING THE DEFLECTED PIPE FAIL TO RETURN TO THE ORIGINAL SIZE (INSIDE DIAMETER) THE LINE SHALL BE REPLACED.
4. INFILTRATION OR EXFILTRATION SHALL NOT EXCEED 100 GALLONS PER TWENTY-FOUR (24) HOURS PER MILE PER INCH-DIAMETER OF THE SEWER PIPE, FOR ANY SECTION OF THE SYSTEM AND AT ANY TIME DURING ITS SERVICE LIFE. TESTING IS REQUIRED PER THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS."
5. LEAKAGE TESTING FOR MANHOLES FOR WATER TIGHTNESS SHALL BE DONE IN ACCORDANCE WITH ASTM C969-94--"STANDARD PRACTICE FOR INFILTRATION AND EXFILTRATION ACCEPTANCE TESTING OF INSTALLED PRECAST CONCRETE PIPE SEWER LINES", VOL. 04.05, CHEMICAL RESISTANT MATERIALS, VITRIFIED CLAY, CONCRETE, FIBER-CEMENT PRODUCTS; MORTARS; MASONRY (1996)(NO LATER EDITIONS OR AMENDMENTS) OR ASTM C1244-93 "STANDARD TEST METHOD FOR CONCRETE SEWER MANHOLES BY THE NEGATIVE PRESSURE (VACUUM) TEST", VOL. 04.05, CHEMICAL RESISTANT MATERIALS, VITRIFIED CLAY, CONCRETE, FIBER-CEMENT PRODUCTS; MORTARS; MASONRY (1996)(NO LATER EDITIONS OR AMENDMENTS) PRIOR TO PLACING INTO SERVICE.
6. ALL STRUCTURE LIDS SHALL BE IMPRINTED "SANITARY".
7. ALL WATERTIGHT FRAMES AND LIDS SHALL BE NEENAH R-1916-C. ALL OTHER FRAMES AND LIDS SHALL BE NEENAH R-1550-A WITH A CONCEALED PICK HOLE.
8. ALL FRAMES AND LIDS SHALL CONFORM TO ASTM A-48.
9. ALL SEWERS ARE TO BE INSTALLED FROM THE DOWNSTREAM END UPSTREAM. IF ANY CONFLICTS ARE ENCOUNTERED, THE DESIGN ENGINEER IS TO BE CONTACTED PRIOR TO TO THE INSTALLATION OF ANY PIPE.
10. FOR A DROP CONNECTION, THE DIAMETER OF THE DROP PIPE SHALL PREFERABLY BE LARGER THAN, OR OF THE SAME DIAMETER AS, THE ENTERING SEWER. THE MINIMUM DIAMETER OF THE DROP PIPE SHALL NOT BE SMALLER THAN THE DIAMETER OF THE ENTERING SEWER BY MORE THAN TWO NOMINAL DIAMETERS, PROVIDED THAT THE MINIMUM DIAMETER OF THE DROP PIPE SHALL NOT BE LESS THAN EIGHT INCHES (8").
11. ALL FLOOR DRAINS SHALL DISCHARGE TO THE SANITARY SEWER.
12. ALL SANITARY SEWER BEDDING SHALL BE IN ACCORDANCE WITH THE TRENCH DETAIL AS INCLUDED IN THE PLANS.

STORM SEWER SPECIFICATIONS

1. ALL REINFORCED CONCRETE PIPE SHALL CONFORM TO ASTM C-76 SPECIFICATIONS WITH ASTM C-443 FLAT GASKET JOINTS, OR ASTM C-361 "O-RING" JOINTS WHEN WATER MAIN QUALITY JOINTS ARE REQUIRED.
2. ALL CORRUGATED STEEL PIPE SHALL CONFORM TO ASTM A-929 (MATERIAL), A-760 (PIPE FABRICATION AND JOINTS), AND A-796 (STRUCTURAL DESIGN).
3. ALL WATERMAIN QUALITY PLASTIC PIPE SHALL BE P.V.C. CONFORMING TO NSF STANDARD 14 AND: ASTM STANDARD B 1784 OR AWWA STANDARD C900 OR C905. JOINTING SHALL BE PRESSURE SLIP JOINTED. ELASTOMERIC SEALS (GASKETS) USED FOR PUSH-ON JOINTS SHALL COMPLY WITH ASTM STANDARD F477, AND SHALL BE PRESSURE RATED IN ACCORDANCE WITH ASTM D3139.
4. ALL STRUCTURE LIDS SHALL BE IMPRINTED "STORM".
5. ALL FRAMES AND LIDS SHALL CONFORM TO ASTM A-48.
6. ALL SEWERS ARE TO BE INSTALLED FROM THE DOWNSTREAM END UPSTREAM. IF ANY CONFLICTS ARE ENCOUNTERED, THE DESIGN ENGINEER IS TO BE CONTACTED PRIOR TO THE INSTALLATION OF ANY PIPE.
7. IN PAVED AREAS, ALL FRAMES AND LIDS SHALL BE: NEENAH R-2050 OR R-2502 WITH TYPE D GRATE AT LOW POINTS; OR NEENAH R-3281-A IN CURB AND GUTTER; OR NEENAH R-1550-A WITH SOLID LID, UNLESS OTHERWISE SPECIFIED.
8. IN NON-PAVED AREAS, ALL FRAMES AND LIDS SHALL BE: NEENAH R-2090 OR R-2060 WITH TYPE B GRATE AT LOW POINTS; OR NEENAH R-1550-A WITH SOLID LID, UNLESS OTHERWISE SPECIFIED.
9. ALL DOWNSPOUTS AND FOOTING DRAINS SHALL DISCHARGE TO THE STORM SEWER.

GRADING

1. GEOTECHNICAL REPORTS AS PREPARED BY OWNER (OR REPRESENTATIVE) SHALL BE REFERED TO PRIOR TO EARTH MOVING AND/OR UTILITY CONSTRUCTION.
2. UNSTABLE SOIL SHALL BE REMOVED OR STABILIZED.
3. CONTRACTOR IS TO MAINTAIN A POSITIVE DRAINAGE PATTERN AT THE END OF EACH DAY. CARE SHOULD BE TAKEN TO INSURE THAT DRAINAGE IS NOT REROUTED OR BLOCKED IN A WAY THAT MAY BE INJURIOUS TO ADJACENT LAND.
4. ALL FILLS SHALL BE PLACED IN 8" LIFTS COMPACTED TO A MINIMUM OF 98% STANDARD LABORATORY DENSITY PER ASTM D698 UNDER AND WITHIN INFLUENCE OF THE BUILDING, A MINIMUM OF 95% STANDARD LABORATORY DENSITY PER ASTM D698 UNDER AND WITHIN THE INFLUENCE OF ALL OTHER IMPERVIOUS AREAS, AND A MINIMUM OF 90% STANDARD LABORATORY DENSITY PER ASTM D698 IN ALL LANDSCAPE AREAS.
5. EROSION CONTROL SHALL BE PROVIDED PRIOR TO ANY DISTURBANCES. SEE EROSION CONTROL PLAN.
6. PROVIDE TOPSOIL RESPREAD PER THE FOLLOWING UNLESS OTHERWISE NOTED:
   A. 4" MINIMUM IN GRASS OR SOD AREAS.
   B. 6" MINIMUM IN PLANTING AREAS.
   C. 12" MINIMUM IN LANDSCAPE ISLANDS.
7. ALL GRADING IS TO BE CONSTRUCTED TO WITHIN A TOLERANCE OF 0.10' OF THE PROPOSED ELEVATION OR SUB-BASE ELEVATION.

