

## **ORDINANCE NO. F-1167**

**AN ORDINANCE GRANTING A SIDE YARD SETBACK ABUTTING  
DEVONSHIRE LANE ON THE PROPERTY COMMONLY KNOWN AS  
1550 HAVERHILL DRIVE/MORIARTY**

**WHEREAS**, written application has been made requesting a variation Article 10.2.5 of the Wheaton Zoning Ordinance to allow the construction of a second-story addition to an existing house with a side yard setback abutting Devonshire Lane of 19.34 feet in lieu of the required 26.19 feet.; and

**WHEREAS**, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on April 25, 2006 to consider the variation request; and the Board recommended approval of the zoning variation.

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Wheaton,  
Du Page County, Illinois, pursuant to its home rule powers, as follows:

**Section 1:** Pursuant to the Findings of Fact made and determined by the Wheaton Planning and Zoning Board, a side yard setback abutting Devonshire Lane of 19.34 feet in lieu of the required 26.19 feet is granted in full compliance with the plans entitled "*Moriarty Residence, 1550 Haverhill Drive, Wheaton, IL 60187*" prepared by *Reliable Home Improvement and Supply, Inc., 1300 W. Ferry Road, Naperville, Illinois 6056, sheets 4, 6 and 7 dated March 23, 2006*, to allow construction of a second-story addition to an existing house on the following-described real estate:

LOT 226 IN BRIARCLIFFE KNOLLS UNIT THREE, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 21, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 30, 1979 AS DOCUMENT R79-25512 IN DUPAGE COUNTY, ILLINOIS.  
P.I.N. 05-21-415-019

This property is commonly known as 1550 Haverhill Drive, Wheaton, IL 60187.

**Section 2:** All ordinances or parts of ordinances in conflict with these provisions are repealed.

**Section 3:** This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.

ATTEST:

