

ORDINANCE NO. F-1124

**AN ORDINANCE GRANTING A SPECIAL USE PERMIT FOR A PLANNED UNIT DEVELOPMENT FOR A RETAIL BUILDING WITH A DRIVE-THROUGH AND A BANK BUILDING WITH A DRIVE-THROUGH BANKING FACILITY, AND A TWO-LOT RESUBDIVISION ON A CERTAIN PIECE OF PROPERTY COMMONLY LOCATED ON THE NORTHWEST CORNER OF MAIN STREET AND GENEVA ROAD
GENEVA-MAIN LLC/2200 N. MAIN STREET**

WHEREAS, application requesting planned unit development approval to allow the demolition of an existing commercial building and the construction of 13,370 square foot retail building with a drive-through and a 3,500 square foot bank with a drive-through banking facility on certain property legally described herein within the city limits of Wheaton, Illinois ("City"), and commonly located on the northwest corner of Main Street and Geneva Road ("Subject Property"). In conjunction, the application also requests subdivision approval to resubdivide the Subject Property into two separate parcels to accommodate the proposed retail building and bank building on separate lots; and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the City Zoning Ordinance, a public hearing was conducted by the Planning and Zoning Board on January 10, 2006 to consider the requested special use permit for a planned unit development and resubdivision. The Board voted 6-0 to recommended approval of the special use permit for a planned unit development and resubdivision, subject to certain conditions.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: The following-described property has been and continues to be zoned and classified in the C-3 General Commercial District Zoning Classification:

LOTS 1, 2, 3, AND 4 IN MAYER'S ASSESSMENT PLAT OF PART OF THE WEST HALF OF THE SOUTHWEST ¼ OF SECTION 4, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 14, 1947 AS DOCUMENT 517305, IN DUPAGE COUNTY, ILLINOIS.

P.I.N. 05-04-304-039

This property is commonly known as 2200 N. Main Street, Wheaton, IL; and will hereafter be known as the "Subject Property."

Section 2: The Final Plat of Subdivision for Geneva-Main Subdivision prepared by B.H. Suhr & Company, Inc., a State of Illinois Land Surveyor, dated November 22, 2005 is hereby approved. The Mayor is authorized to sign the approval form and the City Clerk is authorized and directed to attest to the signature of the Mayor and attach a certified copy of this ordinance to the Final Plat of Geneva-Main Subdivision.

8-2006-067498

Section 3: Pursuant to the findings of fact made and determined by the Planning and Zoning Board, a special use permit for a planned unit development is hereby issued to allow the demolition of an existing commercial building and the construction of 13,370 square foot retail building with a drive through located on Lot 2 of the Geneva-Main Subdivision and a 3,500 square foot bank with a drive-through banking facility on Lot 1 of the Geneva-Main Subdivision, on the Subject Property in full compliance with the following conditions, restrictions, and requirements:

- A. The plans entitled "Site Plan," prepared by Hirsch Associates, Chicago, IL, dated November 18, 2005; "Geneva-Main Subdivision," prepared by B.H. Suhr & Company, Inc., Evanston, IL, dated November 22, 2005; "Exterior View-Conceptual Rendering," prepared by Hirsch Associates LLC, Chicago, IL, dated November 18, 2005; "Building Elevations @ Parcel A, South and East Elevations," prepared by Hirsch Associates LLC, Chicago, IL, dated November 18, 2005; "Building Elevations @ Parcel A, North and West Elevations," prepared by Hirsch Associates LLC, Chicago, IL, dated November 18, 2005; "Floor Plan-Parcel A," prepared by Hirsch Associates LLC, Chicago, IL, dated November 18, 2005; "National City South & West Elevations," prepared by GPD Group, Akron, OH; "National City North & East Elevations," prepared by GPD Group, Akron, OH; "National City Bank Floor Plan," prepared by GPD Group, Akron, OH, dated November 12, 2005; "Proposed Sign Plan," prepared by Hirsch Associates LLC, Chicago, IL, dated November 18, 2005; "Shopping Identification Sign," prepared by Hirsch Associates LLC, Chicago, IL, dated November 18, 2005; "National City Signage Exhibit," prepared by GPD Group, Akron, OH; and preliminary engineering plans entitled "Proposed Retail Development," prepared by Manhard Consulting, Ltd., Vernon Hills, IL, sheets C1-C12, dated November 17, 2005.
- B. The southeast and northeast tower features of the retail building shall be fully clad in masonry brick.
- C. The masonry and stone pilasters located on the south and east facades of the retail building shall be continued as design elements on the north and west facades, except for the area of the west façade adjacent to the loading area, and shall be subject to the approval of the Director of Planning and Economic Development.
- D. A final landscape plan shall be submitted with additional foundation plantings and shall be subject to the approval of the Director of Planning and Economic Development.
- E. Any rooftop mechanical units shall be fully screened by a structural element of the building.
- F. The trash enclosure shall be constructed of brick similar to the proposed buildings and shall be subject to the approval of the Director of Planning and Economic Development.
- G. The owner of the subject property shall maintain all landscaping and plantings on the subject property so that the number, quality, and character of the landscaping shall not be less than that which is illustrated on the approved landscape plan. In the event any landscaping, plantings, or vegetation on the subject property dies, in whole or in part, at any time, the owner shall, forthwith, replace the non-viable landscape vegetation

and/or plantings with reasonably similar substitutes of original size or larger, as directed by the City.

- H. This special use permit, and the conditions, restrictions, and requirements recited herein, shall be considered a declaration of restrictive covenants and shall be binding upon the subject property and its owner, its successors, assigns, and grantees; this ordinance shall be recorded in the office of the Recorder of Deeds, DuPage County, Illinois.
- I. The Owner shall enter into a Fire Lane Designation and Enforcement Agreement with the City in substantial compliance with Exhibit "A".
- J. A cross access easement shall be recorded on the Subject Property at the expense of the owner, to allow for access and egress between the Subject Property and Parcel "C". The cross access easement shall be shown on the Final Plat of Subdivision of the Subject Property and shall be subject to the reasonable approval of the Wheaton City Attorney.

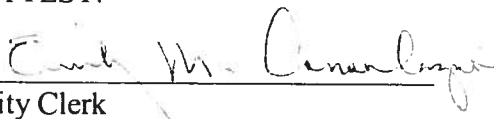
Section 4: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 5: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.



Mayor

ATTEST:



City Clerk

Ayes: Roll Call Vote
Councilman Seuss
Councilwoman Corry
Councilman Levine
Mayor Pro-tem Mouhelis

Nays: None

Absent: Mayor Carr
Councilman Bolds
Councilman Johnson

Motion Carried Unanimously

Passed: January 17, 2006
Published: January 18, 2006

EXHIBIT "A"

FIRE LANE DESIGNATION AND ENFORCEMENT AGREEMENT

THIS AGREEMENT is made and entered into this 18th day of January 2006, by and between the City of Wheaton, an Illinois Municipal Corporation, 303 W. Wesley Street, Wheaton, Illinois 60189 (hereinafter referred to as "CITY") and Geneva-Main LLC (hereinafter referred to as "OWNER(S)"), OWNER(S) of the property located at 2200 N. Main Street, Wheaton, within the corporate limits of the City of Wheaton, Illinois (hereinafter referred to as "Subject Property"), and which is legally described below:

LOTS 1, 2, 3, AND 4 IN MAYER'S ASSESSMENT PLAT OF PART OF THE WEST HALF OF THE SOUTHWEST ¼ OF SECTION 4, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 14, 1947 AS DOCUMENT 517305, IN DUPAGE COUNTY, ILLINOIS.

P.I.N. 05-04-304-039

RECITALS

WHEREAS, the OWNER(S) desire to establish Fire Lanes upon the Subject Property to improve the health and safety of the citizens of Wheaton; and

WHEREAS, the CITY believes that it is in the best interests of the public health and safety that Fire Lanes be established, maintained and enforced upon the Subject Property.

NOW, THEREFORE, in consideration of the mutual covenants and obligations contained herein, the OWNER(S) and CITY agree to the following in regards to the Subject Property:

1. The CITY Fire Chief, Chief of Police or their designated representative and OWNER(S), shall identify the specific Fire Lane locations within the Subject Property which

shall, pursuant to the terms of this Agreement and Ordinance No. _____ be regulated. The specific locations of the Fire Lane(s) to be enforced shall be as set forth on the Site Plan ("Plan") attached hereto and fully incorporated into this Agreement as Exhibit " ". The CITY Fire Chief, Chief of Police or their designated representative and OWNER(S) or designated representative may from time to time mutually agree to amend the Fire Lane(s) location(s) as set forth in the Site Plan. At such time, the Site Plan shall be amended and appended to this Agreement as an Amended Exhibit "A".

2. The OWNER(S) are responsible for providing any required pavement markings.

3. The OWNER(S), at their sole expense, shall be responsible for obtaining, erecting and maintaining the appropriate signage in accordance with applicable CITY and State of Illinois regulations and specifications.

4. The CITY shall inspect and approve the signage prior to entering into this Agreement. The CITY Fire Chief, Chief of Police or their designated representative may require additional signage and/or pavement markings, if it is later determined that the inspected and approved signage does not provide adequate notification of the established fire lanes.

5. Upon execution of this Agreement, the CITY will enforce the Fire Lane parking and standing prohibitions and the Fire Lane maintenance requirements contained in Sections 70-355 and 30-2 of the Wheaton City Code in regards to the Subject Property. No "special duty" to third persons shall be imposed by this Agreement. The CITY's enforcement obligation shall be legally the same as it is with all other ordinances.

6. This Agreement may be terminated by either party by providing not less than thirty (30) days notice to the other party of the intention to terminate this Agreement.

7. This Agreement shall be assignable by OWNER(S) to their successors in interest upon the sale or lease of the Subject Property.

8. The OWNER(S) hereby agrees to release and hold harmless, indemnify and defend (including the payment of all costs and attorneys' fees) the CITY, its Officers, Agents and Employees, in connection with any and all actions or claims for any loss, damage, personal injury or death occurring as a consequence of the performance of this Agreement.

9. The sole remedy available to the OWNER(S), upon any breach of this Agreement by the CITY, shall be the termination of the Agreement. It is of the essence of this Agreement that the CITY shall not be liable in money damage for any breach of this Agreement.

