

ORDINANCE NO. F-1147

**AN ORDINANCE GRANTING A FRONT YARD SETBACK VARIATION ON PROPERTY COMMONLY KNOWN AS 1727 STODDARD AVENUE/FERRARI**

**WHEREAS**, written application has been made requesting a variation from the provisions of the Wheaton Zoning Ordinance to allow a front yard setback of forty (40) feet in lieu of the required fifty-two point five (52.5) feet in order to construct a new single family home on the property commonly known as 1727 Stoddard Avenue, Wheaton, IL ("subject property") after the existing home on the subject property is demolished; and

**WHEREAS**, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on March 14, 2006 to consider the variation request; and the Board recommended approval of the setback variation.

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

**Section 1:** Pursuant to the Findings of Fact made and determined by the Wheaton Planning and Zoning Board, a front yard setback of forty (40) feet is granted in full compliance with the plans entitled "Site Grading Plan," prepared by Dave Johnson and Associates, Ltd., Wheaton, dated February 6, 2006 and "Ferrari Residence," prepared by Krupp Associates Architects, P.C., Wheaton, sheets 2, 3, 5 and 6, dated January 18, 2006 to allow construction of a single family home on the following-described real estate, after demolition of the existing home:

LOT 16 IN BLOCK 5 IN ARTHUR T. MCINTOSH AND COMPANY'S WHEATON FARMS, BEING A SUBDIVISION OF PART OF THE NORTHWEST  $\frac{1}{4}$  OF SECTION 10, AND PART OF THE SOUTHWEST  $\frac{1}{4}$  OF THE SOUTHWEST  $\frac{1}{4}$  OF SECTIONS 3 AND 10, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 10, 1924 AS DOCUMENT 175034 IN DUPAGE COUNTY, ILLINOIS.  
P.I.N. 05-10-107-017

This property is commonly known as 1727 Stoddard Avenue, Wheaton, IL 60187.

**Section 2:** Demolition of the existing home on the subject property may proceed and all ordinances or parts of ordinances in conflict with these provisions are repealed.

**Section 3:** This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.

R 2006 - DE8 489



James Carr  
Mayor

ATTEST:

Emily M. Donvaldson  
City Clerk

Roll Call Vote:

Ayes: Councilman Mouhelis  
Councilman Seuss  
Councilman Bolds  
Councilwoman Corry  
Mayor Carr  
Councilman Levine