Andy M. Convalaggio  
City Clerk

  
James Ann  
Mayor

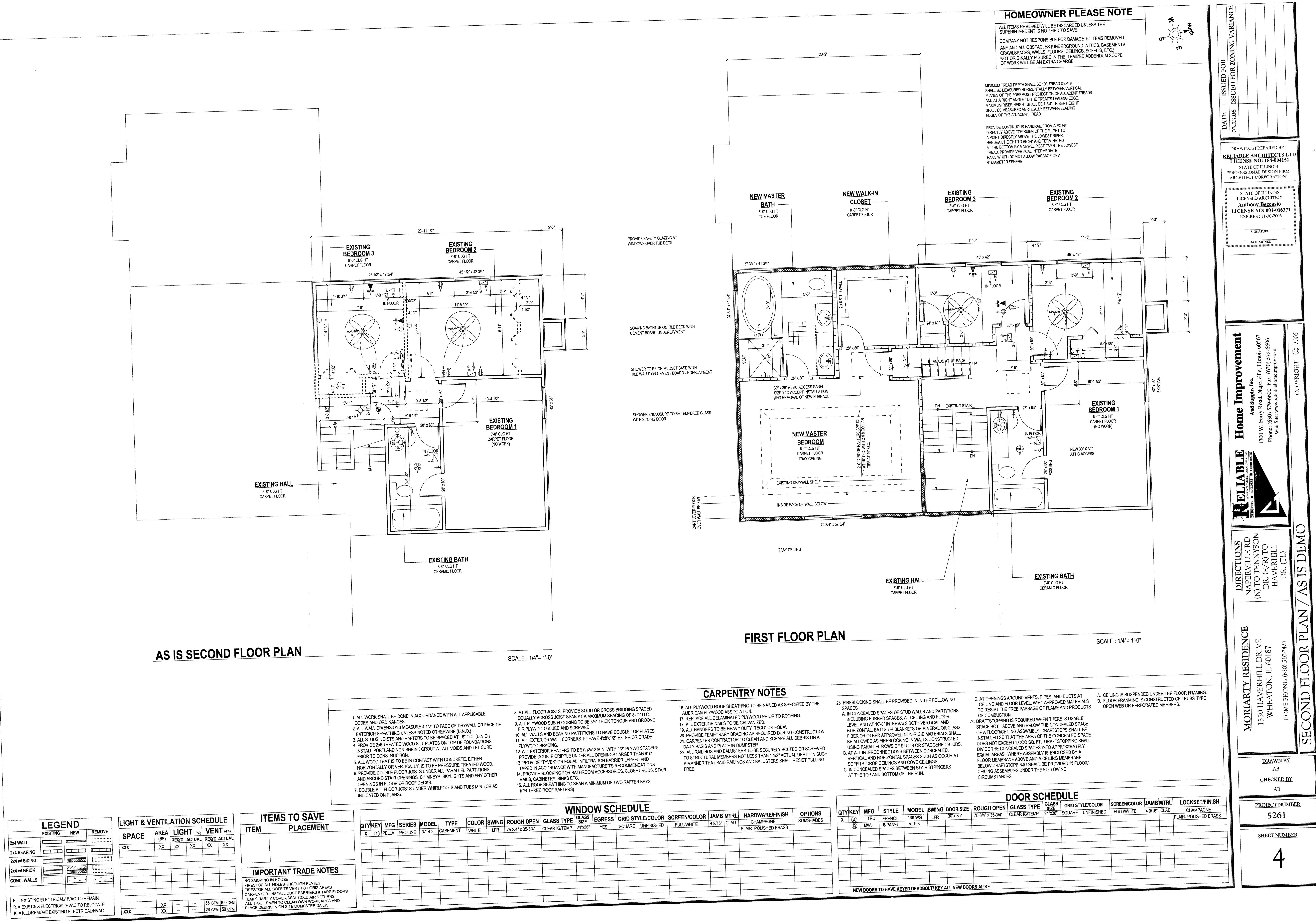
Ayes: Roll Call Vote  
Councilwoman Corry  
Councilman Johnson  
Mayor Carr  
Councilman Seuss  
Councilman Bolds