10. Whenever notice to the CITY is required, it shall be addressed to:

City Clerk
City of Wheaton
303 West Wesley Street
Wheaton, IL 60189-0727

Whenever notice to the Owner is required, it shall be addressed to:

Geneva-Main LLC
c/o Centrum Properties, Inc.
225 W. Hubbard Street
Chicago IL 60610

IN WITNESS WHEREOF, the parties hereto have executed this instrument by their duly authorized officers of the day and year first above written.

CITY OF WHEATON, ILLINOIS, a Municipal Corporation

BY: _____
City Manager

ATTEST: _____
City Clerk

BY: _____

ATTEST: _____

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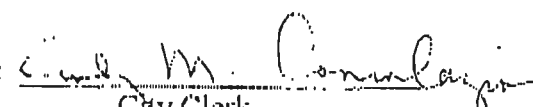
IN WITNESS WHEREOF, the parties hereto have executed this instrument by their duly authorized officers of the day and year first above written.

CITY OF WHEATON, ILLINOIS, a Municipal Corporation

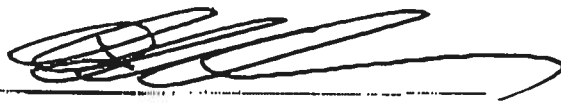
BY:


City Manager

ATTEST:


City Clerk

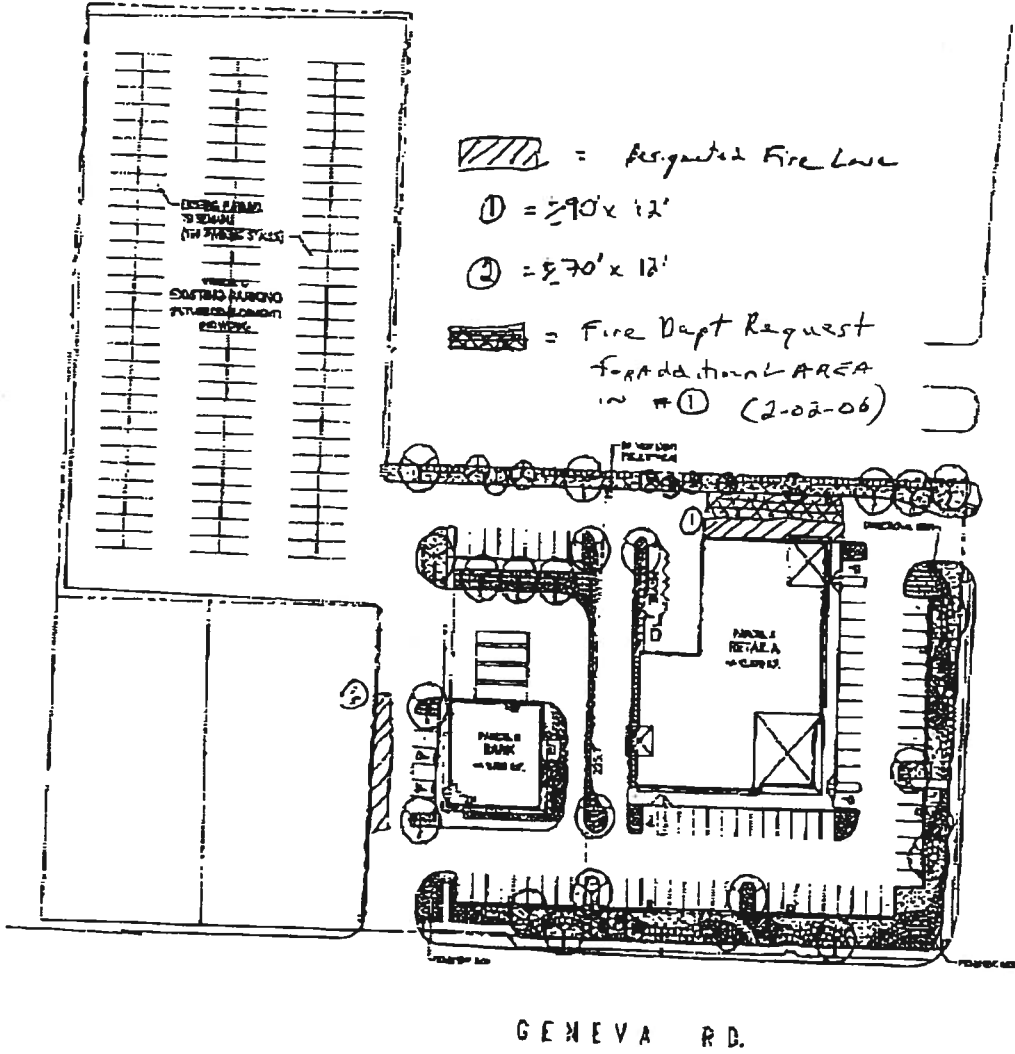
BY:



ATTEST:



PRELIMINARY LANDSCAPE PLAN
SCALE: 1" = 20'



- PROPOSED SIDE WALK PLANT
- PROPOSED CORNER PLANT
- PROPOSED INTERIOR PLANT
- PROPOSED INTERIOR PLANT
- PROPOSED INTERIOR PLANT
- PROPOSED INTERIOR PLANT

LANDSCAPE COMMENTS:
FIRE DEPT REQUEST FOR ADDITIONAL AREA IN #1 (2-02-06)
FIRE DEPT REQUEST FOR ADDITIONAL AREA IN #1 (2-02-06)
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DAVE WEINBAUGH & PARTNERS LTD.

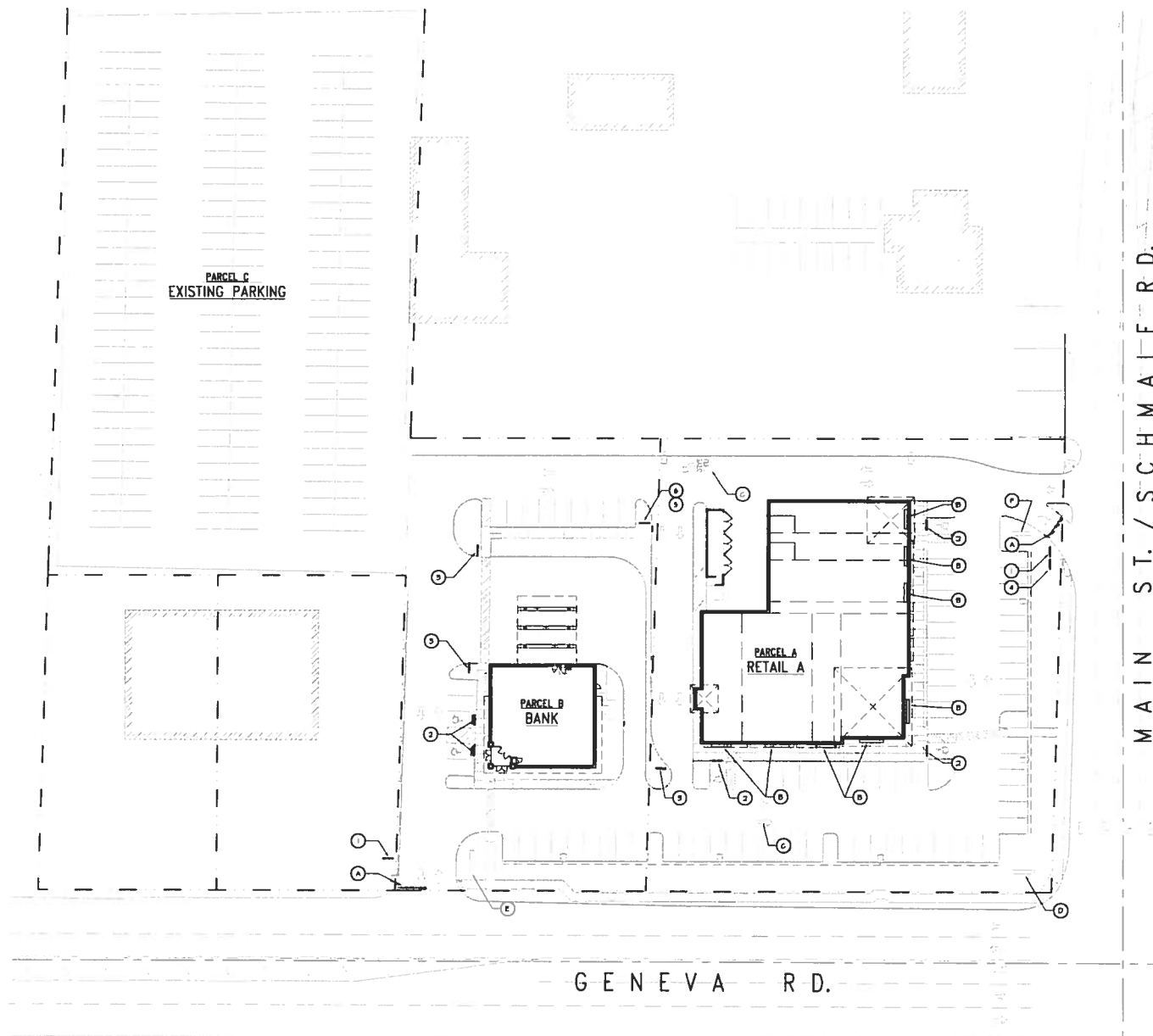
LANDSCAPE ARCHITECT

2000 N. LAKE STREET, SUITE 100
CHICAGO, ILL. 60610
TEL: 312.532.2525

GENEVA & MAIN

PRELIMINARY LANDSCAPE PLAN

DATE	DESCRIPTION
01.23.08	1. PRELIMINARY
02.01.08	2. REVISED
02.01.08	3. REVISED
02.01.08	4. REVISED
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02.01.08	99. REVISED
02.01.08	100. REVISED



- CIRCULATION SIGNAGE AND STRIPING LEGEND**
- 1 R4-1 STOP SIGN
 - 2 R1-8 HANDICAP ACCESSIBLE SIGN
 - 3 R5-1 DO NOT ENTER SIGN
 - 4 R5-3R RIGHT TURN ONLY SIGN
 - 5 R6-4R ONE WAY SIGN
 - 6 DRIVE THRU
 - 7 24' WHITE STOP BAR
 - 8 DIRECTIONAL STRIPING

- 9 RETAIL SIGNAGE
 - 10 RETAIL IDENTIFICATION SIGN
 - 11 BANK/RETAIL DIRECTIONAL SIGNAGE
- NOTE:**
PRIMARY RETAIL/RESTAURANTS SIGN
INFORMATION TO BE SUBMITTED
UNDER ITS OWN PERMIT

- 12 BANK IDENTIFICATION SIGN
- NOTE:**
FOR BANK RETAIL SIGNS (PARCEL B)
INFORMATION SEE BANK PACKAGE

Proposed Sign Plan

Geneva & Main

Wheaton, Illinois

Geneva-Main, L.L.C.