WATER MAIN SPECIFICATIONS

1. HORIZONTAL SEPARATION
   - A. WATER MAINS AND SEWERS: WATER MAINS SHALL BE LAID AT LEAST TEN FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED DRAIN, STORM SEWER, SANITARY SEWER, COMBINED SEWER OR SEWER SERVICE CONNECTION.
   - B. WATER MAINS MAY BE LAID CLOSER THAN TEN FEET TO A SEWER LINE OR SEWER SERVICE CONNECTION WHEN:
     I) LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF TEN FEET;
     II) THE WATER MAIN INVERT IS AT LEAST EIGHTEEN INCHES (18") ABOVE THE CROWN OF THE SEWER; AND
     III) THE WATER MAIN IS EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON AN UNDISTURBED EARTH SHELF LOCATED TO ONE SIDE OF THE SEWER.
   - C. BOTH THE WATER MAIN AND SEWER PIPE SHALL BE CONSTRUCTED OF PUSH JOINT OR MECHANICAL JOINT DUCTILE IRON PIPE, PRESSURE PIPE, PRESTRESSED CONCRETE PIPE, OR PVC SDR18 PIPE WITH AWWA C-900 JOINTS, MEETING THE REQUIREMENTS OF SECTION 653.111 OF THE IEPA'S TITLE 35 SUBTITLE F, WHEN IT IS IMPOSSIBLE TO MEET (A) OR (B) ABOVE. THE DRAIN OR SEWER SHALL BE PRESSURE TESTED TO THE MAXIMUM EXPECTED SURCHARGE HEAD BEFORE BACKFILLING.
2. VERTICAL SEPARATION
   - A. A WATER MAIN SHALL BE LAID SO THAT ITS INVERT IS EIGHTEEN INCHES (18") ABOVE THE CROWN OF THE DRAIN OR SEWER WHENEVER WATER MAINS CROSS STORM SEWERS, SANITARY SEWERS OF SEWER SERVICE CONNECTIONS. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATER MAIN LOCATED WITHIN TEN FEET HORIZONTALLY OF ANY SEWER OR DRAIN CROSSED. A LENGTH OF WATER MAIN PIPE SHALL BE CENTERED OVER THE SEWER TO BE CROSSED WITH JOINTS EQUIDISTANT FROM THE SEWER OR DRAIN.
   - B. BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF PUSH JOINT OR MECHANICAL JOINT DUCTILE PIPE, PRESTRESSED CONCRETE PIPE, OR PVC PIPE MEETING THE REQUIREMENTS OF SECTION 635.111 OF THE IEPA'S TITLE F, SUBTITLE F, AND CONSTRUCTION SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE PERPENDICULAR DISTANCE FROM THE WATER MAIN TO THE SEWER DRAIN LINE IS AT LEAST TEN FEET (10') WHEN:
     I) IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION AS DESCRIBED IN (A) ABOVE; OR
     II) THE WATER MAIN PASSES UNDER A SEWER OR DRAIN.
   - C. A VERTICAL SEPARATION OF EIGHTEEN INCHES (18") BETWEEN THE INVERT OF THE SEWER OR DRAIN AND THE CROWN OF THE WATER MAIN SHALL BE MAINTAINED WHERE A WATER MAIN CROSSES UNDER A SEWER. SUPPORT THE SEWER OR DRAIN LINES TO PREVENT SETTLING AND BREAKING THE WATER MAIN.
3. WATER MAINS AND SERVICES SHALL BE CONSTRUCTED SO THAT THE MINIMUM DEPTH IS FIVE AND ONE HALF FEET (5 1/2') MEASURED FROM FINISHED GRADE TO THE TOP OF THE PIPE, UNLESS OTHERWISE SPECIFIED AND/OR APPROVED BY THE REVIEW ENGINEER.
4. ALL WATER MAIN FITTINGS MAY OR MAY NOT BE SHOWN ON THE PLANS AND SHOULD BE INCLUDED IN THE COST OF THE WATER MAIN ITSELF FOR BIDDING PURPOSES. ALL WATER MAIN SHALL BE DUCTILE IRON CLASS 52 CEMENT LINED CONFORMING TO ANSI A-21.51 WITH ANSI A-21.11 JOINTS, OR TYPE "K" COPPER PIPE WITH SWEATED JOINTS. ALL WATER MAINS SHALL BE POLYETHYLENE WRAPPED.
5. FIRE HYDRANTS SHALL BE MUELLER CENTURIAN A-421, WITH FOUR AND ONE HALF INCH (4 1/2") VALVE OPENING WITH 6 INCH FLANGE BY MECHANICAL A2360 RESILIENT WEDGE VALVE ATTACHED, TWO TWO AND ONE HALF INCH (2 1/2") HOSE NOZZLES AND ONE FIVE INCH (5") PUMPER NOZZLE. FIRE HYDRANT SHALL BE EQUIPPED WITH AN AUXILIARY RESILIENT SEAL GATE VALVE COMPLETE WITH ROADWAY BOX, TYLER, 6850 SERIES, ITEM 668-S. FIRE HYDRANTS MUST HAVE THEIR DISCHARGE AT LEAST 18 INCHES BUT NOT MORE THAN TWENTY-FOUR INCHES (24") FROM THE SURFACE OF THE ADJACENT GROUND.
6. HYDRANTS SHALL BE INSTALLED NO CLOSER THAN THREE FEET (3') NOR FURTHER THAN EIGHT FEET (8') FROM THE BACK OF CURB OR EDGE OF PAVEMENT TO THE FIVE INCH (5") STEAMER NUT. NO BARRIERS, TREES, BUSHES, WALLS OR OTHER OBSTACLES WHICH MAY HIDE OR IMPEDE THE USE OF A FIRE HYDRANT SHALL BE INSTALLED, MAINTAINED, CONSTRUCTED, OR ENLARGED, WITHIN FORTY-EIGHT INCHES (48") OF A HYDRANT.
7. ALL STRUCTURE LIDS SHALL BE IMPRINTED "WATER".
8. ALL WATERTIGHT FRAMES AND LIDS SHALL BE NEENAH R-1916-C ALL OTHER FRAMES AND LIDS SHALL BE NEENAH R-1550 WITH A CONCEALED PICK HOLE.
9. ALL FRAMES AND LIDS SHALL CONFORM TO ASTM A-48.
10. BEFORE BEING PLACED INTO SERVICE, ALL NEW MAINS AND REPAIRED PORTIONS OF, OR EXTENSIONS TO EXISTING MAINS SHALL BE CHLORINATED SO THAT THE INITIAL CHLORINE RESIDUAL IS NOT LESS THAN FIFTY (50) mg/L AND THAT A CHLORINE RESIDUAL OF NOT LESS THAN TWENTY-FIVE (25) mg/L REMAINS IN THE WATER AFTER STANDING TWENTY-FOUR (24) HOURS IN THE PIPE.
11. GATE VALVES SHALL BE MUELLER A2360-20 RESILIENT WEDGE VALVE OR AMERICAN FLOW CONTROL SERIES 2500 RESILIENT WEDGE VALVE.
12. TAPPING VALVES SHALL BE MUELLER A2360-16 RESILIENT WEDGE VALVE OR AMERICAN FLOW CONTROL SERIES 2500 FLANGE X MECHANICAL JOINT RESILIENT WEDGE VALVE.
13. TAPPING SLEEVE SHALL BE ALL STAINLESS STEEL WITH TEST PLUG(SMITH BLAIN 665/CASCADE CST-EXTRA HEAVY).
14. VALVE BOXES SHALL BE TYLER 664S SCREW TYPE CAST IRON TWO-PIECE VALVE BOX.
    NOTE: PLASTIC VALVE BOXES OR PLASTIC EXTENSIONS ARE NOT ALLOWED.
    A VALVE SETTER SHALL ALSO BE INSTALLED ON ALL VALVES, PRIOR TO INSTALLING THE VALVE BOX.
    VALVE BOX ADAPTOR II:
    A. TYPE A GATE VALVES-4"-6" MUELLER, 4"-6"-8" WATEROUS AFC.
    B. TYPE B GATE VALVES-8" MUELLER, 10"-12" WATEROUS AFC.
    C. TYPE D GATE VALVES-10" MUELLER.