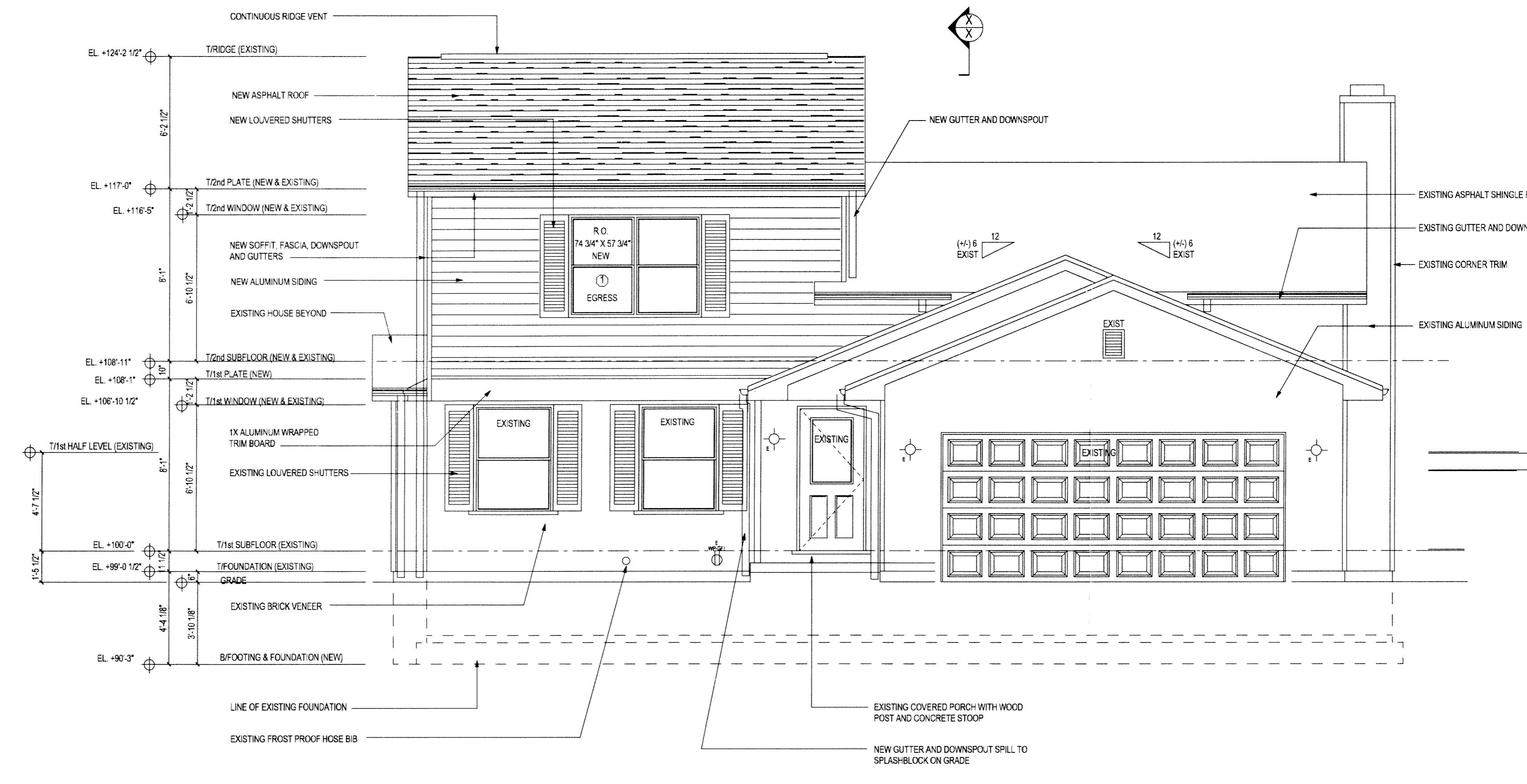
Nays: None

Absent: Councilman Levine  
Councilman Mouhelis

Motion Carried Unanimously

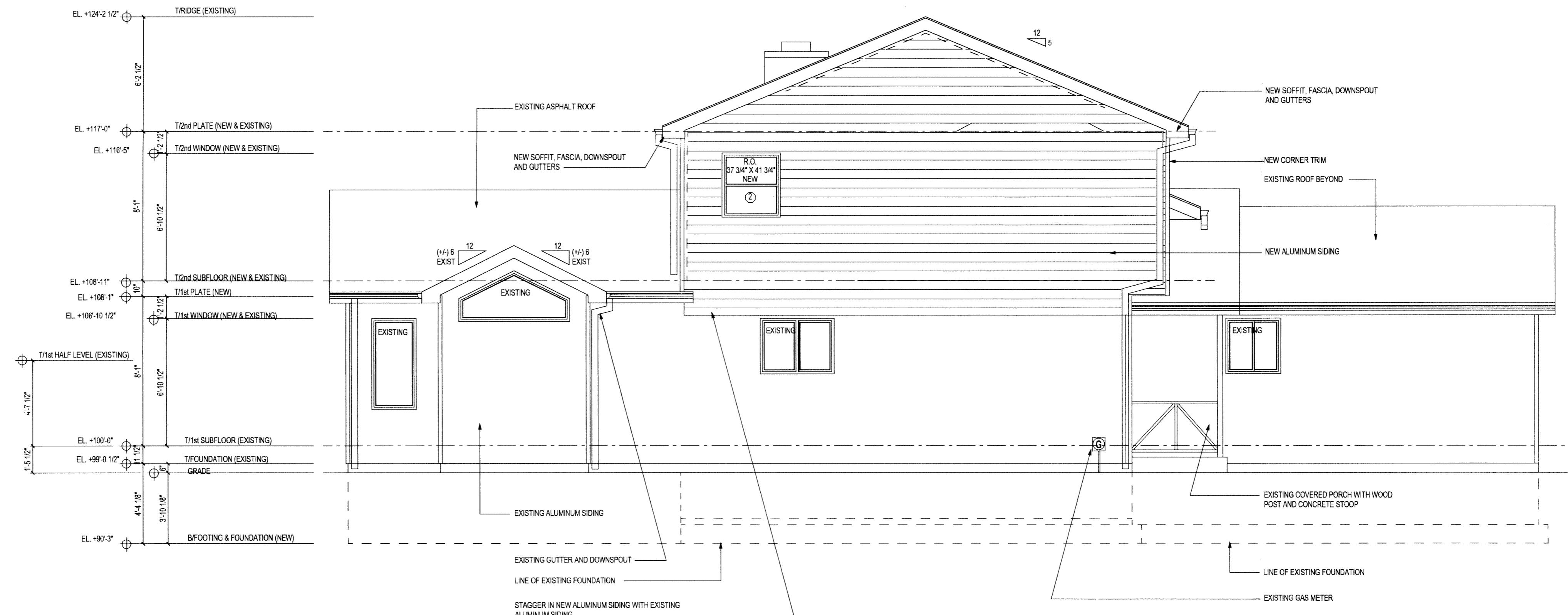
Passed: May 1, 2006  
Published: May 2, 2006