1"=60'-0"

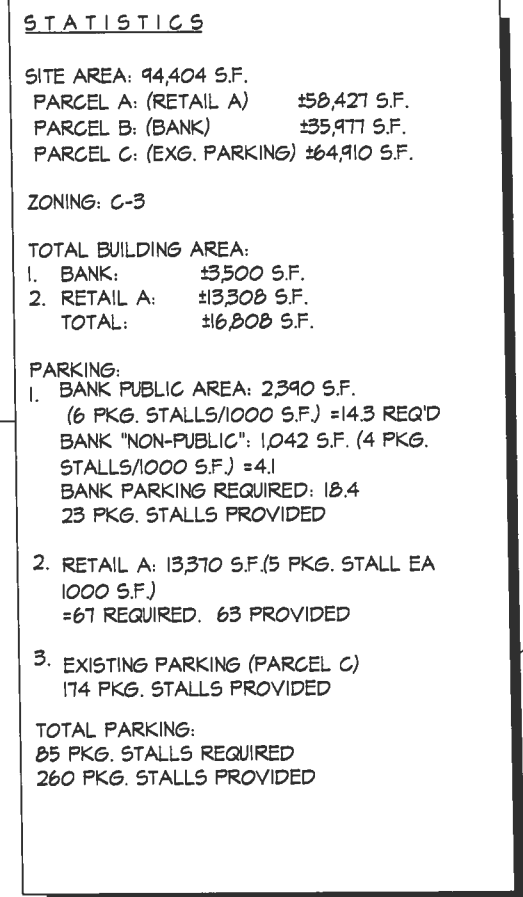
November 18 2005

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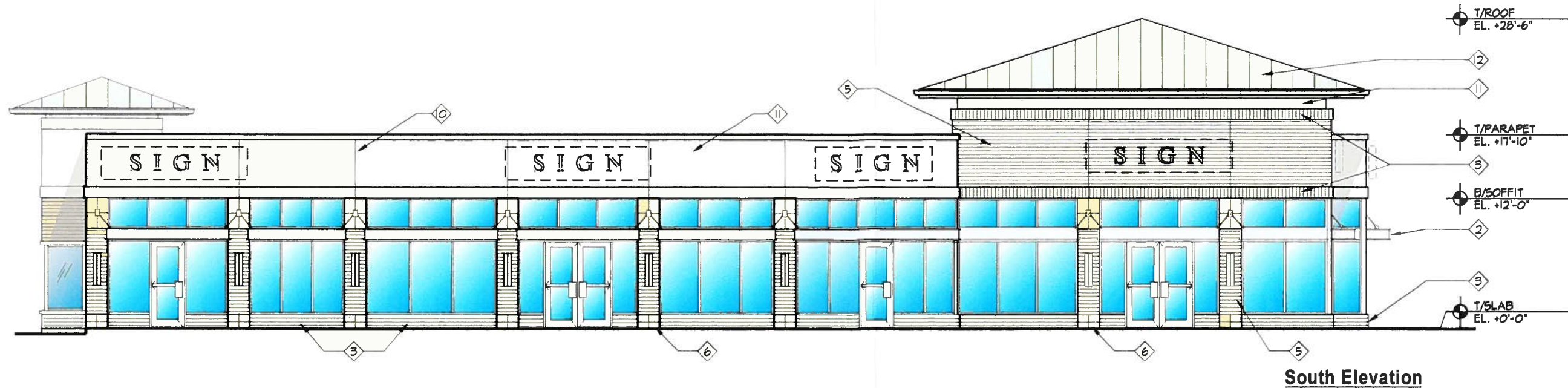
Hirsch Associates



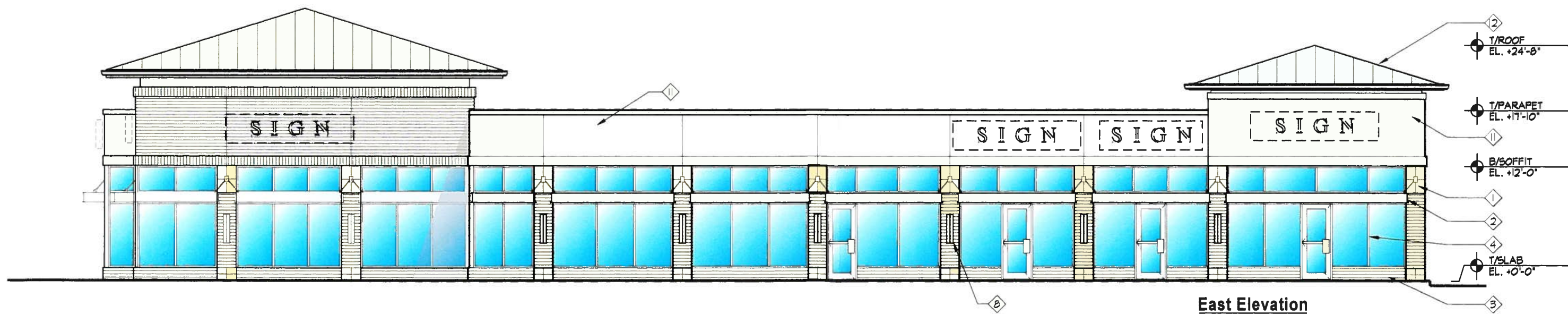


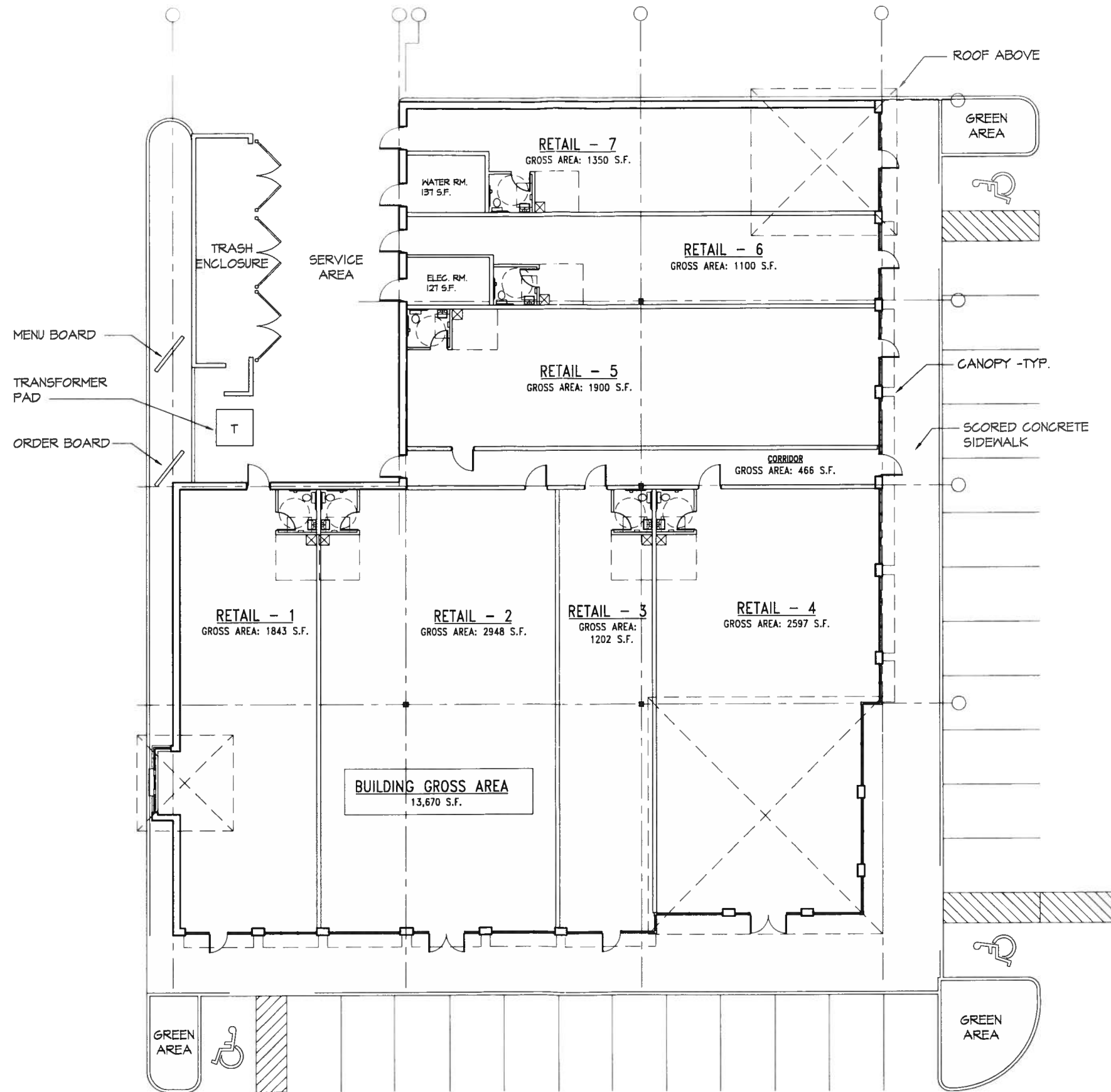
Wheaton, Illinois





KEY LEGEND	
①	STONE PLASTER CAPITAL BY RENAISSANCE STONE -WHEAT
②	PAINTED STEEL CANOPY FRAME WITH INNER ACRYLIC FIBER AWNINGS
③	SOLDIER COURSE BRICK/BASE BRICK: SEA SMOOTH GRAY BY BELDEN BRICK CO. UTILITY SIZE
④	STOREFRONT: CLEAR ANODIZED FINISH
⑤	FACE BRICK: BELDEN MODULAR NO. 8550 A 91-31 BY BELDEN BRICK CO. OR SIMILAR UTILITY SIZE
⑥	ROCKED FACED STONE PLASTER BASE: BY RENAISSANCE STONE -BUFF
⑦	RETAIL SIGNAGE -SEE SIGNAGE PLAN
⑧	LIGHT FIXTURES
⑨	DRIVE THRU WINDOW
⑩	MASONRY /EFS EXPANSION JOINTS
⑪	EXTERIOR FINISH SYSTEM COLOR #: 442 COTTON BY DRYVIT
⑫	PREFINISH METAL ROOFING BY PAC-CLAD -SANDSTONE





Floor Plan - Parcel "A"