PAVEMENT

1. ALL PAVEMENTS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING REFERENCES AS THEY APPLY:
   STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, ILLINOIS DEPARTMENT OF TRANSPORTATION, LATEST EDITION; MANUAL FOR STRUCTURAL DESIGN OF PORTLAND CEMENT CONCRETE PAVEMENT, ILLINOIS DEPARTMENT OF TRANSPORTATION, LATEST EDITION; DESIGN MANUAL, ILLINOIS DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
2. ALL PAVED AREAS SHALL BE COMPACTED TO 95% MODIFIED LABORATORY DENSITY. BEFORE THE BASE COURSE MATERIALS ARE INSTALLED, THE SUB-GRADE SHALL BE PROOF-ROLLED TO THE SATISFACTION OF THE ENGINEER, HIS AGENT, AND/OR THE SOILS ENGINEER. COMPACTION AND DENSITY TESTS SHALL BE TAKEN AT THE OWNER'S OPTION.
3. ALL CONCRETE TO BE MINIMUM 4000 PSI, SALT TOLERANT, 6 BAG MIX WITH A LINSEED OIL SEALER.
4. EXPANSION JOINTS SHALL BE 3/4" WATERPROOF PREFABRICATED FELT BOARD TYPE MATERIAL THE FULL DEPTH OF THE CONCRETE SECTION.
5. BINDER COURSE TO BE PLACED WHEN TEMPERATURE IS AT LEAST 40° F AND RISING. SURFACE COURSE TO BE PLACED WHEN TEMPERATURE IS AT LEAST 45° AND RISING.
6. ALL PROPOSED PAVEMENT AND CURBS ARE TO BE CONSTRUCTED TO WITHIN A TOLERANCE OF 0.05' OF THE PROPOSED ELEVATIONS.

NO.	REVISIONS	DATE

Prepared For:

McDonald's Corporation
4320 Winfield Road, Suite 400
Warrenville, IL 60555

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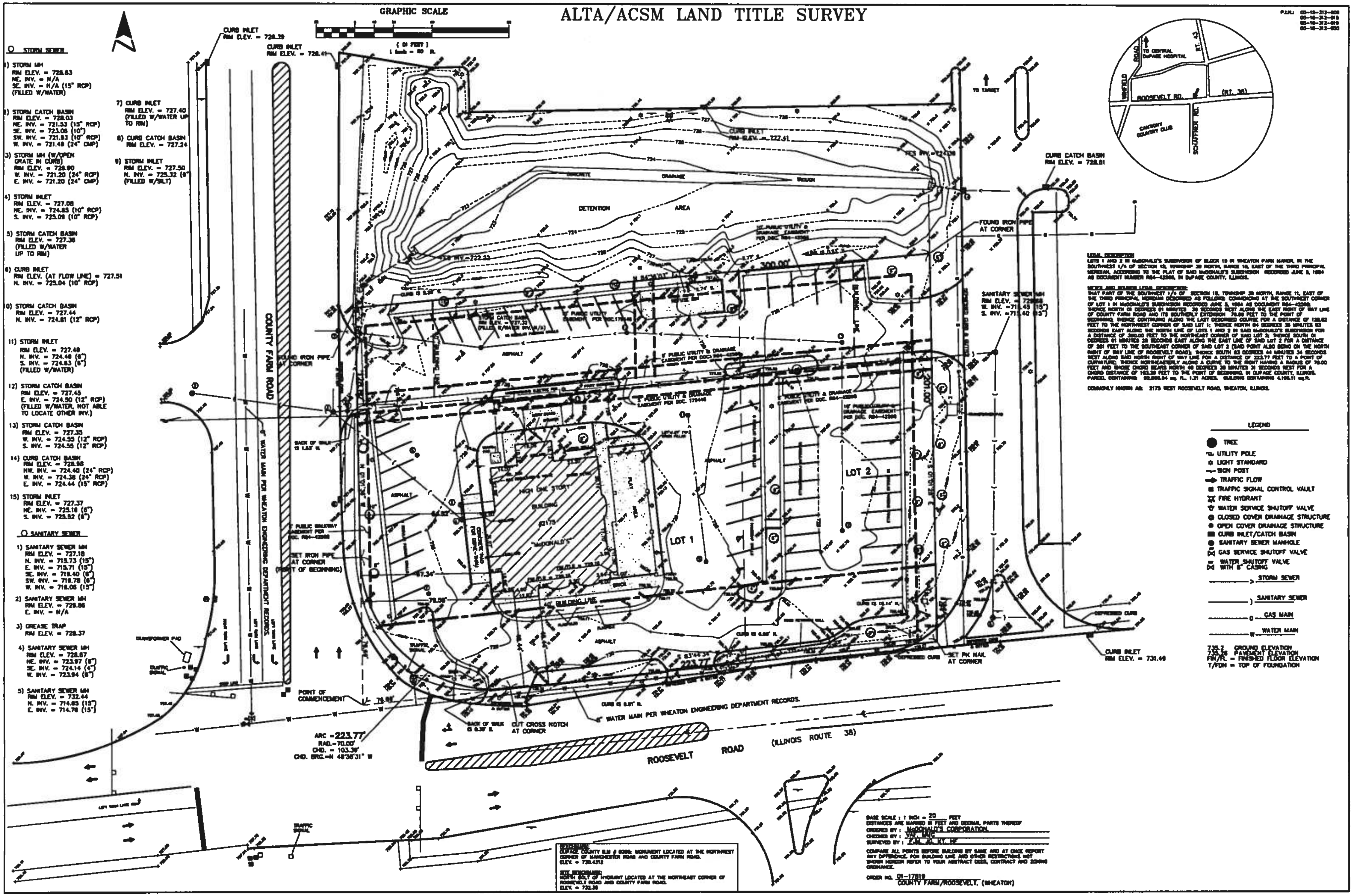
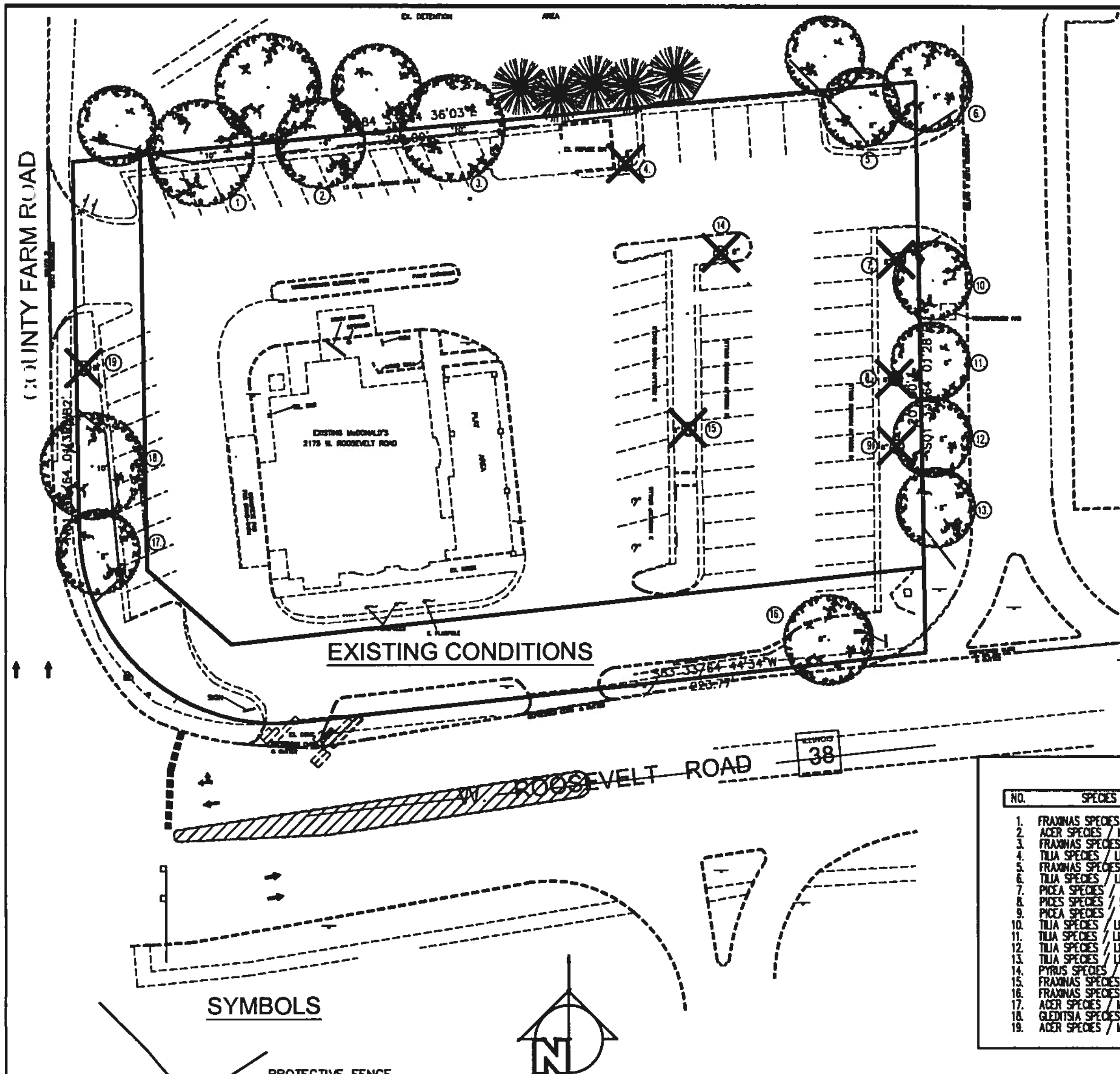
DESIGN BY: J. MILLER
DRAWN BY: K.S., S.P.
DATE: MARCH 14, 2006
SCALE: NONE
PROJECT NO: 05-140