FRONT (SOUTH EAST) ELEVATION

SCALE : 1/4" = 1'-0"



LEFT (SOUTH WEST) ELEVATION

SCALE : 1/4" = 1'-0"

CONCRETE
- MINIMUM 8" CONCRETE OVERGRADE

SIDING INSTALLER
- CAULK ALL NEW WINDOWS AS NEEDED - PROVIDE BOXES FOR LIGHTS & OUTLETS - ALUMINUM SIDING TO HAVE CHANNEL AROUND NEW WINDOWS & DOORS

ROOFER
- INSTALL ICE & WATER GUARD ON ALL GUTTER LINES & IN ALL VALLEYS OF NEW CONSTRUCTION - ICE & WATER GUARD ALL SADDLES & UPPER LEVEL WALLS NEXT TO DEAD VALLEYS (IF ANY) - ALUMINUM SIDING TO HAVE CHANNEL AROUND NEW WINDOWS & DOORS - NUMBER SHOWN ON ELEVATION DRAWINGS MAY VERY.

CARPENTER
- CARPENTER TO PROVIDE ACCESS FROM OLD ATTIC TO NEW - CARPENTER TO ADJUST WALL HEIGHTS & SOFFIT PROJECTIONS AS REQUIRED TO ENSURE THAT FASCIA BOARDS LINE UP - NEW DOORS TO HAVE KEYED DEADBOLT. - KEY ALL NEW DOORS ALIKE

HOMEOWNER
- NO KEY LOCK FOR PATIO DOOR IS INCLUDED (NOT AVAILABLE ON PROLINE) - (IF ANY) - NO ALUMINUM WINDOW DOOR TRIM IS PROVIDED FOR - NO EXTERIOR WOOD DOOR WINDOW TRIM OR SHUTTERS ARE PROVIDED FOR - NO DOOR BELL IS PROVIDED FOR (EXISTING CHIME BOX IS NOT WARRANTED - AGAINST DAMAGE CAUSED BY VIBRATIONS FROM NEW CONSTRUCTION) - NO STORM WINDOWS ARE PROVIDED FOR - NO STORM DOORS ARE PROVIDED FOR UNLESS OTHERWISE NOTED - NO SPLASH BLOCKS, GUTTER EXTENSIONS OR UNDERGROUND DRAINS ARE INCLUDED - NO LATTICE WORK UNDER DECKS (IF ANY) IS PROVIDED FOR - ALL GLASS SIZES SHOWN IN WINDOW ELEVATIONS ARE APPROXIMATE SIZES.