Geneva & Main

Wheaton, Illinois





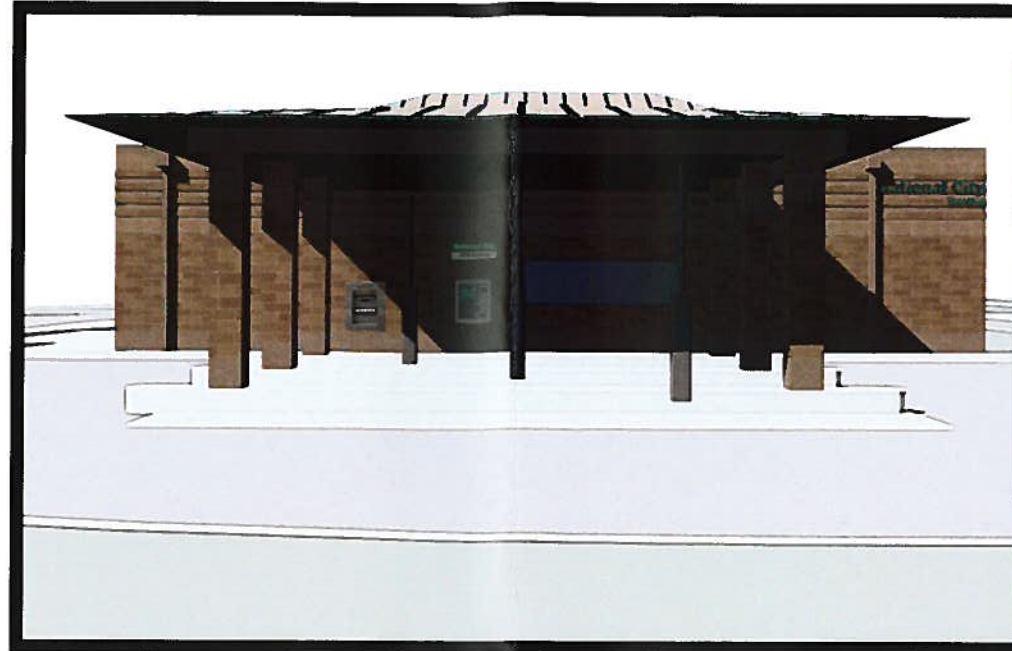
SOUTH ELEVATION



WEST ELEVATION

National City

Wheaton, IL



NORTH ELEVATION



EAST ELEVATION

National City

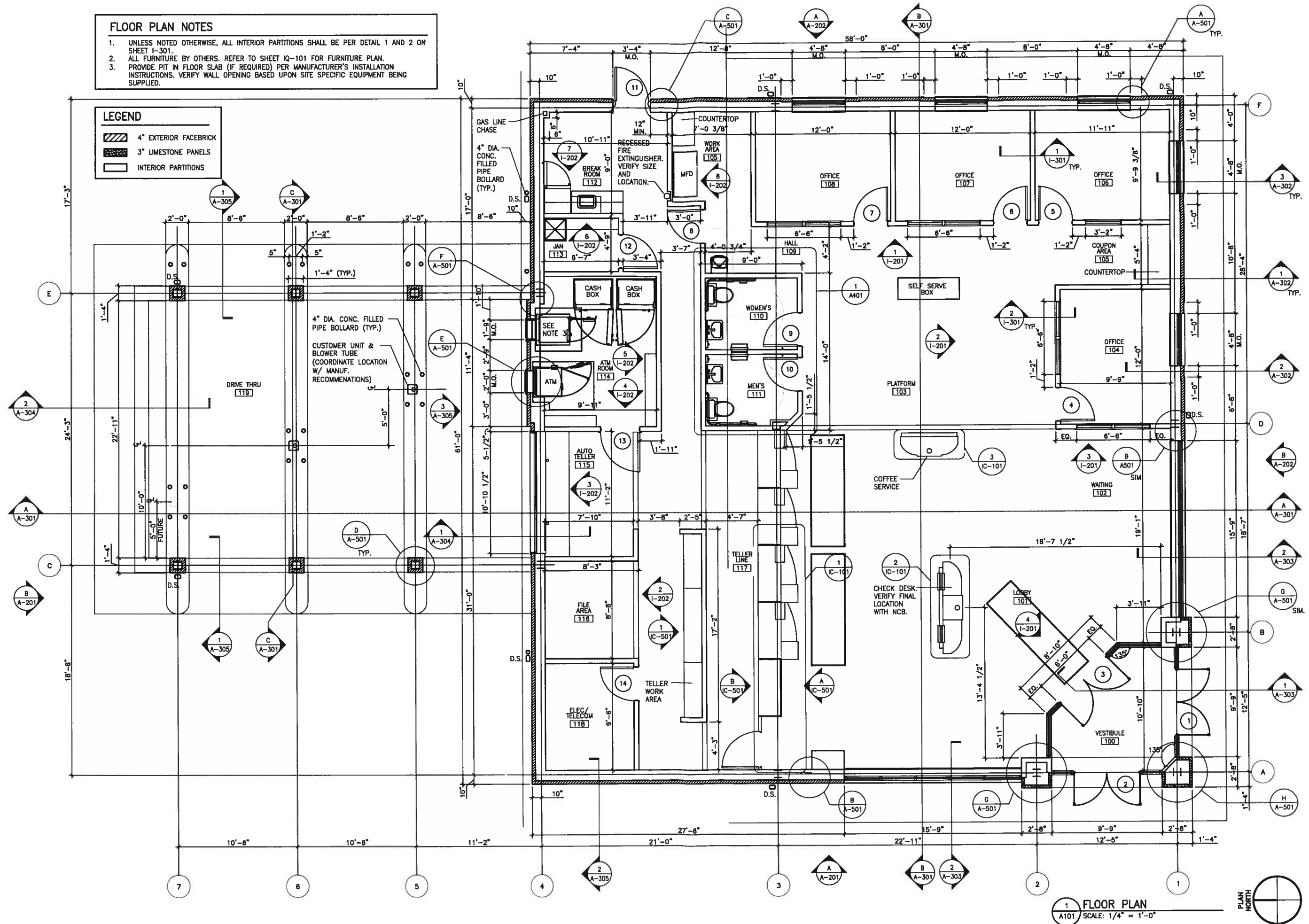
Wheaton, IL

FLOOR PLAN NOTES

1. UNLESS NOTED OTHERWISE, ALL INTERIOR PARTITIONS SHALL BE PER DETAIL 1 AND 2 ON SHEET I-301.
2. ALL FURNITURE BY OTHERS. REFER TO SHEET IQ-101 FOR FURNITURE PLAN.
3. PROVIDE PIT IN FLOOR SLAB (IF REQUIRED) PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. VERIFY WALL OPENING BASED UPON SITE SPECIFIC EQUIPMENT BEING SUPPLIED.

LEGEND

- 4" EXTERIOR FACEBRICK
- 3" LIMESTONE PANELS
- INTERIOR PARTITIONS



National City

DESCRIPTION

DATE

REV.

NATIONAL CITY BANK
GENEVA ROAD
WHEATON, IL

FLOOR PLAN

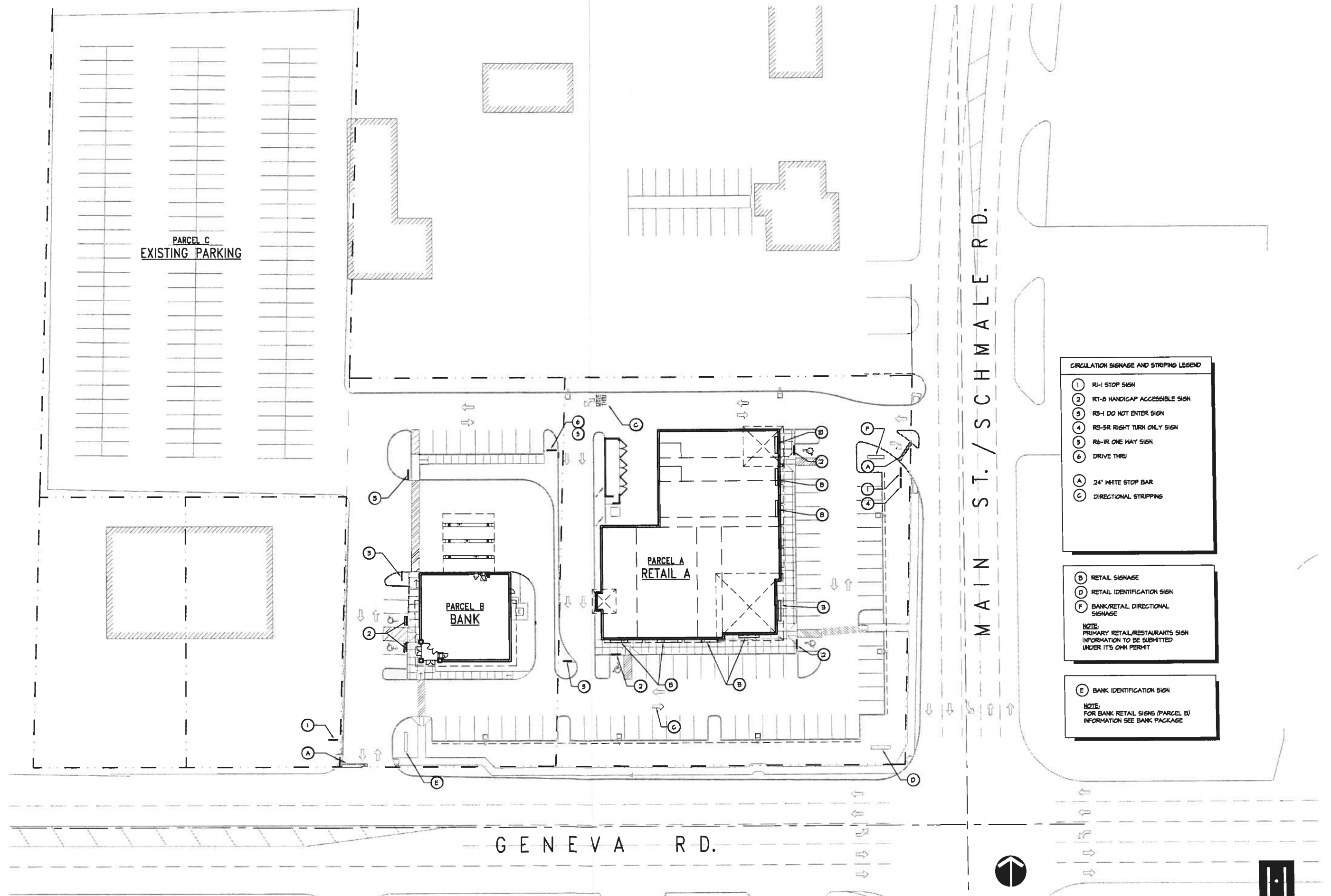
DESIGNED	DATE
NCB	11/11/05
DRAWN	
LMI	11/21/05
CHECKED	

