

ORDINANCE NO. F-1167

**AN ORDINANCE GRANTING A SIDE YARD SETBACK ABUTTING
DEVONSHIRE LANE ON THE PROPERTY COMMONLY KNOWN AS
1550 HAVERHILL DRIVE/MORIARTY**

WHEREAS, written application has been made requesting a variation Article 10.2.5 of the Wheaton Zoning Ordinance to allow the construction of a second-story addition to an existing house with a side yard setback abutting Devonshire Lane of 19.34 feet in lieu of the required 26.19 feet.; and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on April 25, 2006 to consider the variation request; and the Board recommended approval of the zoning variation.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: Pursuant to the Findings of Fact made and determined by the Wheaton Planning and Zoning Board, a side yard setback abutting Devonshire Lane of 19.34 feet in lieu of the required 26.19 feet is granted in full compliance with the plans entitled "*Moriarty Residence, 1550 Haverhill Drive, Wheaton, IL 60187*" prepared by *Reliable Home Improvement and Supply, Inc., 1300 W. Ferry Road, Naperville, Illinois 6056, sheets 4, 6 and 7 dated March 23, 2006*, to allow construction of a second-story addition to an existing house on the following-described real estate:

LOT 226 IN BRIARCLIFFE KNOLLS UNIT THREE, BEING A SUBDIVISION OF PART OF THE
SOUTHEAST QUARTER OF SECTION 21, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE
THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 30,
1979 AS DOCUMENT R79-25512 IN DUPAGE COUNTY, ILLINOIS.
P.I.N. 05-21-415-019

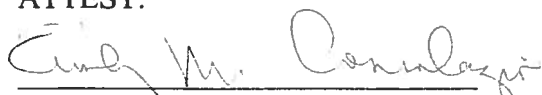
This property is commonly known as 1550 Haverhill Drive, Wheaton, IL 60187.

Section 2: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 3: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.


Mayor

ATTEST:


City Clerk

Ayes: Roll Call Vote
Councilwoman Corry
Councilman Johnson
Mayor Carr
Councilman Seuss
Councilman Bolds

Nays: None

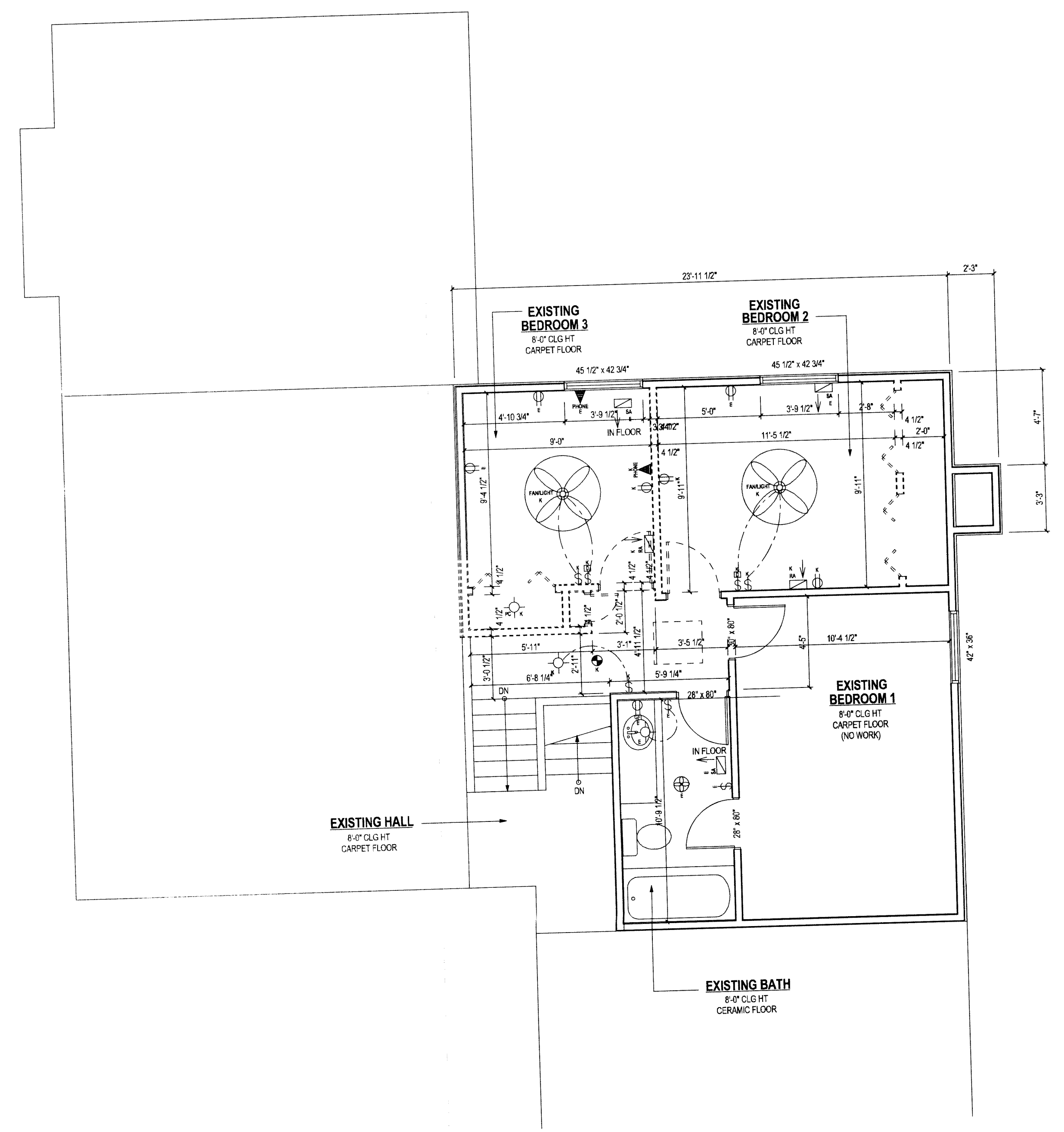
Absent: Councilman Levine
Councilman Mouhelis