LEGEND	
X	OPERATING DOOR
O	STATIONARY DOOR
F	FIXED WINDOW
TEMP	TEMPERED GLASS
	WINDOW KEY NUMBER
	DOOR KEY NUMBER
	HINGES ON THE LEFT SIDE
	HINGES ON THE RIGHT SIDE

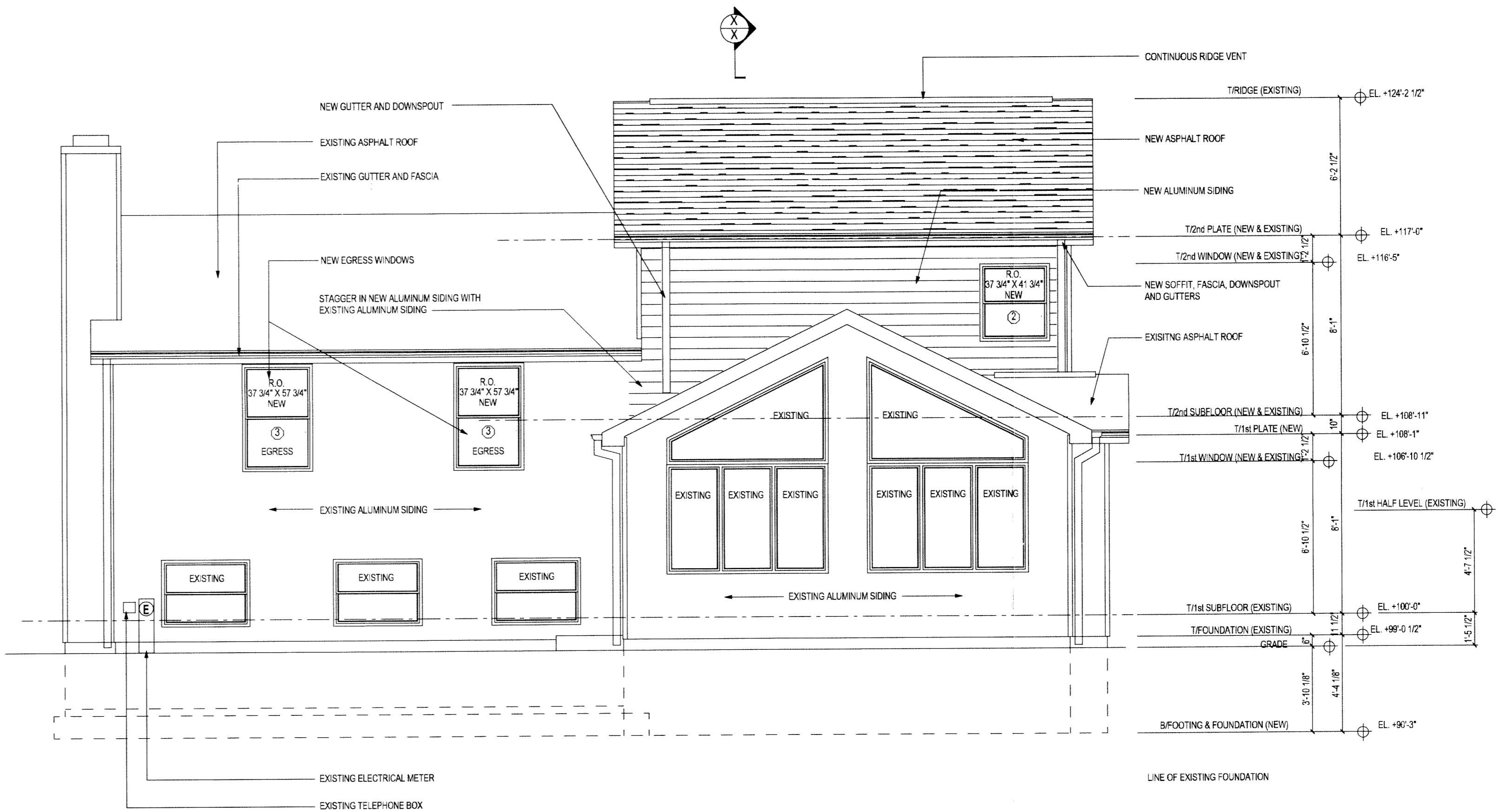
SHEET NUMBER
6

RELIABLE Home Improvement  
And Supply, Inc.  