PROJECT SPECIFICATIONS

C-7

PROJECT SPECIFICATIONS


ALTA/ACSM LAND TITLE SURVEY
GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.
STORM SEWER
1) STORM MH
RIM ELEV. = 728.83
NE. INV. = N/A
SE. INV. = N/A (15" RCP)
(FILLED W/WATER)
2) STORM CATCH BASIN
RIM ELEV. = 728.03
NE. INV. = 721.53 (15" RCP)
SE. INV. = 723.08 (10")
SW. INV. = 721.93 (10" RCP)
W. INV. = 721.48 (24" CMP)
3) STORM MH (W/OPEN GRATE IN CURB)
RIM ELEV. = 728.90
W. INV. = 721.20 (24" RCP)
E. INV. = 721.20 (24" CMP)
4) STORM INLET
RIM ELEV. = 727.08
NE. INV. = 724.83 (10" RCP)
S. INV. = 725.09 (10" RCP)
5) STORM CATCH BASIN
RIM ELEV. = 727.36
(FILLED W/WATER UP TO RIM)
6) CURB INLET
RIM ELEV. (AT FLOW LINE) = 727.51
N. INV. = 725.04 (10" RCP)
7) CURB INLET
RIM ELEV. = 727.40
(FILLED W/WATER UP TO RIM)
8) CURB CATCH BASIN
RIM ELEV. = 727.24
9) STORM INLET
RIM ELEV. = 727.50
N. INV. = 725.32 (6")
(FILLED W/SILT)
10) STORM CATCH BASIN
RIM ELEV. = 727.44
N. INV. = 724.81 (12" RCP)
11) STORM INLET
RIM ELEV. = 727.48
N. INV. = 724.48 (6")
S. INV. = 724.83 (6")
(FILLED W/WATER)
12) STORM CATCH BASIN
RIM ELEV. = 727.45
E. INV. = 724.50 (12" RCP)
(FILLED W/WATER, NOT ABLE TO LOCATE OTHER INV.)
13) STORM CATCH BASIN
RIM ELEV. = 727.35
W. INV. = 724.55 (12" RCP)
S. INV. = 724.55 (12" RCP)
14) CURB CATCH BASIN
RIM ELEV. = 728.98
NW. INV. = 724.40 (24" RCP)
W. INV. = 724.38 (24" RCP)
E. INV. = 724.44 (15" RCP)
15) STORM INLET
RIM ELEV. = 727.37
NE. INV. = 723.18 (6")
S. INV. = 723.82 (6")
SANITARY SEWER
1) SANITARY SEWER MH
RIM ELEV. = 727.18
N. INV. = 713.73 (15")
E. INV. = 715.71 (15")
SE. INV. = 719.40 (6")
SW. INV. = 719.78 (6")
W. INV. = 718.08 (15")
2) SANITARY SEWER MH
RIM ELEV. = 728.86
E. INV. = N/A
3) GREASE TRAP
RIM ELEV. = 728.37
4) SANITARY SEWER MH
RIM ELEV. = 728.67
NE. INV. = 723.97 (6")
SE. INV. = 724.14 (4")
W. INV. = 723.94 (6")
5) SANITARY SEWER MH
RIM ELEV. = 732.44
N. INV. = 714.85 (15")
E. INV. = 714.78 (15")
CURB INLET
RIM ELEV. = 728.39
CURB INLET
RIM ELEV. = 728.41
CURB INLET
RIM ELEV. = 727.41
CURB CATCH BASIN
RIM ELEV. = 728.81
CURB INLET
RIM ELEV. = 731.48
SANITARY SEWER MH
RIM ELEV. = 729.96
W. INV. = 715.45 (15")
S. INV. = 715.40 (15")
DETENTION AREA
CONCRETE DRAINAGE TROUGH
COUNTY FARM ROAD
ROOSEVELT ROAD (ILLINOIS ROUTE 38)
LOT 1
LOT 2
HIGH ONE STORY BUILDING #2175 "McDONALD'S"
ASPHALT
BUILDING LINE
FOUND IRON PIPE AT CORNER
SET IRON PIPE AT CORNER (POINT OF BEGINNING)
POINT OF COMMENCEMENT
SET PK NAIL AT CORNER
CUT CROSS NOTCH AT CORNER
DEPRESSED CURB
TRANSFORMER PAD
TRAFFIC SIGNAL
TO TARGET
300.00'
201.00'
223.77'
ARC = 223.77'
RAD. = 70.00'
CHD. = 103.38'
CHD. BRG. = N 48°38'31" W
8" WATER MAIN PER WHEATON ENGINEERING DEPARTMENT RECORDS.
TO CENTRAL DuPAGE HOSPITAL
WINFIELD ROAD
RT. 43
ROOSEVELT RD.
(RT. 38)
SCHAFFNER RD.
CANTIGNY COUNTRY CLUB
LEGAL DESCRIPTION
LOTS 1 AND 2 IN McDONALD'S SUBDIVISION OF BLOCK 19 IN WHEATON PARK MANOR, IN THE SOUTHWEST 1/4 OF SECTION 18, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID McDONALD'S SUBDIVISION RECORDED JUNE 5, 1984 AS DOCUMENT NUMBER R84-42368, IN DUPAGE COUNTY, ILLINOIS.
COMMONLY KNOWN AS: 2173 WEST ROOSEVELT ROAD, WHEATON, ILLINOIS.
LEGEND
TREE
UTILITY POLE
LIGHT STANDARD
SIGN POST
TRAFFIC FLOW
TRAFFIC SIGNAL CONTROL VAULT
FIRE HYDRANT
WATER SERVICE SHUTOFF VALVE
CLOSED COVER DRAINAGE STRUCTURE
OPEN COVER DRAINAGE STRUCTURE
CURB INLET/CATCH BASIN
SANITARY SEWER MANHOLE
GAS SERVICE SHUTOFF VALVE
WATER SHUTOFF VALVE WITH 8" CASING
STORM SEWER
SANITARY SEWER
GAS MAIN
WATER MAIN
735.2 GROUND ELEVATION
733.26 PAVEMENT ELEVATION
FIN/FL = FINISHED FLOOR ELEVATION
T/FDN = TOP OF FOUNDATION
BASE SCALE : 1 INCH = 20 FEET
DISTANCES ARE MARKED IN FEET AND DECIMAL PARTS THEREOF
ORDERED BY : McDONALD'S CORPORATION
CHECKED BY : VAF, MKG
SURVEYED BY : F.M., JC, KY, HF
COMPARE ALL POINTS BEFORE BUILDING BY SAME AND AT ONCE REPORT ANY DIFFERENCE. FOR BUILDING LINE AND OTHER RESTRICTIONS NOT SHOWN HEREON REFER TO YOUR ABSTRACT DEED, CONTRACT AND ZONING ORDINANCE.
ORDER NO. 01-17819
COUNTY FARM/ROOSEVELT, (WHEATON)
BENCHMARK:
DUPAGE COUNTY B.M. # 6389: MONUMENT LOCATED AT THE NORTHWEST CORNER OF MANCHESTER ROAD AND COUNTY FARM ROAD.
ELEV. = 730.4312
SITE BENCHMARK:
NORTH BOLT OF HYDRANT LOCATED AT THE NORTHEAST CORNER OF ROOSEVELT ROAD AND COUNTY FARM ROAD.
ELEV. = 732.38



SYMBOLS

PROTECTIVE FENCE

TREE TO BE REMOVED

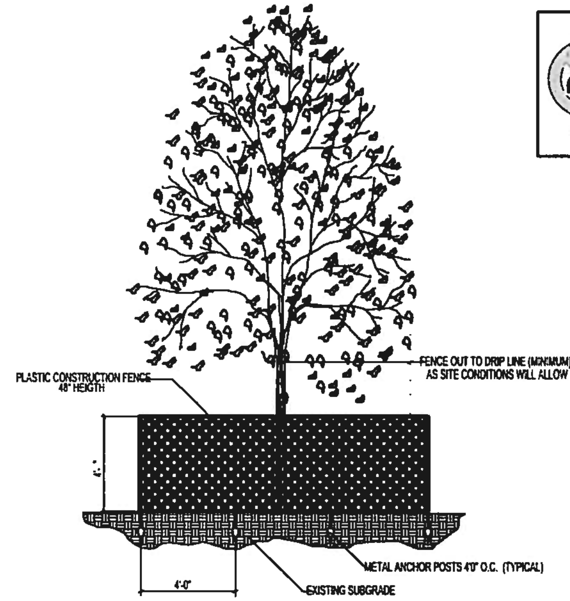
EXISTING TREES ON AND OFF SITE

TREE PRESERVATION AND PROTECTION PLAN

SCALE 1"=20'-0"

LEGEND

NO.	SPECIES	SIZE	CONDITION	ACTION TAKEN
1.	FRAXINAS SPECIES / ASH	10"	GOOD	PROTECT
2.	ACER SPECIES / MAPLE	6"	GOOD	PROTECT
3.	FRAXINAS SPECIES / ASH	10"	GOOD	PROTECT
4.	TILIA SPECIES / LINDEN	6"	GOOD	REMOVE
5.	FRAXINAS SPECIES / ASH	8"	GOOD	PROTECT
6.	TILIA SPECIES / LINDEN	6"	GOOD	PROTECT
7.	PICEA SPECIES / SPRUCE	8"	GOOD	REMOVE
8.	PICES SPECIES / SPRUCE	6"	GOOD	REMOVE
9.	PICEA SPECIES / SPRUCE	6"	GOOD	REMOVE
10.	TILIA SPECIES / LINDEN	6"	GOOD	PROTECT
11.	TILIA SPECIES / LINDEN	6"	GOOD	PROTECT
12.	TILIA SPECIES / LINDEN	6"	GOOD	PROTECT
13.	TILIA SPECIES / LINDEN	6"	GOOD	PROTECT
14.	PYRUS SPECIES / PEAR	8"	GOOD	REMOVE
15.	FRAXINAS SPECIES / ASH	8"	GOOD	REMOVE
16.	FRAXINAS SPECIES / ASH	8"	POOR	PROTECT
17.	ACER SPECIES / MAPLE	8"	POOR	PROTECT
18.	GLEDITSIA SPECIES / LOCUST	10"	GOOD	PROTECT
19.	ACER SPECIES / MAPLE	8"	DEAD	REMOVE



WARNING

CALL BEFORE YOU DIG

TREE PROTECTION DETAIL

NO SCALE

NOTES

A. GRADING, CONSTRUCTION EQUIPMENT AND MATERIALS

ALL GRADING AND CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE FORBIDDEN FROM ENCROACHING UPON THE TREES DRIP LINE.