JOB NO.
2005090.11

A-101

1 FLOOR PLAN
A101 SCALE: 1/4" = 1'-0"



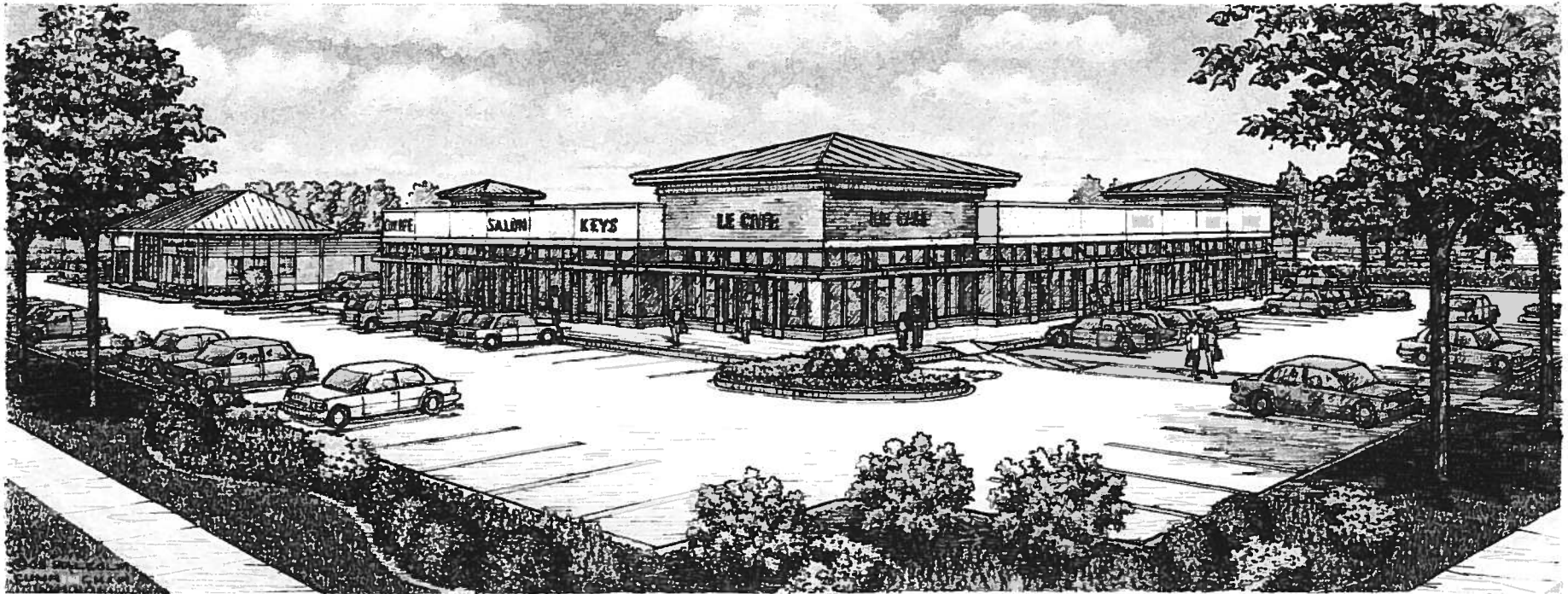


Proposed Sign Plan

Geneva & Main

Wheaton, Illinois





Exterior View -Conceptual Rendering

Geneva & Main

Wheaton, Illinois

Geneva-Main, L.L.C.

November 18 2005

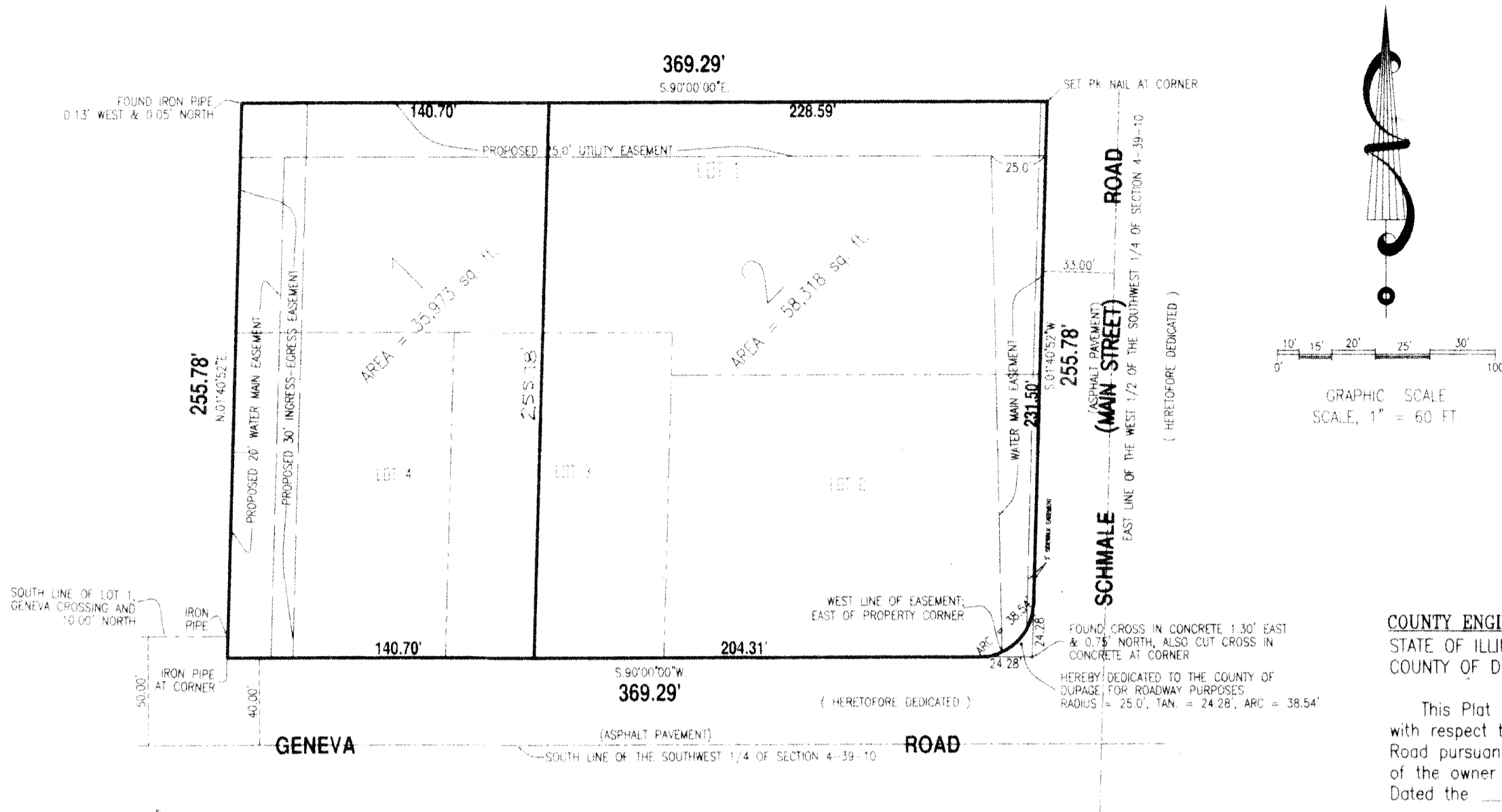
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Hirsch Associates



GENEVA-MAIN SUBDIVISION

THE WEST 1/2 OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 39 NORTH, RANGE 14, EAST
OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.



ALL EASEMENTS INDICATED AS PUBLIC UTILITY AND/OR DRAINAGE AND UTILITY EASEMENTS ON THIS PLAT ARE RESERVED FOR AND GRANTED TO THE CITY OF WHEATON AND TO THOSE PUBLIC UTILITY COMPANIES OPERATING UNDER FRANCHISE FROM THE CITY OF WHEATON INCLUDING, BUT NOT LIMITED TO, SBC/ AMERITECH COMPANY, NICOR GAS COMPANY, COMMONWEALTH EDISON COMPANY AND THEIR SUCCESSORS AND ASSIGNS (COLLECTIVELY GRANTEE) FOR THE PERPETUAL RIGHT, PRIVILEGE AND AUTHORITY TO CONSTRUCT, RECONSTRUCT, REPAIR, INSPECT, MAINTAIN AND OPERATE "THE PUBLIC UTILITY" TOGETHER WITH ANY AND ALL NECESSARY MANHOLES, CATCH BASINS, CONNECTIONS, APPLIANCES AND OTHER STRUCTURES AND APPURTENANCES AS MAY BE DEEMED NECESSARY BY SAID CITY OF WHEATON, UPON, ALONG, UNDER AND THROUGH SAID INDICATED EASEMENT, TOGETHER WITH RIGHT OF ACCESS ACROSS THE PROPERTY FOR NECESSARY MEN AND EQUIPMENT TO DO ANY OF THE ABOVE WORK. THE RIGHT IS ALSO GRANTED TO CUT DOWN, TRIM OR REMOVE ANY TREES, SHRUBS OR OTHER PLANTS ON THE EASEMENT THAT INTERFERE WITH THE OPERATION OF THE "PUBLIC UTILITY". THE GRANTEE OR GRANTEE'S PERFORMING OR CAUSING TO BE PERFORMED ANY OF SAID WORK SHALL BE RESPONSIBLE AT ITS OR THEIR EXPENSE, TO BACKFILL AREAS WITH APPROVED MATERIALS BUT SHALL NOT BE LIABLE TO RESTORE ANY PAVEMENT, CURB AND GUTTER, SIDEWALKS OR LANDSCAPING DISTURBED DURING MAINTENANCE. THE GRANTEE SHALL BE RESPONSIBLE FOR THE FULL AND COMPLETE RESTORATION OF THE EASEMENT PREMISES. NO PERMANENT BUILDINGS SHALL BE PLACED ON SAID EASEMENTS, BUT SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS. ELEVATIONS OR GRADES SHALL NOT BE CHANGED WITHIN THE EASEMENT PREMISES WITHOUT THE WRITTEN APPROVAL OF THE CITY OF WHEATON.