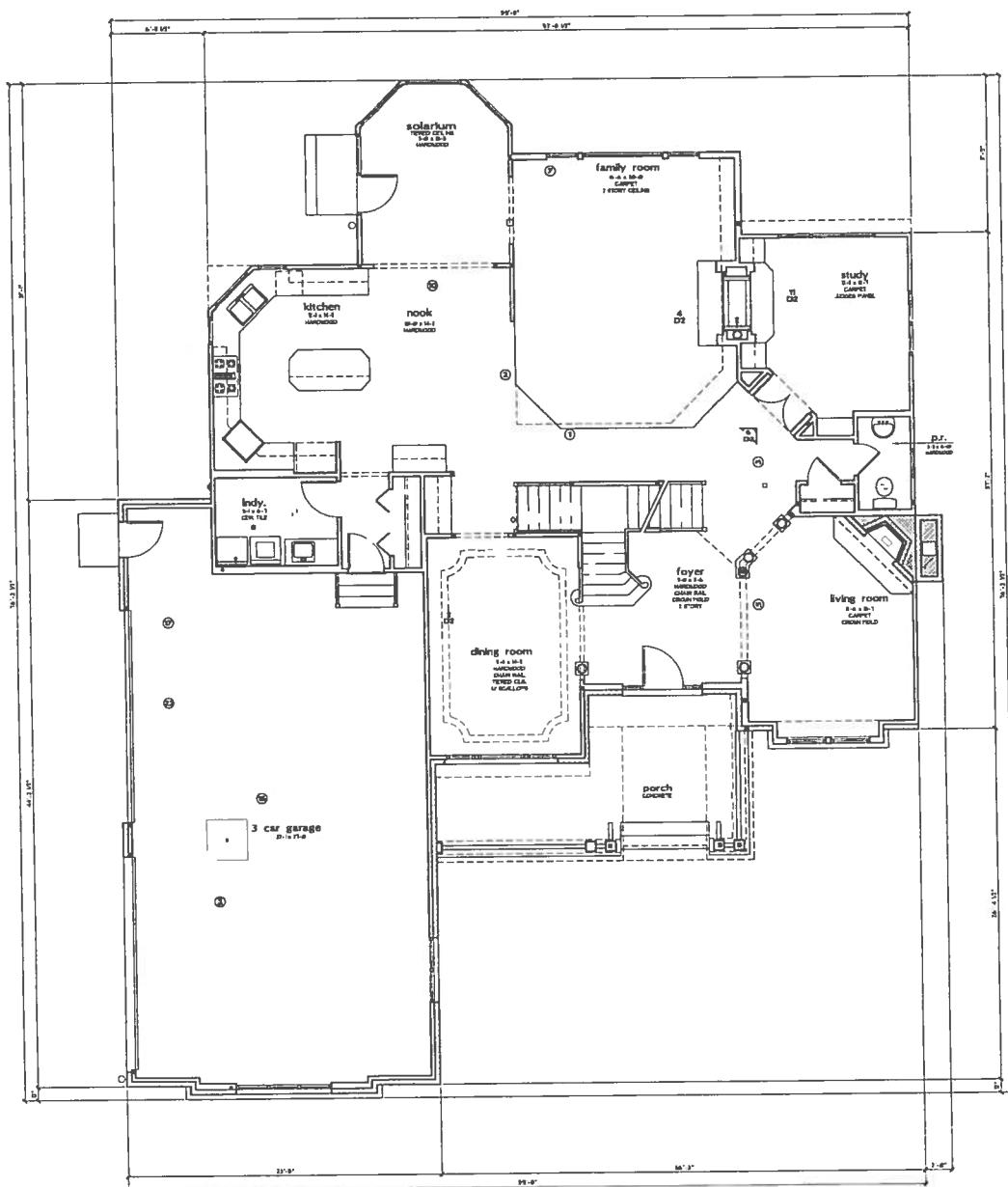
Nays: None

Absent: Councilman Johnson

Motion Carried Unanimously

Passed: April 3, 2006  
Published: April 4, 2006





lot coverage calculation

lot size: 100' x 150' = 15,000 sq. ft.  
15,000 x .33 = 4,950 sq. ft. allowable

building footprint: 3,148.46 sq. ft.  
including the covered porch  
coverage percentage: 20.99 %

floor to area ratio calculation

lot size: 100' x 150' = 15,000 sq. ft.  
15,000 x .40 = 6,000 sq. ft. allowable

first floor area: 1973.6 sq. ft.  
second floor area: 1999.73 sq. ft.  
garage area: 446.95 sq. ft.  
total area: 4,420.28 sq. ft. = 29.47 %

revision	b-1
date	1/18/2006
architect	1727
structural engineer	1727
mechanical engineer	1727
electrical engineer	1727
land surveyor	1727
title company	1727
notes	ALL RIGHTS RESERVED DO NOT COPY OR DISTRIBUTE THIS DRAWING. IT IS THE PROPERTY OF KRUPP ASSOCIATES ARCHITECTS, P.C. IT IS PROVIDED FOR THE USE OF THE OWNER AND FOR THE USE OF THE CONTRACTOR AS PROVIDED IN THE CONTRACT DOCUMENTS. IT IS THE PROPERTY OF KRUPP ASSOCIATES ARCHITECTS, P.C.