Motion Carried Unanimously

Passed: May 1, 2006
Published: May 2, 2006

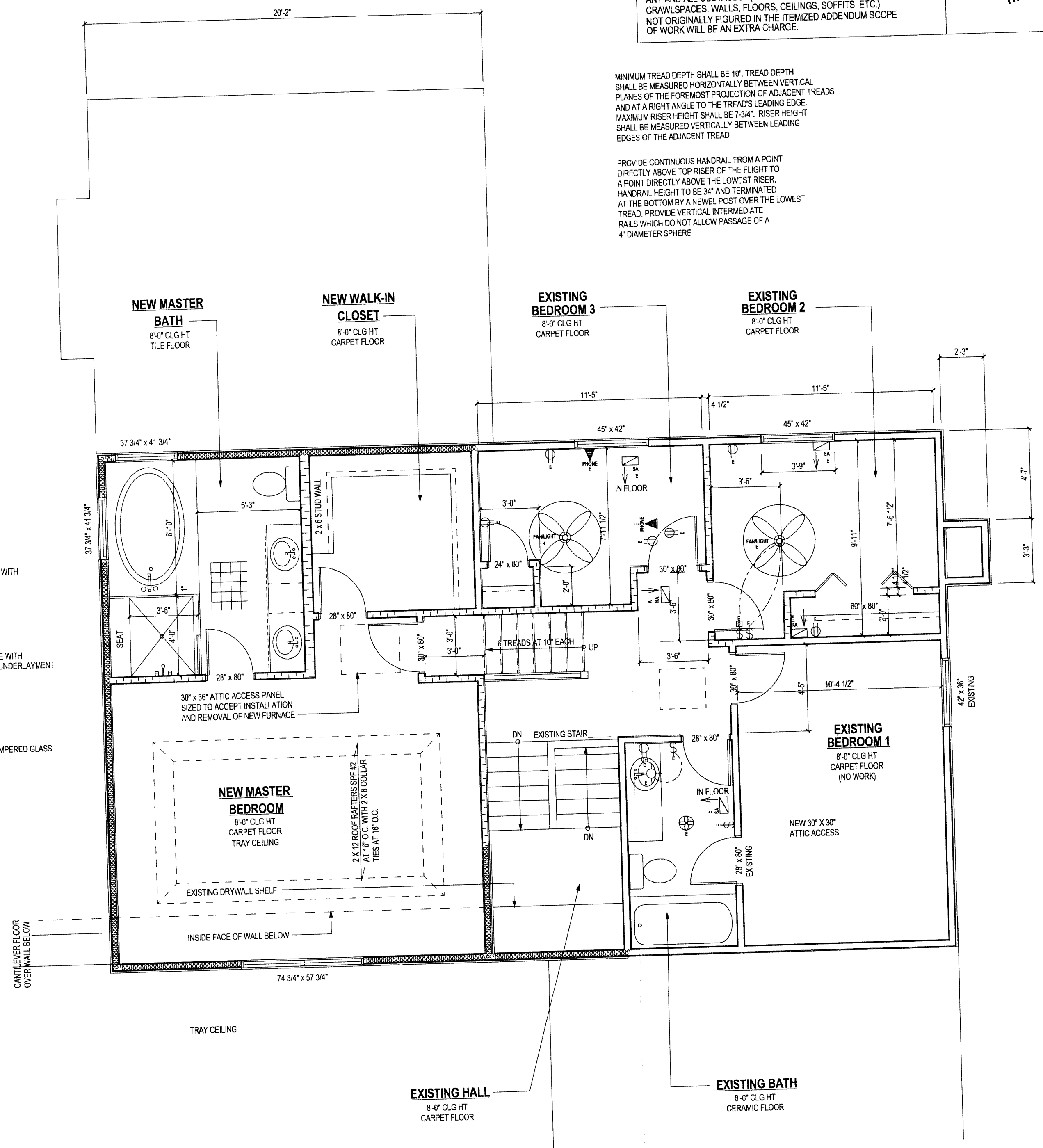
DATE: 03/23/06

11/11/11



AS IS SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

CARPENTRY NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
2. ALL WALL DIMENSIONS MEASURE 4 1/2" TO FACE OF DRYWALL OR FACE OF EXTERIOR SHEATHING UNLESS NOTED OTHERWISE (U.N.D.).
3. ALL STUDS, JOISTS AND RAFTERS TO BE SPACED AT 16" O.C. (U.N.D.).
4. PROVIDE 2x6 TREATED WOOD SILL PLATES ON TOP OF FOUNDATIONS.
5. INSTALL PORTLAND NON-SHRINK GROUT AT ALL VOIDS AND LET CURE PRIOR TO CONSTRUCTION.
6. PROVIDE DOUBLE FLOOR JOISTS UNDER ALL PARALLEL PARTITIONS AND AROUND STAIR OPENINGS, CHIMNEYS, SIKLIGHTS AND ANY OTHER OPENINGS IN FLOOR OR ROOF DECKS.
7. DOUBLE ALL FLOOR JOISTS UNDER WHIRLPOOLS AND TUBS MIN. (OR AS INDICATED ON PLANS).
8. AT ALL FLOOR JOISTS, PROVIDE SOLID OR CROSS BRIDGES SPACED EQUALLY ACROSS JOIST SPAN AT A MAXIMUM SPACING OF 8'0" O.C.
9. ALL PLYWOOD SUB FLOORING TO BE 3/4" THICK TONGUE AND GROOVE FOR PLYWOOD GLEUED AND SCREWED.
10. ALL WALLS AND BEARING PARTITIONS TO HAVE DOUBLE TOP PLATES.
11. ALL EXTERIOR WALL CORNERS TO HAVE 4x8x12" EXTERIOR GRADE PLYWOOD BRACING.
12. ALL EXTERIOR HEADERS TO BE (2)2x12 MIN. WITH 1/2" PLYWD SPACERS.
13. PROVIDE DOUBLE CRIPPLE UNDER ALL OPENINGS LARGER THAN 8'0".
14. PROVIDE "THICK" OR EQUAL INFILTRATION BARRIERS, LAPED AND TAPED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
15. PROVIDE BLOCKING FOR BATHROOM ACCESSORIES, CLOSET RODS, STAIR RAILS, CABINETRY, SINKS, ETC.