COUNTY ENGINEER
STATE OF ILLINOIS } ss
COUNTY OF DUPAGE }

This Plat has been approved by the DuPage County Division of Transportation with respect to roadway access to County Highway #21, Geneva Road and #23, Schmale Road pursuant to 765 ILCS/ 205/2, however, a highway permit for access is required of the owner of the property prior to construction within the County's Rights-of-Way. Dated the ____ day of _____, 20 ____.

STATE OF ILLINOIS } ss
COUNTY OF _____ }

Geneva-Main, L.L.C., does hereby certify that it is the Title Owner of record of the property described hereon, and that it has caused the same to be surveyed for the purpose of Subdividing it into two (2) Lots, as shown hereon.

Dated this ____ day of _____, A.D., 20 ____.

BY _____

ATTEST _____

By executing this plat, the owner hereby certifies under oath that all of the property is located in Community Unit School District #200.

STATE OF ILLINOIS } ss
COUNTY OF _____ }

I, _____, a Notary Public, in and for said County, in the State aforesaid, do hereby certify that _____ and _____ personally known to me to be the same persons whose names are subscribed to the foregoing instrument as _____ and _____, respectively, of Geneva-Main, L.L.C., appeared before me this day in person and acknowledged that they signed and delivered the said instrument as their own free and voluntary act, and as the free and voluntary act of Geneva-Main, L.L.C., for the uses and purposes therein set forth, and the Secretary did also then and there acknowledge that _____, as Custodian of the Corporate Seal of said Geneva-Main, L.L.C., did affix said Corporate Seal to the instrument as _____ own free and voluntary act, and as the free and voluntary act of said Geneva-Main, L.L.C., as aforesaid, for the uses and purposes therein set forth.

Given under my hand and notarial seal, this ____ day of _____, A.D., 20 ____.

NOTARY PUBLIC

STATE OF ILLINOIS } ss
COUNTY OF _____ }

LaSalle Bank National Association, as Mortgagee under the provisions of a certain mortgage recorded in the Recorder's Office of DuPage County, Illinois, as Document No. _____, does hereby consent to the plat of subdivision hereon drawn.

Dated this ____ day of _____, A.D., 20 ____.

LASALLE BANK NATIONAL ASSOCIATION
MORTGAGEE

Attest:

(ASST.) SECRETARY

By:

(VICE) PRESIDENT

STATE OF ILLINOIS } ss
COUNTY OF _____ }

I, _____, a Notary Public, in and for said County, in the State aforesaid, do hereby certify that _____ and _____ personally known to me to be the same persons whose names are subscribed to the foregoing instrument as _____ and _____, respectively, appeared before me this day in person and acknowledged that they signed and delivered the said instrument as their own free and voluntary act, and as the free and voluntary act of said Corporation, not individually, but solely as Mortgagee, as aforesaid, for the uses and purposes therein set forth, and the _____ did also then and there acknowledge that _____, as Custodian of the Corporate Seal of said Corporation, did affix the Corporate Seal to the said instrument as he _____ own free and voluntary act, and as the free and voluntary act of said Corporation, as Mortgagee, as aforesaid, for the uses and purposes therein set forth.

Given under my hand and Notarial seal, this ____ day of _____, A.D., 20 ____.

NOTARY PUBLIC

RECORDER OF DEEDS
STATE OF ILLINOIS } ss
COUNTY OF DUPAGE }

This instrument _____, was filed for record in the Recorder of Deeds Office of DuPage County, Illinois, on the ____ day of _____, 20 ____ A.D. at ____ o'clock ____.

Dated at Wheaton, Illinois, this ____ day of _____, 20 ____.

DUPAGE COUNTY RECORDER OF DEEDS

(PIN #05-04-304-039)
SEND TAX BILL TO:
GENEVA-MAIN, L.L.C.
c/o CENTRUM PROPERTIES
225 W. HUBBARD ST.
CHICAGO, ILLINOIS 60610-2525

SUBMITTED BY AND RETURN PLAT TO:

VILLAGE OF WHEATON
303 W. WESLEY ST.
WHEATON, ILLINOIS 60187

DIRECTOR OF ENGINEERING
STATE OF ILLINOIS } ss
COUNTY OF DUPAGE }

I, _____, Director of Engineering for the City of Wheaton, Illinois, do hereby certify that the plat as appended hereto meets with the requirements and the plans and specifications of the Wheaton city code and has been approved by all public authorities.

Dated at Wheaton, Illinois this ____ day of _____, 20 ____.

County Engineer

CITY COLLECTOR
STATE OF ILLINOIS } ss
COUNTY OF DUPAGE }

I, _____, City Collector for the City of Wheaton, Illinois, do hereby certify that there are no delinquent or unpaid current or forfeited special assessments or any deferred installments thereof that have been apportioned against the tract of land described on this plat.

Dated this ____ day of _____, A.D., 20 ____.

City Collector

CITY COUNCIL
STATE OF ILLINOIS } ss
COUNTY OF DUPAGE }

Approved, by the Mayor and City Council, of the City of Wheaton, DuPage County, Illinois, this ____ day of _____, 20 ____.

MAYOR, CITY OF WHEATON

Attest: _____
City Clerk

COUNTY CLERK
STATE OF ILLINOIS } ss
COUNTY OF DUPAGE }

I, _____, County Clerk of DuPage County, Illinois, do hereby certify that I find no delinquent general taxes, no unpaid current general taxes, no unpaid forfeited taxes, no delinquent or unpaid special assessments, no redeemable tax sales against any of the land shown on this plat.

Given under my hand and seal this ____ day of _____, 20 ____.

County Clerk, DuPage County, Illinois.

RECORDER OF DEEDS
STATE OF ILLINOIS } ss
COUNTY OF COOK }

B. H. SUHR & COMPANY, INC., does hereby certify that it has surveyed the following described property for the purpose of Subdividing it into two (2) Lots as shown hereon:

LOTS 1, 2, 3 AND 4 IN MAYER'S ASSESSMENT PLAT OF PART OF THE WEST HALF OF THE SOUTHWEST 1/4 OF SECTION 4, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 14, 1947 AS DOCUMENT 517305, IN DUPAGE COUNTY, ILLINOIS.

Dimensions are shown in feet and decimal parts thereof and are correct at 62 degrees Fahrenheit.

Per Federal Emergency Management Flood Insurance Rate Map No. 17043C0502H property falls within Zone 'X' Area determined to be outside 0.2% annual chance floodplain. Effective December 16, 2004.

It, further certifies that the plat hereon drawn is a correct representation of said survey and subdivision.

Dated at Evanston, Illinois, this ____ day of _____, A.D., 20 ____.

B. H. SUHR & COMPANY, INC.
SURVEYORS

By: _____
RAYMOND R. HANSEN
Illinois Professional Land Surveyor No.2542
License Expiration Date: 11/30/06

B.H. SUHR & COMPANY, INC.	
SURVEYORS ESTABLISHED 1911	
840 CUSTER AVENUE, EVANSTON, ILLINOIS 60202	
CHICAGO TEL. (773) 273-5315 / EVANSTON TEL. (847) 864-6315	
WWW.BHSUHR.COM / E-MAIL: SURVEYOR@BHSUHR.COM	
BOOK 05	PAGE 292-S
ORDER No. 05-292-S	ORDERED BY: CENTRUM PROPERTIES, INC.
EVANSTON, NOVEMBER 22, 20 05	
W.S.127	