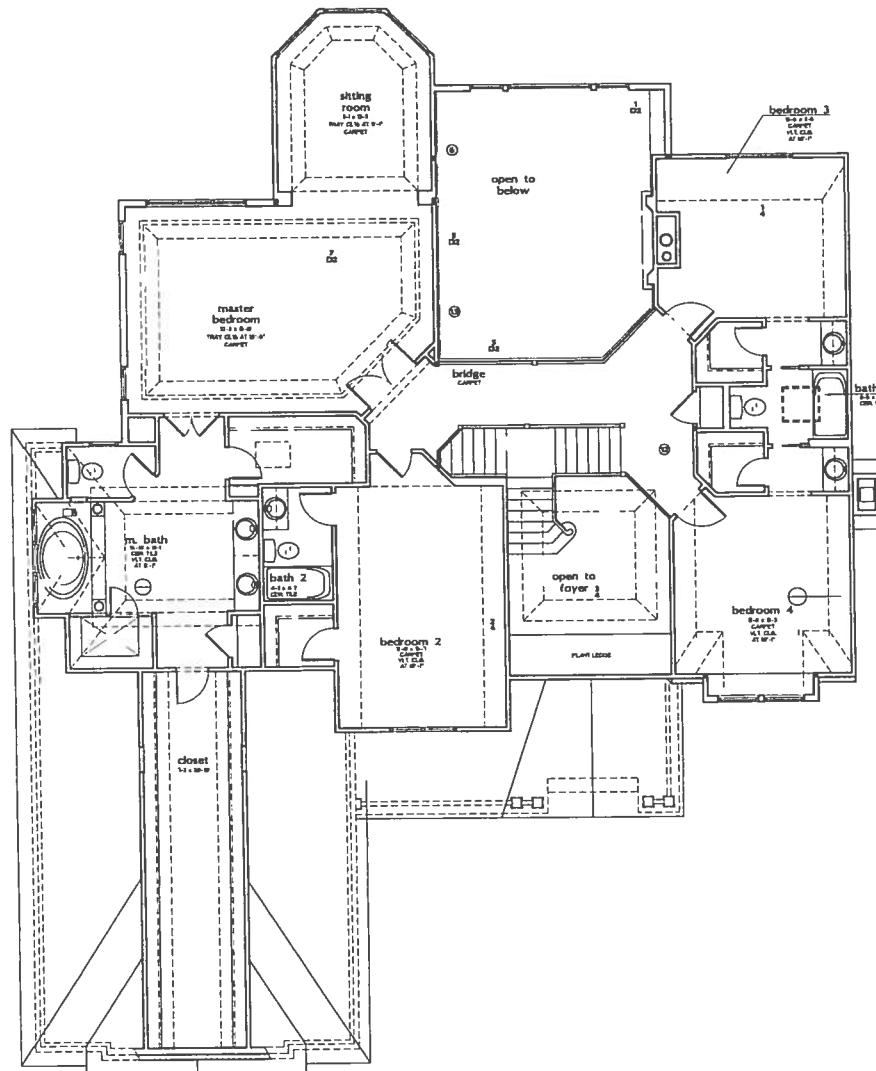
Krupp Associates Architects, P.C.  
615 West Front Street  
Wheaton, Illinois 60187  
332-564-7346

1727	Ferrari Residence Stoddard - Wheaton, IL
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first	floor plan
1973.6 square feet	

drawn	CAK/SUB
checked	2/6/06
supervised	2/15/2006
signed	VA* T. C*
checked	2/6/06
S.K.A.	