B. MATERIALS DETRIMENTAL TO TREES

CRUSHED LIMESTONE OR ANY OTHER MATERIAL WHICH MAY BE DETRIMENTAL TO TREES SHALL NOT BE DUMPED WITHIN THE DRIP LINE OF ANY TREES NOR SHALL BE LOCATED AT ANY HIGHER LOCATION WHERE DRAINAGE TOWARD THE TREE'S COULD CONCEIVABLY AFFECT THE HEALTH OF SAID TREE'S.

C. STORAGE OF VEHICLES.

NO MATERIALS OR VEHICLES SHALL BE STORED, DRIVEN, OR PARKED WITHIN THE DRIP LINE OF ANY TREES.

D. INSTALLATION OF SNOW FENCE.

SNOW FENCING, OR AN ALTERNATIVE TEMPORARY BARRIER, WITH THE WRITTEN APPROVAL OF THE CITY PLANNER OR HIS AUTHORIZED DESIGNEE, SHALL BE INSTALLED AT THE PERIPHERY OF THE TREE'S DRIP LINE TO PROTECT TREES FROM ROOT COMPACTION BY THE STORAGE OF MATERIALS OR VEHICLES.

E. PRUNING

IDENTIFICATION OF ANY TREES WHICH HAVE TO BE SAVED, BUT WHICH COULD BE NEGATIVELY AFFECTED DURING THE CONSTRUCTION PROCESS. ALL SUCH TREES SHALL BE PRUNED BY A QUALIFIED ARBORIST TO COMPENSATE FOR ROOT LOSS DURING CONSTRUCTION.

LANDSCAPE PLANS PREPARED BY:

PAUL A. COUTURE, ASLA
IL. LICENSE NUMBER 157-00328

TREE PRESERVATION AND PROTECTION PLAN

NO. | REVISION | DRAWING | DATE

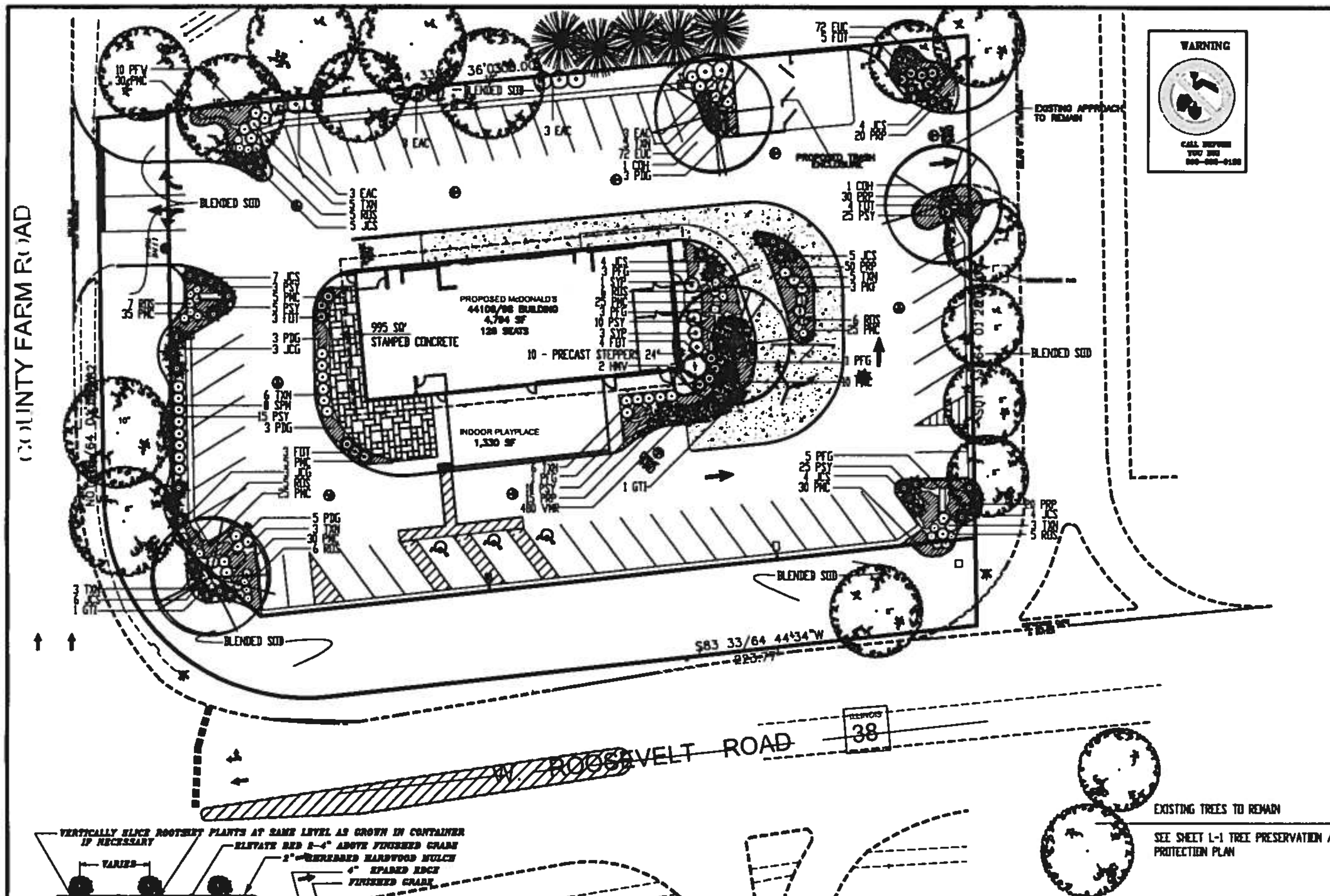
Prepared For:

McDonald's Corporation
4320 Winfield Road, Suite 400
Warrenville, IL 60555

McDONALD'S - WHEATON, IL (LC #12-1749)
2175 West Roosevelt
Wheaton, Illinois

COUTURE
Landscape Construction
Landscape Architects / Contractors
www.couturelandscape.com