16. ALL ROOF SHEATHING TO SPAN A MINIMUM OF TWO RAFTER BAYS (OR THREE ROOF RAFTERS).
17. REPLACE ALL DELAMINATED PLYWOOD PRIOR TO ROOFING.
18. ALL EXTERIOR WALLS TO BE GALVANIZED.
19. ALL HANGERS TO BE HEAVY DUTY "TACO" OR EQUAL.
20. PROVIDE TEMPORARY BRACING AS REQUIRED DURING CONSTRUCTION.
21. CARPENTER CONTRACTOR TO CLEAN AND SCRAPE ALL DEBRIS ON A DAILY BASIS AND PLACE IN DUMPSTER.
22. ALL RAILINGS AND BALUSTERS TO BE SECURELY BOLTED OR SCREWED TO STRUCTURAL MEMBERS NOT LESS THAN 1 1/2" ACTUAL DEPTH IN SUCH A MANNER THAT SAID RAILINGS AND BALUSTERS SHALL RESIST PULLING FREE.
23. FIREBLOCKING SHALL BE PROVIDED IN THE FOLLOWING SPACES:
A. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT CEILING AND FLOOR LEVEL, AND AT 16" INTERVALS BOTH VERTICAL AND HORIZONTAL. BATTIS OR BLANKETS OF MINERAL OR GLASS FIBER OR OTHER APPROVED NON-RIGID MATERIALS SHALL BE ALLOWED AS FIREBLOCKING IN WALLS CONSTRUCTED USING PARALLEL ROWS OF STUDS OR STAGGERED STUDS.
B. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
C. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
24. DRAFTSTOPPING IS REQUIRED WHEN THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY. DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQ. FT. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACES INTO APPROXIMATELY EQUAL AREAS. WHERE ASSEMBLY IS ENCLOSED BY A FLOOR MEMBRANE ABOVE AND A CEILING MEMBRANE BELOW DRAFTSTOPPING SHALL BE PROVIDED IN FLOOR/CEILING ASSEMBLY UNDER THE FOLLOWING CIRCUMSTANCES:
A. CEILING IS SUSPENDED UNDER THE FLOOR FRAMING.
B. FLOOR FRAMING IS CONSTRUCTED OF TRUSS-TYPE OPEN WEB OR PERFORATED MEMBERS.