PRELIMINARY SET  
NOT FOR CONSTRUCTION  
JAN. 18, 2006



PRELIMINARY SET  
NOT FOR CONSTRUCTION  
JAN. 18, 2006

**Krupp Associates Architects, P.C.**  
613 West Front Street  
Wheaton, Illinois 60187 630/664-1246

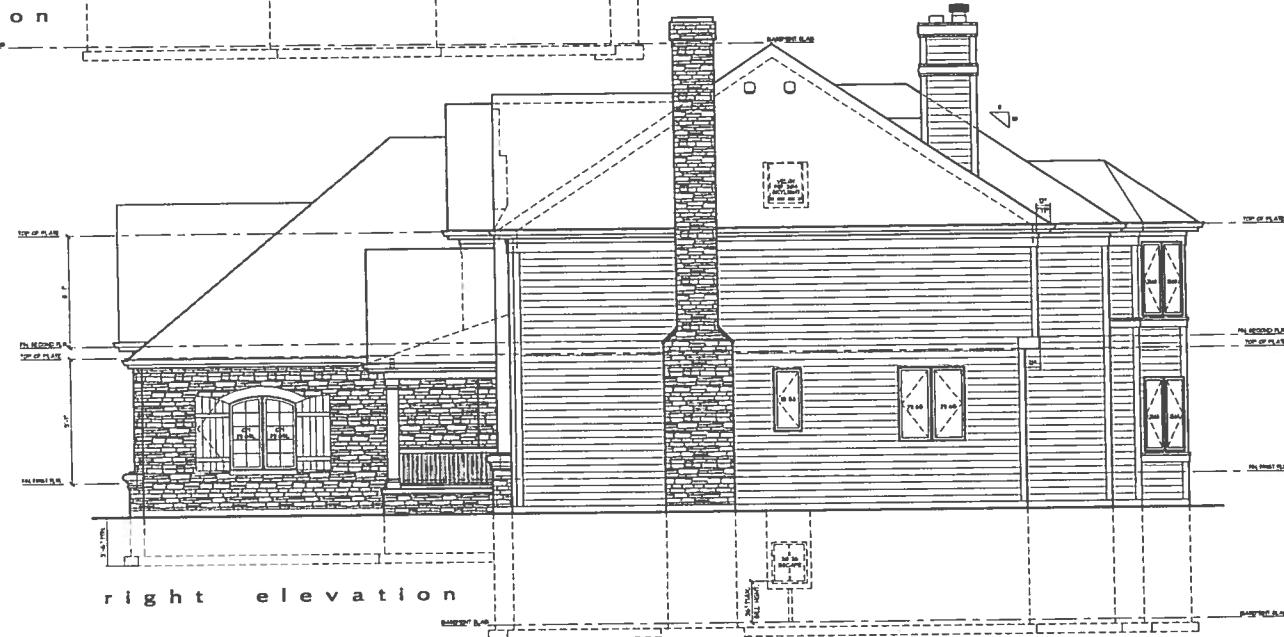
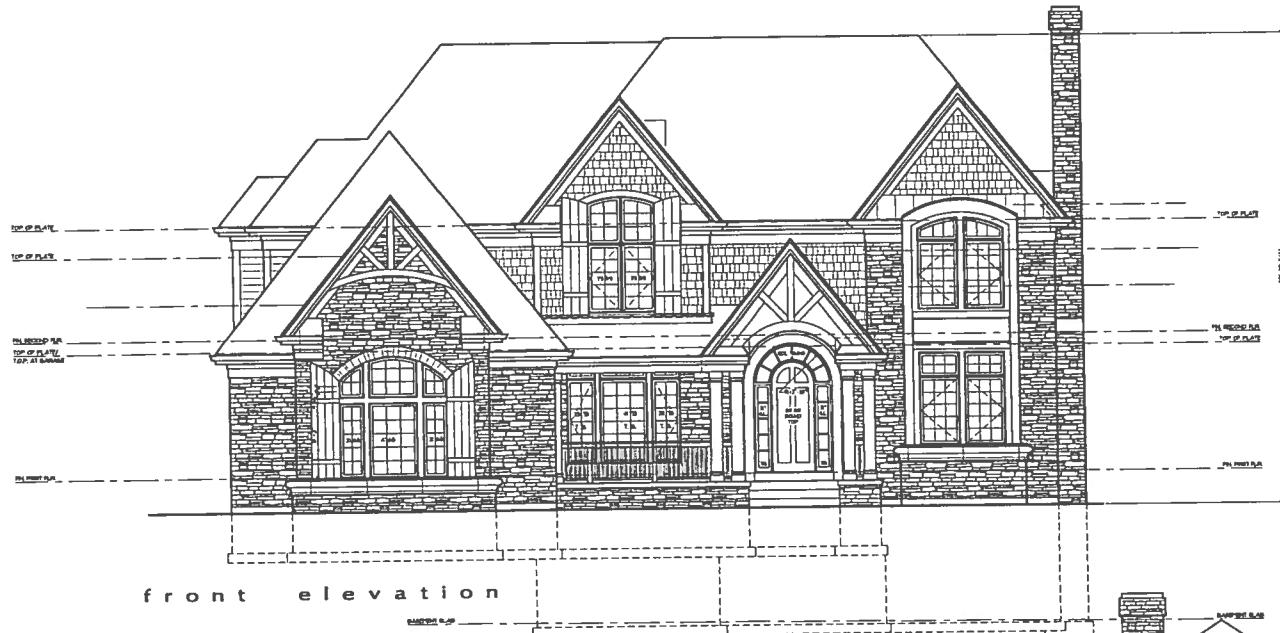
1727 Ferrari Residence  
Stoddard - Wheaton, IL