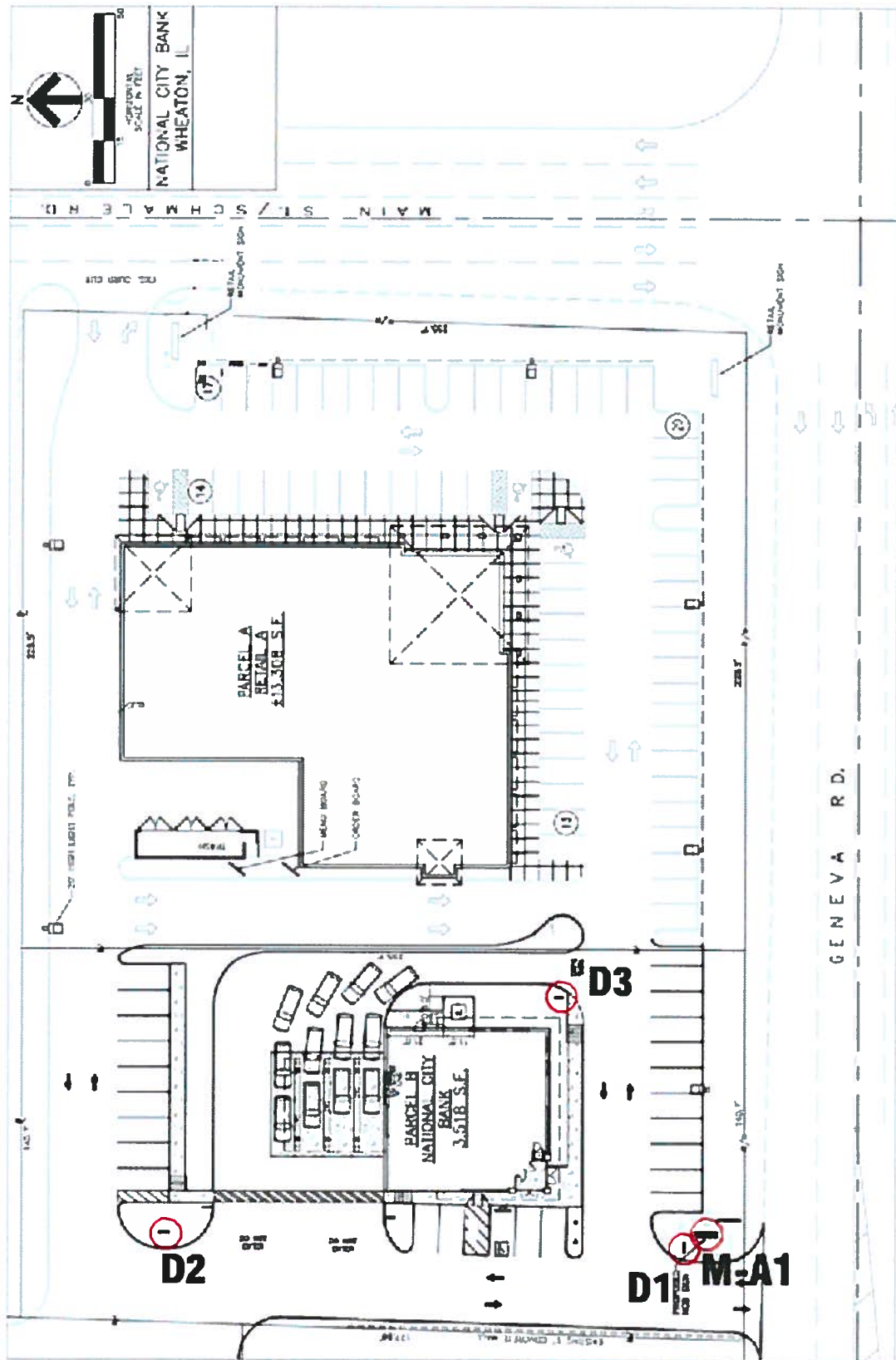
National City

Signage Exhibit Wheaton, IL



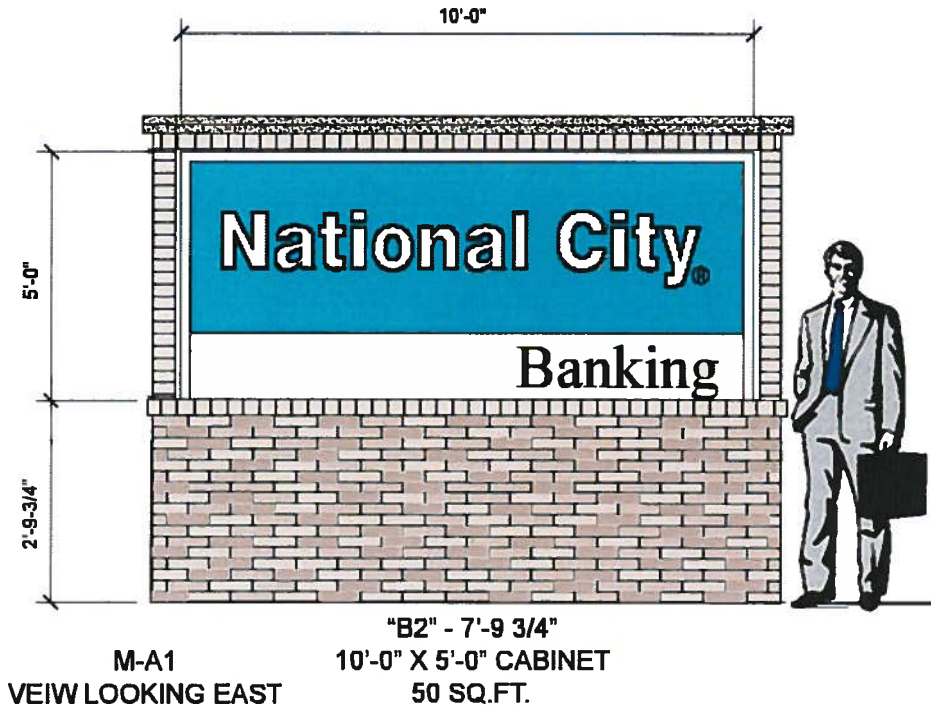
GPD GROUP

520 South Main St. Suite 2531
Akron, OH 44311 Ph. 330.572.2100



National City

Signage Exhibit Wheaton, IL

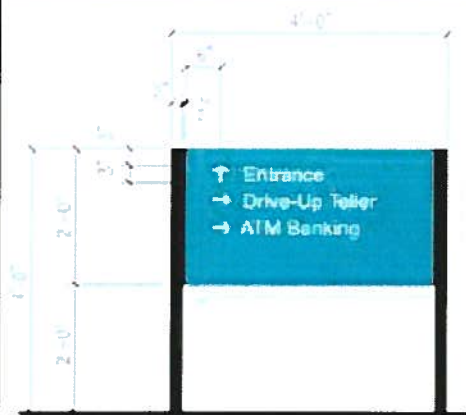


SINGLE-FACED ILLUMINATED SIGNS - 2 REQUIRED
 FABRICATE AND INSTALL SIGN OF ALUMINUM AND GALVANIZED ANGLE.
 FACES TO BE CLEAR LEXAN WITH COPY APPLIED SECOND SURFACE.
 ALL EXPOSED METAL SURFACES TO BE COATED WITH ACRYLIC POLYURETHANE.
 INTERNAL ILLUMINATION TO BE HIGH OUTPUT FLOURESCENT LAMPS.

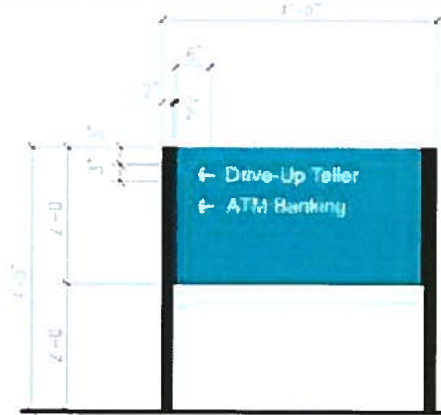
National City

Signage Exhibit Wheaton, IL

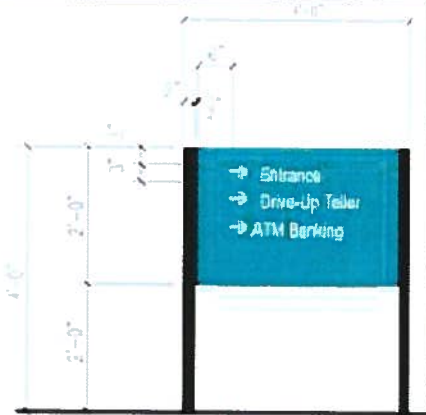

GPD GROUP
 800 South Main St., Suite 453
 Alton, OH 44311 PH: 330.872.2100



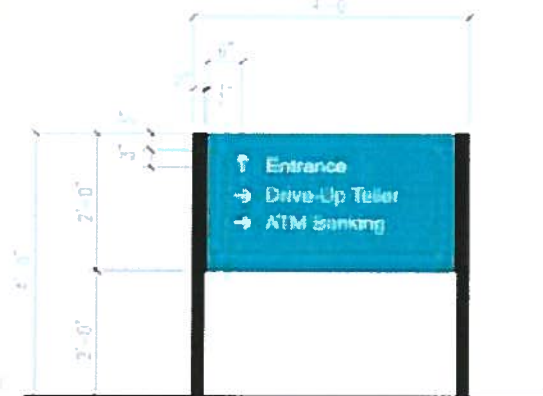
D1
(South Face)



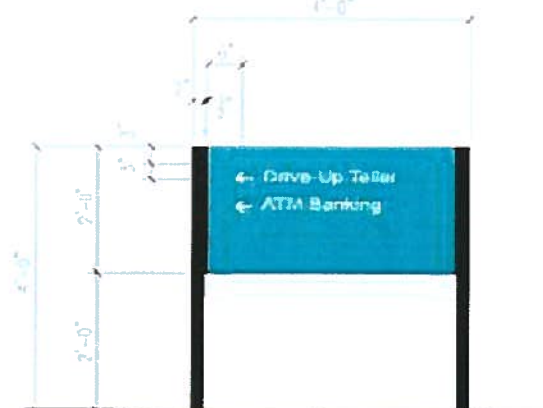
D1 Back
(North Face)



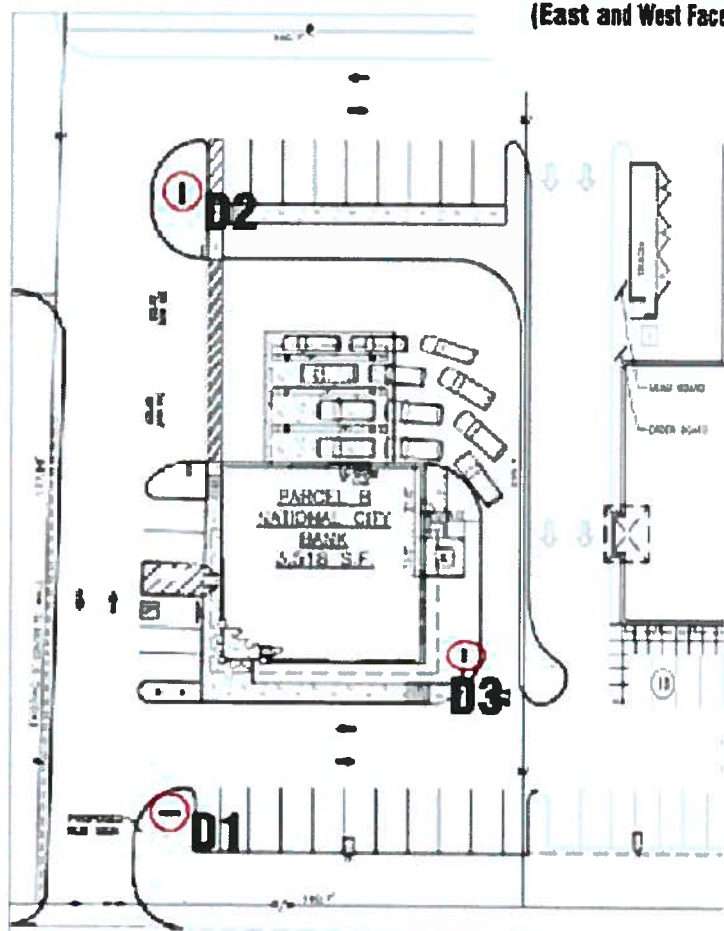
**D2 &
D2 Back Mirred**
(East and West Face)



D3
(East Face)



D3 Back
(West Face)



INSTALLATION INSTRUCTIONS
POSTS TO BE SET IN CONCRETE.
SIGNS TO BE INSTALLED IN LOCATIONS
INDICATED ON SITE PLAN.

GENEVA RD.

SINGLE-FACED DIRECTIONAL
FABRICATE AND INSTALL SIGN OF ALUMINUM
ALL COPY TO BE APPLIED FIRST SURFACE.
ALL EXPOSED METAL SURFACES TO BE COATED
WITH ACRYLIC POLYURETHANE.
POSTS TO BE 2" ALUMINUM SQUARE TUBE.
NO ILLUMINATION.