130 W. Ferry Road, Naperville, Illinois 60563  
Phone: (630) 570-6600 Fax: (630) 570-6606  
Web Site: [www.reliabilehomeimpro.com](http://www.reliabilehomeimpro.com)

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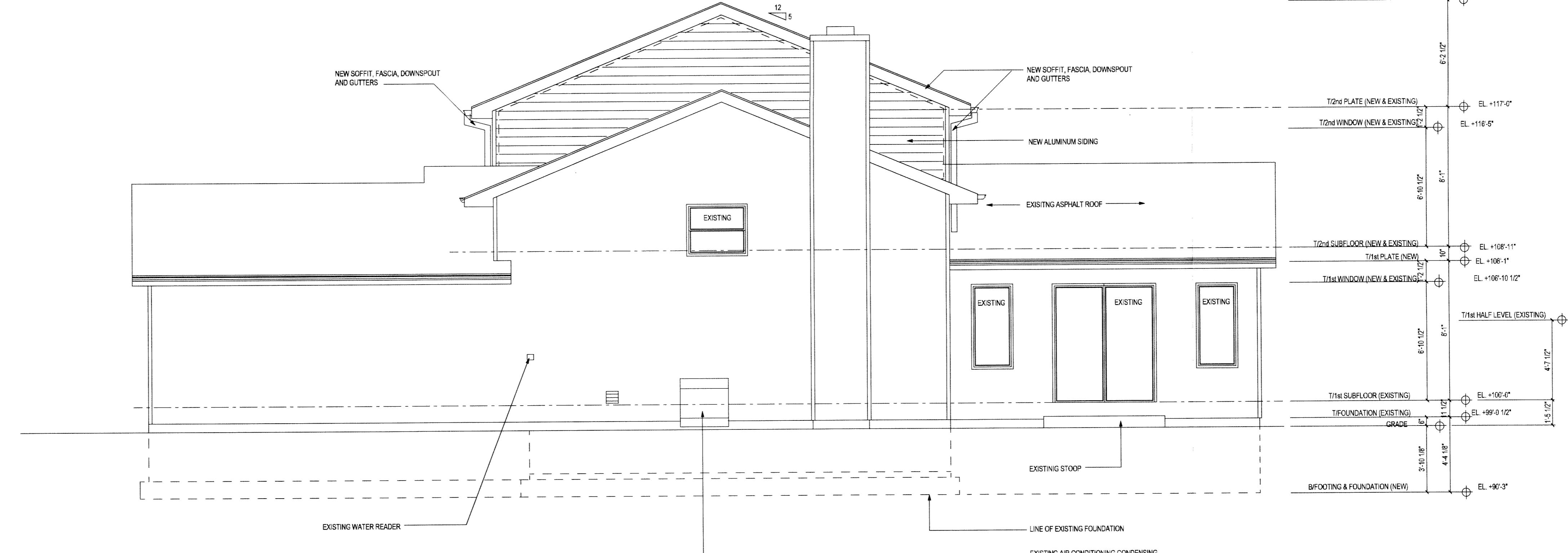
DATE	ISSUED FOR
03/23/06	ISSUED FOR ZONING VARIANCE