second  
floor plan

drawn	CAK/ASB
filed	2/24/85
date	6/15/1985
page	4 of 7
project number	2904

PRELIMINARY SET  
NOT FOR CONSTRUCTION  
JAN. 18, 2006

1612, 1727  
1612 West Forest Street  
Wheaton, Illinois 60187  
630-568-1186  
503-568-1186  
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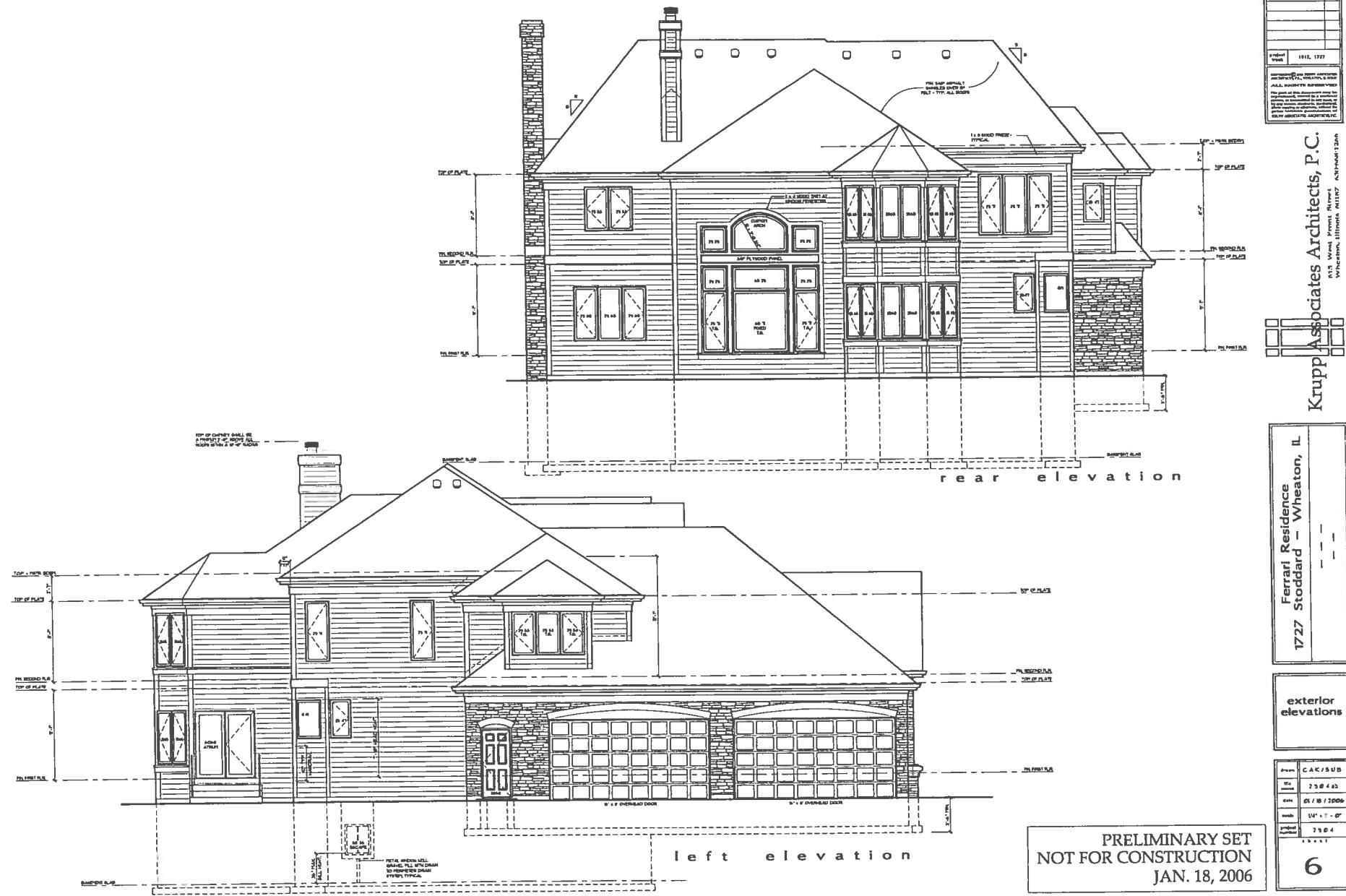