WINDOW SCHEDULE

QTY	KEY	MFG	SERIES	MODEL	TYPE	COLOR	SWING	ROUGH OPEN	GLASS TYPE	GLASS SIZE	EGRESS	GRID STYLE/COLOR	SCREEN/COLOR	JAMB/MTRL	HARDWARE/FINISH	OPTIONS	
1	(1)	PELLA	PROLINE	3714-3	CASEMENT	WHITE	LFR	75-34" x 35-34"	CLEAR 10TEMP	24"x36"	YES	SQUARE	UNFINISHED	FULL/WHITE	4 9/16" CLAD	FLAIR, POLISHED BRASS	SLIMSHADES

DOOR SCHEDULE

QTY	KEY	MFG	STYLE	MODEL	SWING	DOOR SIZE	ROUGH OPEN	GLASS TYPE	GLASS SIZE	GRID STYLE/COLOR	SCREEN/COLOR	JAMB/MTRL	LOCKSET/FINISH	
X	(A)	T-TLU	FRENCH	108-WG	LFR	30"x80"	75-34" x 35-34"	CLEAR 10TEMP	24"x36"	SQUARE	UNFINISHED	FULL/WHITE	4 9/16" CLAD	CHAMPAGNE FLAIR, POLISHED BRASS
	(B)	MWJ	6-PANEL	M108										

NEW DOORS TO HAVE KEYS TO DEADBOLT KEY ALL NEW DOORS ALIKE

LEGEND

	EXISTING	NEW	REMOVE
2x4 WALL	[Symbol]	[Symbol]	[Symbol]
2x4 BEARING	[Symbol]	[Symbol]	[Symbol]
2x4 w/ SIDING	[Symbol]	[Symbol]	[Symbol]
2x4 w/ BRICK	[Symbol]	[Symbol]	[Symbol]
CONC. WALLS	[Symbol]	[Symbol]	[Symbol]