DRAWINGS PREPARED BY	
RELIABLE ARCHITECTS LTD	
LICENSE NO: 184-004151	
STATE OF ILLINOIS	
"PROFESSIONAL ARCHITECT FIRM	
ARCHITECT CORPORATION"	
STATE OF ILLINOIS	
LICENSED ARCHITECT	
Andrea Bresciano	
LICENSE NO: 001-016371	
EXPIRE: 11-30-2006	
SIGNATURE	
DATE SIGNED	



## REAR (NORTH WEST) ELEVATION

SCALE : 1/4" = 1'-0"



## **RIGHT (NORTH EAST) ELEVATION**

SCALE : 1/4" = 1'-0"

CONCRETE	SIDING INSTALLER
- MINIMUM 8" CONCRETE OVERGRADE	<ul style="list-style-type: none"><li>- CAULK ALL NEW WINDOWS AS NEEDED.</li><li>- PROVIDE BOXES FOR LIGHTS &amp; OUTLETS</li><li>- ALUMINUM SIDING TO HAVE CHANNEL AROUND NEW WINDOWS &amp; DOORS.</li></ul>

## ROOFER

- INSTALL ICE & WATER GUARD ON ALL GUTTER LINES & IN ALL VALLEYS OF NEW CONSTRUCTION
- ICE & WATER GUARD ALL SADDLES & UPPER LEVEL WALLS NEXT TO DEAD VALLEYS (IF ANY)
- ROOF VENTS: PROVIDE MIN. 1 SQ. FT. VENT FOR EVERY 300 SQ. FT. OF ATTIC SPACE.  
NUMBER SHOWN ON ELEVATION DRAWINGS MAY VARY.

## CARPENTER

- CARPENTER TO PROVIDE ACCESS FROM OLD ATTIC TO NEW.
- CARPENTER TO ADJUST WALL HEIGHTS / SOFFIT PROJECTIONS AS REQUIRED TO INSURE THAT FASCIA BOARDS LINE UP.
- NEW DOORS TO HAVE KEYED DEADBOLT.
- KEY ALL NEW DOORS ALIKE

## HOMEOWNER

LEGEND			
X	OPERATING DOOR	①	WINDOW KEY NUMBER
O	STATIONARY DOOR	A	DOOR KEY NUMBER
F	FIXED WINDOW		HINGES ON THE LEFT SIDE
TEMP	TEMPERED GLASS		HINGES ON THE RIGHT SIDE

DATE	ISSUED FOR
03.23.06	ISSUED FOR ZONING VARIANCE
DRAWINGS PREPARED BY:	
<b>RELIABLE ARCHITECTS LTD</b>	
LICENSE NO: 184-004151	
STATE OF ILLINOIS	
"PROFESSIONAL DESIGN FIRM	
ARCHITECT CORPORATION"	
STATE OF ILLINOIS	
LICENSED ARCHITECT	
<u>Anthony Beccasio</u>	
LICENSE NO: 001-016371	
EXPIRES : 11-30-2006	
SIGNATURE	
DATE SIGNED	

**MORIARTY RESIDENCE**

**1550 HAVERHILL DRIVE**  
**WHEATON, IL 60187**  
**HOME PHONE: (630) 510-7427**

**DIRECTIONS**

**NAPERVILLE RD**  
**(N) TO TENNYSON**  
**DR. (E/R) TO**  
**HAVERHILL**  
**DR. (TL)**

**RELIABLE Home Improvement**

**HOME IMPROVEMENT AND SUPPLY, INC.**

**DESIGNERS ■ BUILDERS ■ ARCHITECTS**

**And Supply, Inc.**

**1300 W. Ferry Road, Naperville, Illinois 60563**  
**Phone: (630) 579-6600 Fax: (630) 579-6606**  
**Web Site: [www.reliablehomeimprov.com](http://www.reliablehomeimprov.com)**

**ELEVATIONS**

**DRAWN BY**  
**AB**

**CHECKED BY**  
**AB**

**PROJECT NUMBER**  
**5261**

**SHEET NUMBER**  
**7**

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