Kruppi Associates Architects, P.C.  
418 West Forest Street  
Wheaton, Illinois 60187  
630-568-1186  
503-568-1186

Ferrari Residence  
1727 Stoddard - Wheaton, IL

exterior elevations

Drawn: CAK/BEB  
Revised: 12/6/06  
Date: 01/10/2006  
Scale: 1/4" = 1'-0"  
Project: 1727  
Page: 5



PRELIMINARY SET  
NOT FOR CONSTRUCTION  
JAN. 18, 2006

Krupp Associates Architects, P.C.  
615 West Prentiss Street • [www.krupparchitects.com](http://www.krupparchitects.com)

1727 Stoddard - Wheaton, L

## Exterior Elevations

draw	CAK / SUB
etc	238442
date	01/18/2006
model	VA* + E - 07
project number	2384
sheet 1	

6

# Associated Surveying Group, P.C.

Illinois Prof. Design Firm No. 184-003013

P.O. Box 810

Bolingbrook, IL 60440

PH: 630-759-0205

FAX: 630-759-9291

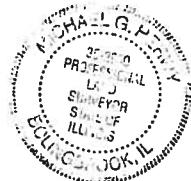
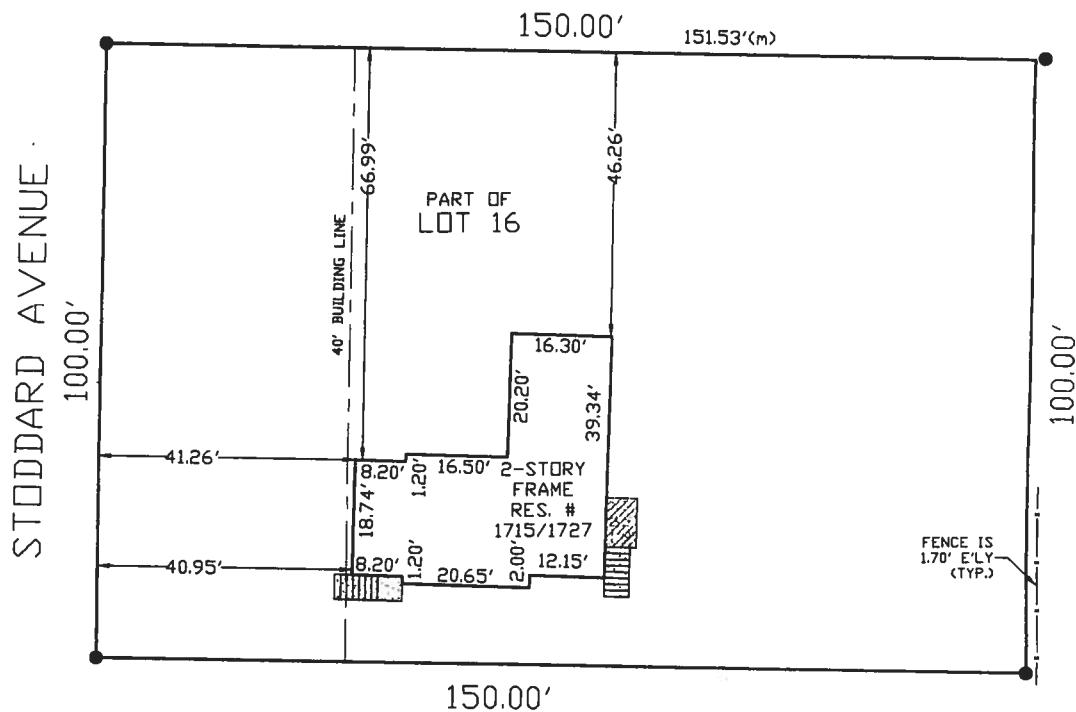
## PLAT OF SURVEY

THE WEST 1/2 OF LOT 16 IN BLOCK 5 IN ARTHUR T. MCINTOSH AND COMPANY'S WHEATON FARMS BEING A SUBDIVISION OF PART OF THE NORTHWEST 1/4 OF SECTION 10, AND PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTIONS 3 AND 10, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 10, 1924 AS DOCUMENT 175034 IN DUPAGE COUNTY, ILLINOIS.