E = EXISTING ELECTRICAL/HVAC TO REMAIN
R = EXISTING ELECTRICAL/HVAC TO RELOCATE
K = KILL/REMOVE EXISTING ELECTRICAL/HVAC

LIGHT & VENTILATION SCHEDULE

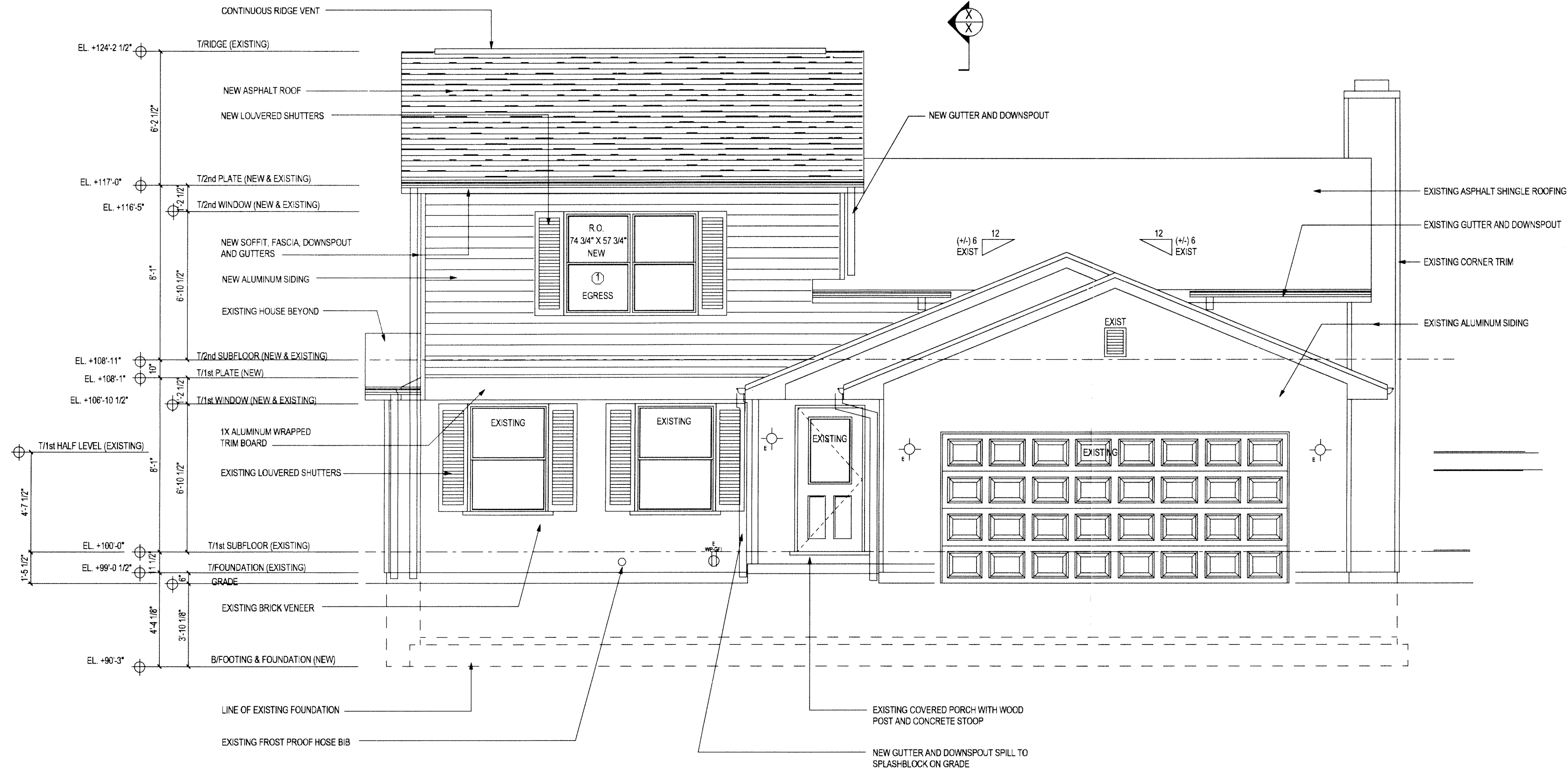
SPACE	AREA (SQ FT)	LIGHT REQ'D	VENT REQ'D	ACTUAL	ACTUAL
XXX	XX	XX	XX	XX	XX

ITEMS TO SAVE

ITEM	PLACEMENT
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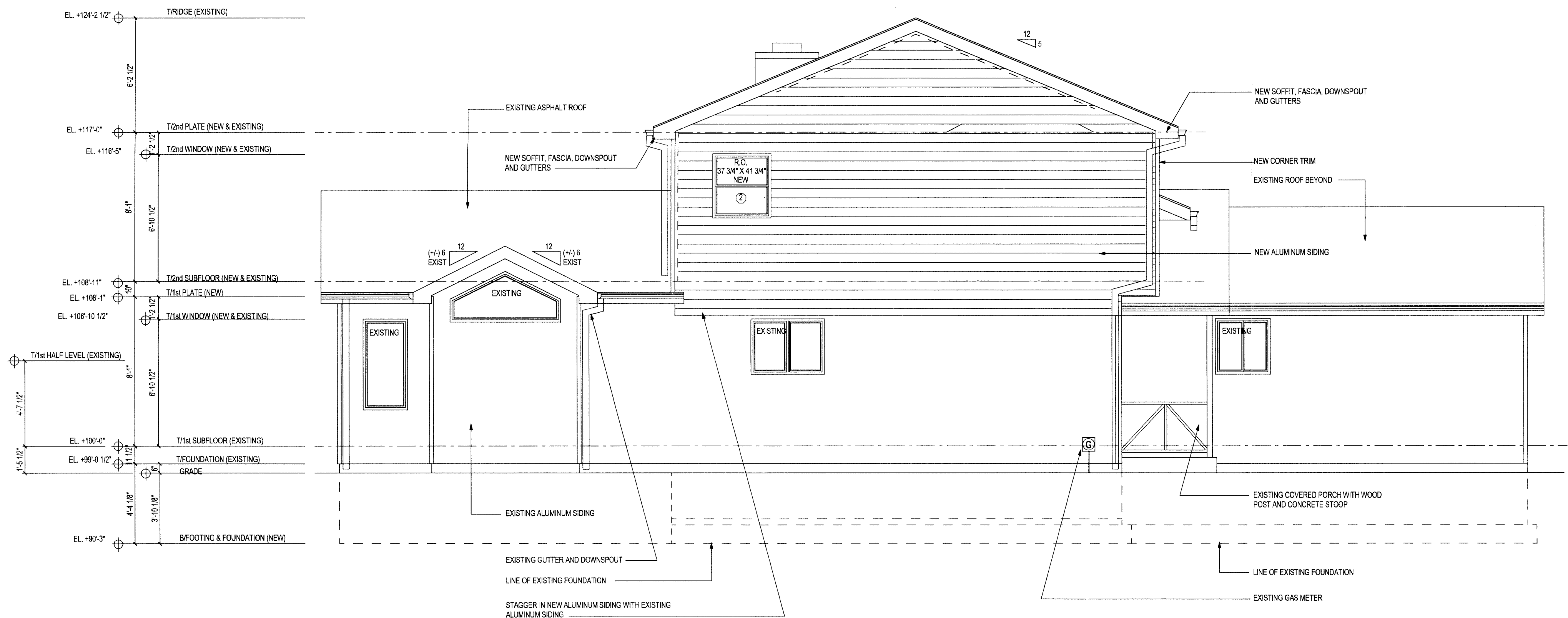
IMPORTANT TRADE NOTES

NO SMOKING IN HOUSE
FIRESTOP ALL HOLES THROUGH PLATES
FIRESTOP ALL SOFFITS VERT TO HORIZ AREAS
CARPENTER: INSTALL QUIET BARRIERS & TAP FLOORS
TEMPORARILY COVER/SEAL COLD AIR RETURNS
ALL TRADESMAN TO CLEAN OWN WORK AREA AND
PLACE DEBRIS IN ON SITE DUMPSTER DAILY



FRONT (SOUTH EAST) ELEVATION

SCALE : 1/4"= 1'-0"



LEFT (SOUTH WEST) ELEVATION

SCALE : 1/4"= 1'-0"