DESIGN BY: P.COUTURE
DRAWN BY: P.COUTURE
DATE: MARCH 14, 2006
SCALE: AS SHOWN
PROJECT NO.: 05-140

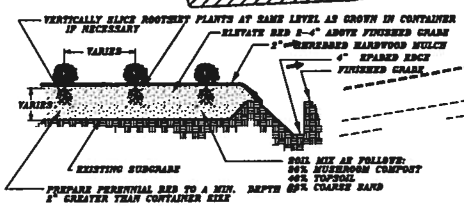


PLANT LIST

QTY	CODE		PLANT NAME	SIZE
2	GTI	GLEDITSIA TRIACANTHOS	SKYLINE HONEYLOCUST	3"CAL
2	COH	CELTIS OCCIDENTALIS	HACKBERRY	3"CAL
36	TXN	TAXUS MEDIA	NIGRA YEW	24"
39	JCS	JUNIPERUS CHINENSIS	SARGENT JUNIPER	18-24"
6	JCG	JUNIPERUS CHINENSIS	SEA GREEN JUNIPER	18-24"
2	HMV	HAMAMELIS VERNALIS	VERNAL WITCHHAZEL	4' HT
12	EAC	EUONYMUS ALATUS	COMPACT BURNING BUSH	4' HT
4	SYP	SYRINGA PALIBINIANA	DWARF KOREAN LILAC	30"
77	ROS	ROSA SPECIES	MEIDLAND SHRUB ROSE	18-24"
19	FOT	FOTHERGILLA GARDENII	DWARF FOTHERGILLA	18"
8	SPM	SPIREA BUMALDA	GOLD MOUND SPIREA	24"
144	EUC	EUONYMUS COLORATUS	WINTERCREEPER	3"
480	VMR	VINCA MINOR	PERIWINKLE	3"
220	PMC	COREOPSIS VERTICILLATA	MOONBEAM COREOPSIS	1 GAL
83	PSY	HEMEROCALLIS SPECIES	STELLA DE ORA DAYLILY	1 GAL
165	PRP	HEUCHERA MICRANTHA	PURPLE PALACE CORALBELL	1 GAL
10	PFW	HOSTA SEIBOLDIANA	FRANCES WILLIAMS HOSTA	1 GAL
13	PFG	PENNISETUM SPECIES	FOUNTAIN GRASS	2 GAL
14	PDG	PENNISETUM HAMELN	DWARF FOUNTAIN GRASS	2 GAL
3	PKF	CALAMAGROSTIS SPECIES	KARL FOERSTER GRASS	2 GAL

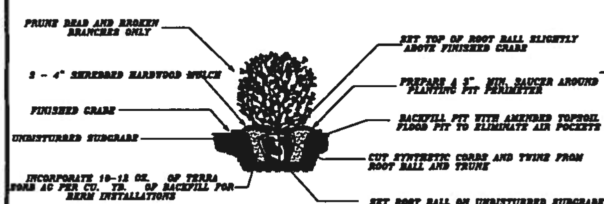
NOTE:

1. QUANTITY LISTS ARE SUPPLIED AS A CONVENIENCE. CONTRACTOR SHALL VERIFY ALL MATERIALS QUANTITIES ON SITE.
2. ALL PLANT MATERIAL TO BE NORTHERN ILLINOIS GROWN, AND WITH THE EXCEPTION OF LOW TYPE JUNIPER, GROUNDCOVERS, AND PERENNIALS BE BALLED AND BURLAPPED (B & B) UNLESS OTHERWISE SPECIFIED. PLANT MATERIAL TO BE GROWN IN ACCORDANCE TO STANDARDS SET BY THE AMERICAN ASSOCIATION OF NURSERYMEN
3. ALL PLANTINGS SHALL BE WATERED THOROUGHLY IN THE FIRST 24 HOURS AFTER PLANTING. ENSURE ALL AIR POCKETS ARE REMOVED AROUND ROOT BALL.
4. CONTRACTOR TO GUARANTEE PLANT MATERIAL FOR ONE YEAR FROM TIME OF PLANTING.
5. ALL PLANT BED AREAS TO BE MULCHED WITH SHREDDED HARDWOOD MULCH 3" DEEP AND SHALL BE SEPARATED FROM LAWN AREAS WITH A SPADED EDGING.
6. ALL LAWN AREAS TO BE A FIVE WAY MINIMUM BLUEGRASS BLEND. CONTRACTOR IS RESPONSIBLE FOR WATERING SOD UNTIL TIME OF KNITTING.
7. IT IS CONTRACTORS OPTION TO STAKE TREES, BUT HIS RESPONSIBILITY TO ASSURE PLANTS REMAIN PLUMB UNTIL THE END OF GUARANTEE PERIOD.
8. PLANT SIZES LISTED ARE THE MINIMUM SIZE REQUIRED. PLANTS THAT DO NOT MEET THESE MINIMUM SIZES SHALL BE REJECTED AT CONTRACTORS EXPENSE.
9. NO PLANT SPECIES OR SIZES SHALL BE SUBSITUTED WITHOUT PRIOR APPROVAL FROM LANDSCAPE ARCHITECT.



PERENNIAL PLANTING DETAIL

NOT TO SCALE USE ONLY NORTHERN ILLINOIS GROWN NURSERY STOCK



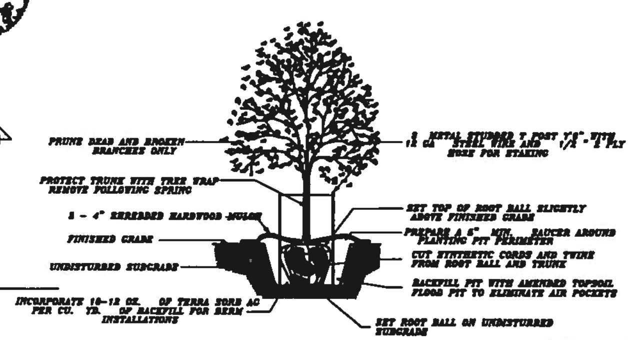
SHRUB PLANTING DETAIL

NOT TO SCALE USE ONLY NORTHERN ILLINOIS GROWN NURSERY STOCK

LANDSCAPE PLAN

SCALE 1"=20'-0"

0 10 20 40 60 80 100



TREE PLANTING DETAIL

NOT TO SCALE USE ONLY NORTHERN ILLINOIS GROWN NURSERY STOCK

LANDSCAPE PLANS PREPARED BY:

PAUL A. COUTURE, ASLA
IL LICENSE NUMBER 157-00320

LANDSCAPE PLAN

NO.	REVISION	DRAWING	DATE

Prepared For:

McDonald's Corporation
4320 Winfield Road, Suite 400
Warrenville, IL 60555

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DESIGN BY: P.COUTURE
DRAWN BY: P.COUTURE
DATE: MARCH 14, 2006
SCALE: AS SHOWN
PROJECT NO.: 05-140

LANE AFE PLAN

NOTES:

1. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE FOLLOWING CRITERIA. ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF SECURITY LIGHTING.