SCALE 1" = 20'



### THOMAS ROAD



State of Illinois }  
County of Will } SS

I, Michael G. Herwy, an Illinois Professional Land Surveyor, do hereby certify that "This professional service conforms to the current Illinois minimum standards for a boundary survey", and that the Plat hereon drawn is a correct representation of said survey.

Dated, this 28<sup>th</sup> day of JUNE, A.D., 2005,  
at Bolingbrook, Illinois.

FIELDWORK DATE: JUNE 15, 2005

Michael G. Herwy  
Illinois Professional Land Surveyor No. 35-002900

License Expires: November 30, 2006

CLIENT: SLADKOV

JOB NO.: 60448-05

NOTES:  
1. COMPARE THE LEGAL DESCRIPTION ON THIS PLAT WITH YOUR DEED, ABSTRACT, OR CERTIFICATE OF TITLE; ALSO, COMPARE ALL FIELD MEASURED LOT CORNERS & BUILDING LINES WITH THIS PLAT BEFORE CONSTRUCTION AND REPORT ANY DIFFERENCE AT ONCE.  
2. BUILDING LINES AND EASEMENTS ARE SHOWN ONLY WHERE THEY ARE SO DEPICTED ON THE RECORDED SUBDIVISION PLAT. REFER TO YOUR DEED, ABSTRACT, OR CERTIFICATE OF TITLE FOR ADDITIONAL ENCUMBRANCES.  
3. MEASURED LOT DIMENSIONS ARE SHOWN ONLY WHEN THEY DIFFER FROM RECORD DIMENSIONS BY 0.18 FEET OR MORE.  
4. CURVED LINES DENOTED WITH ARC LENGTHS UNLESS OTHERWISE NOTED. ALSO, ALL ARCS ARE TANGENT.

<input checked="" type="checkbox"/> IRON PIPE	<input type="checkbox"/> IRON PIPE	<input type="checkbox"/> ASPHALT	<input type="checkbox"/> CONCRETE
<input type="checkbox"/> WOOD	<input type="checkbox"/> WOOD	<input type="checkbox"/> BRICK	
<input type="checkbox"/> BET	<input type="checkbox"/> REBAR/ROD	<input type="checkbox"/> CHAIN LINK FENCE	
<input type="checkbox"/> RADIUS	<input type="checkbox"/> WOOD FENCE	<input type="checkbox"/> NOTCH	
<input type="checkbox"/> CH	<input type="checkbox"/> ALL OTHER FENCE TYPES	<input type="checkbox"/> EASTERLY	
<input type="checkbox"/> RECORD VALUE		<input type="checkbox"/> NORTHERLY	
<input type="checkbox"/> (m) = MEASURED VALUE		<input type="checkbox"/> SOUTHERLY	
<input type="checkbox"/> (ft) = TYPICAL		<input type="checkbox"/> EASTERLY	
		<input type="checkbox"/> NORTHERLY	

<input type="checkbox"/> A = ARC LENGTH	<input type="checkbox"/> NLY = NORTHERLY
<input type="checkbox"/> R = RADIUS	<input type="checkbox"/> SLY = SOUTHERLY
<input type="checkbox"/> CH = CHORD LENGTH	<input type="checkbox"/> ELY = EASTERLY
<input type="checkbox"/> (ft) = RECORD VALUE	<input type="checkbox"/> WLY = WEBSTERLY
<input type="checkbox"/> (m) = MEASURED VALUE	<input type="checkbox"/> TYP = TYPICAL
	<input type="checkbox"/> P.U.D. = PUBLIC UTILITY & DRAINAGE EASEMENT