CONCRETE	SIDING INSTALLER	ROOFER	CARPENTER	HOMEOWNER	LEGEND																
<ul style="list-style-type: none">MINIMUM 8" CONCRETE OVERGRADE	<ul style="list-style-type: none">CAULK ALL NEW WINDOWS AS NEEDEDPROVIDE BOXES FOR LIGHTS & OUTLETSALUMINUM SIDING TO HAVE CHANNEL AROUND NEW WINDOWS & DOORS	<ul style="list-style-type: none">INSTALL ICE & WATER GUARD ON ALL GUTTER LINES & IN ALL VALLEYS OF NEW CONSTRUCTIONICE & WATER GUARD ALL SADDLES & UPPER LEVEL WALLS NEXT TO DEAD VALLEYS (IF ANY)ROOF VENTS PROVIDE MIN. 1 SQ. FT. VENT FOR EVERY 300 SQ. FT. OF ATTIC SPACENUMBER SHOWN ON ELEVATION DRAWINGS MAY VARY	<ul style="list-style-type: none">CARPENTER TO PROVIDE ACCESS FROM OLD ATTIC TO NEWCARPENTER TO ADJUST WALL HEIGHTS / SOFFIT PROJECTIONS AS REQUIRED TO INSURE THAT FASCIA BOARDS LINE UPNEW DOORS TO HAVE KEYED DEADBOLTKEY ALL NEW DOORS ALIKE	<ul style="list-style-type: none">NO KEY LOCK FOR PATIO DOOR IS INCLUDED (NOT AVAILABLE ON PROLINE) - (IF ANY)NO ALUMINUM WINDOW / DOOR TRIM IS PROVIDED FORNO EXTERIOR WOOD DOOR/WINDOW TRIM OR SHUTTERS ARE PROVIDED FORNO DOOR BELL IS PROVIDED FOR (EXISTING CHIME BOX IS NOT WARRANTED)AGAINST DAMAGE CAUSED BY VIBRATIONS FROM NEW CONSTRUCTIONNO STORM WINDOWS ARE PROVIDED FORNO STORM DOORS ARE PROVIDED FOR UNLESS OTHERWISE NOTEDNO SPLASH BLOCKS, GUTTER EXTENSIONS OR UNDERGROUND DRAINS ARE INCLUDEDNO LATTICE WORK UNDER DECKS (IF ANY) IS PROVIDED FORALL GLASS SIZES SHOWN IN WINDOW ELEVATIONS ARE APPROXIMATE SIZES	<table><tr><td>X</td><td>OPERATING DOOR</td><td>○</td><td>WINDOW KEY NUMBER</td></tr><tr><td>□</td><td>STATIONARY DOOR</td><td>△</td><td>DOOR KEY NUMBER</td></tr><tr><td>F</td><td>FIXED WINDOW</td><td>+</td><td>HANDLES ON THE LEFT SIDE</td></tr><tr><td>TEMP</td><td>TEMPERED GLASS</td><td>+</td><td>HANDLES ON THE RIGHT SIDE</td></tr></table>	X	OPERATING DOOR	○	WINDOW KEY NUMBER	□	STATIONARY DOOR	△	DOOR KEY NUMBER	F	FIXED WINDOW	+	HANDLES ON THE LEFT SIDE	TEMP	TEMPERED GLASS	+	HANDLES ON THE RIGHT SIDE
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TEMP	TEMPERED GLASS	+	HANDLES ON THE RIGHT SIDE																		

DATE	ISSUED FOR	ISSUED FOR ZONING VARIANCE
03/23/06		

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 EXPIRES - 11-30-2006

SIGNATURE
 DATE SKETCHED

Home Improvement
And Supply, Inc.
 1300 W. Perry Road, Naperville, Illinois 60563
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 Web Site: www.reliablehomeimprovements.com

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 Web Site: www.reliablehomeimprovements.com

DIRECTIONS
 NAPERVILLE RD
 (N) TO TENNYSON
 DR. (E/R) TO
 HAVERHILL
 DR. (TL)

MORIARTY RESIDENCE
 1550 HAVERHILL DRIVE
 WHEATON, IL 60187
 HOME PHONE: (630) 510-7427

ELEVATIONS

DRAWN BY
 AB

CHECKED BY
 AB

PROJECT NUMBER
 5261

SHEET NUMBER
 6

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RIGHT (NORTH EAST) ELEVATION