   SECURITY LIGHTING SYSTEMS MODEL # SEE FIXTURE SCHEDULE

   LAMP TYPE, WATTAGE METAL HALIDE, 400 WATT

   LUMEN OUTPUT 36,000 LUMENS

   MOUNTING HEIGHT 24'

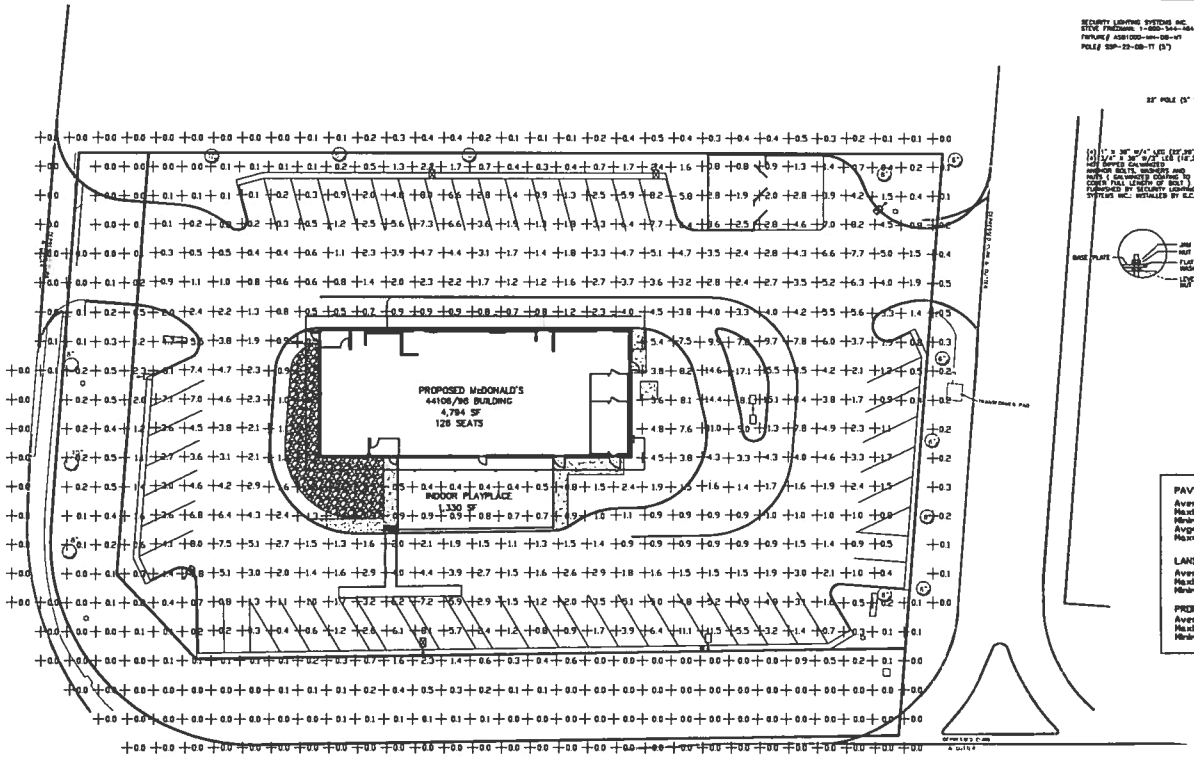
2. THE CONTRIBUTION OF THE METAL HALIDE SOFFIT / BUILDING LIGHTING IS NOT REFLECTED ON THIS DRAWING.

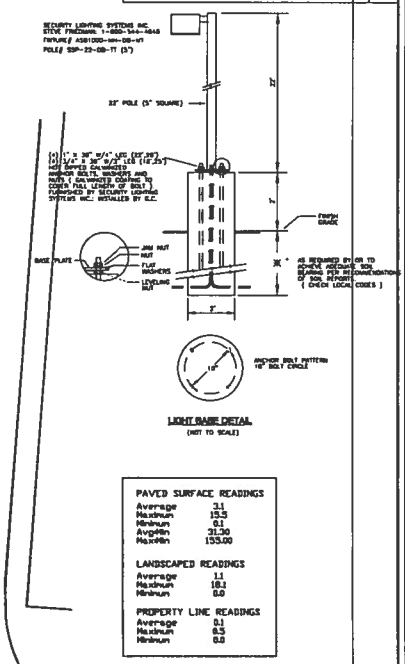
3. DISTANCE BETWEEN READINGS 10'

4. FINAL ADJUSTMENTS TO AIMING ANGLE/DIRECTION OF FIXTURES MAY BE REQUIRED TO ELIMINATE LIGHT TRESPASS OR GLARE ONTO ADJOINING PROPERTIES OR ROADWAYS.

5. FOOTCANDLE LEVELS SHOWN ARE MAINTAINED. MAINTENANCE FACTOR USED ON THIS DRAWING IS .75

DRWG. NO. 1PCP17040B





LIGHT BASE DETAIL
(NOT TO SCALE)

PAVED SURFACE READINGS	
Average	3.1
Maximum	15.5
Minimum	0.1
Avg/Min	31.00
Max/Min	155.00

LANDSCAPED READINGS	
Average	1.1
Maximum	18.1
Minimum	0.0

PROPERTY LINE READINGS	
Average	0.1
Maximum	0.5
Minimum	0.0

RSB-RCS/L SERIES

Fixture Specifications

SQUARE STRAIGHT STEEL POLES

Specifications

== SPECIFY COLOR NOTE: ALL POLES DRILLED

FIXTURE TYPE:	SYMBOL	QUANTITY	CONFIG	QUANTITY	POLE TYPE: *	QUANTITY
RSB/RCS400-MH-II-DB-HT		3	SGL	7	SSP-22-DB (5")	8
RSB/RCS400-MH-IV-DB-HT		6	DBL 180°	1		
REAR GLARE SHIELD		1				

✳ THIS FIXTURE TO HAVE EXTERNAL REAR GLARE SHIELDS.

THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA UNDER STATED CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRES MAY VARY DUE TO VARIATIONS IN ELECTRICAL VOLTAGE, TOLERANCES IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.

UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES
TOLERANCES NOT OTHERWISE SPECIFIED

SCALE 1" = 20'	0° DATE	NEXT ASSEMBLY	NEXT SPARE
DRAWN BY D.E.	3/13/06		
CHECKED BY			
APPROVED BY			
APPROVED BY		FINISH	
APPROVED BY			
NEXT SPARE		MATERIAL	
PROJECT NO.			

POINT-BY-POINT FOOTCANDLE PLOT FOR
McDONALD'S
2175 WEST ROOSEVELT
WHEATON, IL

DRAWING NUMBER
1PCP17040B

20 0 10 20 40 80

PHOTOMETRIC PLAN

NO	REVISION	DATE

Prepared For:

McDonald's Corporation
4320 Winfield Road, Suite 400
Warrenville, IL 60555

McDONALD'S - WHEATON, IL (LC #12-1749)
2175 West Roosevelt
Wheaton, Illinois

Prepared By:

DESIGN BY: J. MILLER
DRAWN BY: K.S., S.P.
DATE: MARCH 14, 2006
SCALE: 1" = 20'
PROJECT NO.: 03-140

1 of 1

PHOTOMETRIC PLAN