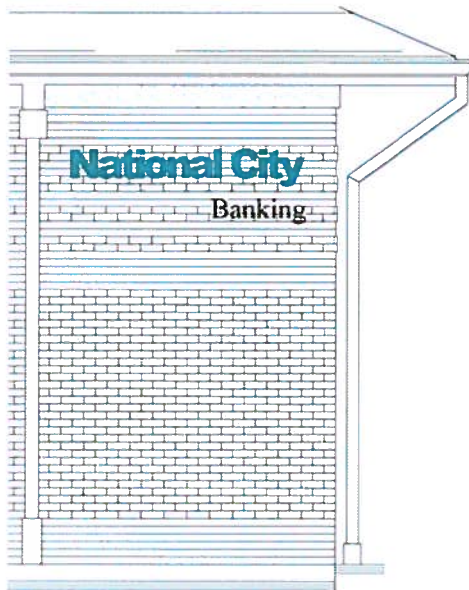
National City

Signage Exhibit Wheaton, IL

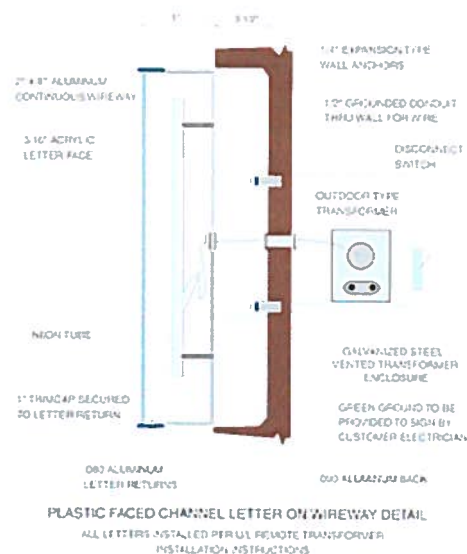




ILLUMINATED INDIVIDUAL LETTERS- 1 SETS REQUIRED
 FABRICATE AND INSTALL LETTERS OF ALUMINUM AND ACRYLIC.
 FACES TO BE CLEAR ACRYLIC WITH VT2980 3M GREEN VINYL APPLIED SECOND SURFACE
 TRIMCAP TO BE 1" GREEN JEWELITE
 RETURNS TO MATCH NCB GREEN PMS 3295C.
 ALL EXPOSED METAL SURFACES TO BE COATED WITH ACRYLIC POLYURETHANE.
 INTERNAL ILLUMINATION TO BE WHITE NEON.



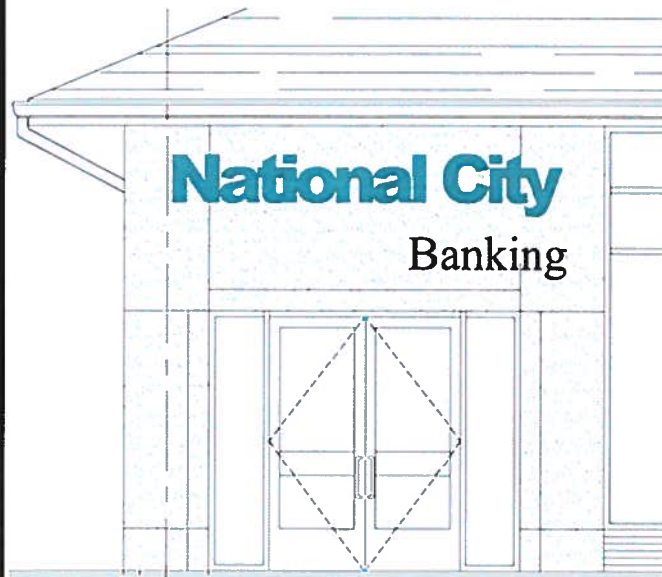
NORTH ELEVATION



INSTALLATION INSTRUCTIONS
 LETTERS TO BE MOUNTED TO WALLS AS INDICATED CONNECT
 TO ELECTRICAL SERVICE TO BE PROVIDED BY OTHERS



ILLUMINATED INDIVIDUAL LETTERS- 2 SETS REQUIRED
 FABRICATE AND INSTALL LETTERS OF ALUMINUM AND ACRYLIC.
 FACES TO BE CLEAR ACRYLIC WITH VT2980 3M GREEN VINYL APPLIED SECOND SURFACE.
 TRIMCAP TO BE 1" GREEN JEWELITE.
 RETURNS TO MATCH NCB GREEN PMS 3295C
 ALL EXPOSED METAL SURFACES TO BE COATED WITH ACRYLIC POLYURETHANE.
 INTERNAL ILLUMINATION TO BE WHITE NEON.



SOUTH ELEVATION



WEST ELEVATION

National City

Signage Exhibit Wheaton, IL



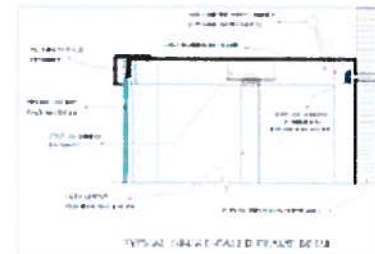
3'-0"

1'-4"

ATM Banking

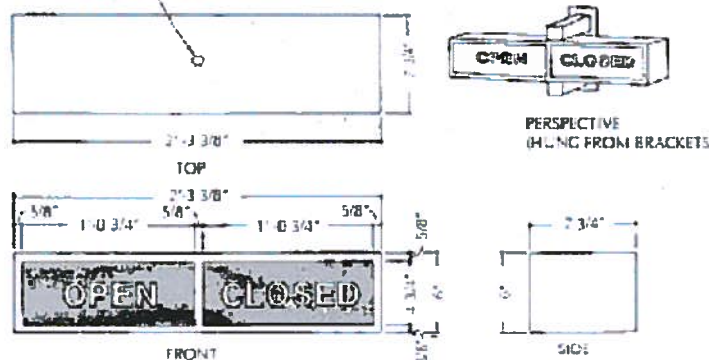
SINGLE-FACED ILLUMINATED

FABRICATE AND INSTALL SIGN OF ALUMINUM AND GALVANIZED ANGLE.
FACE TO BE WHITE ACRYLIC WITH COPY APPLIED FIRST TO SURFACE.
ALL EXPOSED METAL SURFACES TO BE COATED WITH ACRYLIC POLYURETHANE.
INTERNAL ILLUMINATION TO BE HIGH OUTPUT FLOURESCENT.

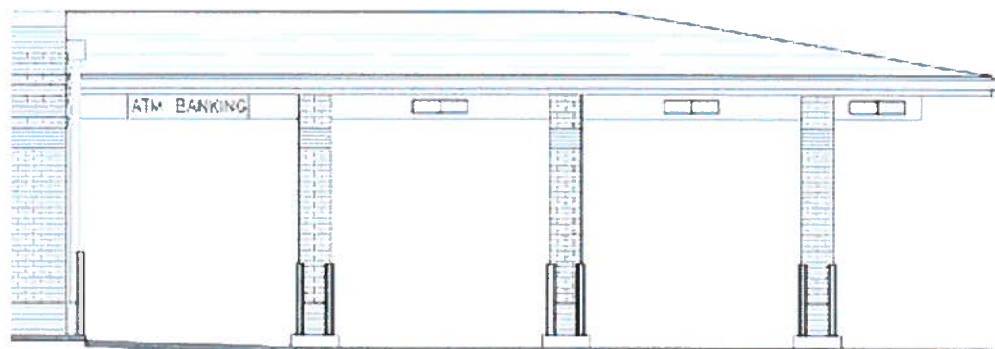


SIDE-BY-SIDE OPEN/CLOSE SIGN

22mm (7/8") DIA. HOLE IS PROVIDED IN THE TOP AND BACK FOR WIRES AND MOUNTING.
IF REQUIRED DRILL 22mm (7/8") DIA. HOLE IN BOTTOM TO SUIT BUILDING CONDITIONS
SEE TYPICAL METHODS OF ATTACHMENTS



NOTE:
Optional (2) Brackets Are
Required As Needed

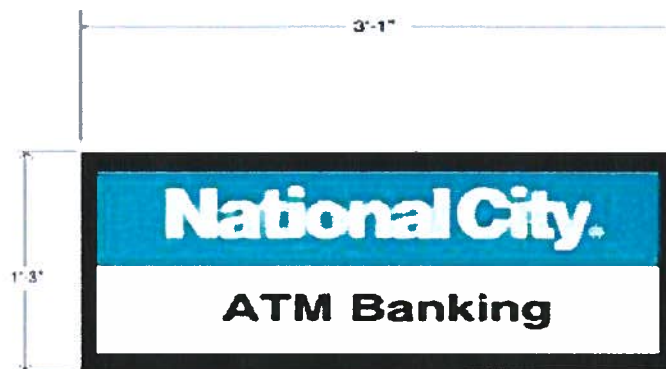


National City

Signage Exhibit Wheaton, IL

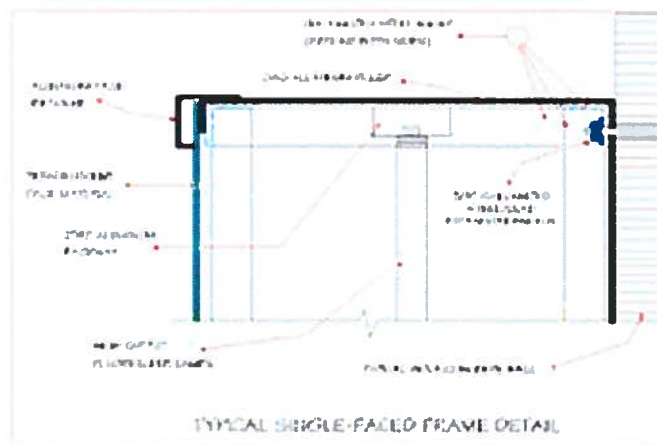
GPD GROUP
501 South Main Street, Suite 201
Wheaton, IL 60187-1100
Phone: 630.401.1100 Fax: 630.401.1101

INSTALLATION INSTRUCTIONS
 CENTER ABOVE ATM MACHINE.
 ALIGN T ABOVE TOP OF MACHINE.
 CONNECT TO ELECTRICAL SERVICES
 TO BE PROVIDED BY OTHERS



SINGLE-FACED ILLUMINATED SIGN

FABRICATE AND INSTALL SIGN OF ALUMINUM AND GALVANIZED ANGLE.
 FACE TO BE CLEAR ACRYLIC WITH CANOPY APPLIED SECOND SURFACE.
 ALL EXPOSED METAL SURFACE TO BE COATED WITH ACRYLIC POLYURETHANE.
 INTERNAL ILLUMINATION TO BE HIGH OUTPUT FLOURESCENT LAMPS
 SCALE = 1 1/2" = 1'



National City

Signage Exhibit Wheaton, IL

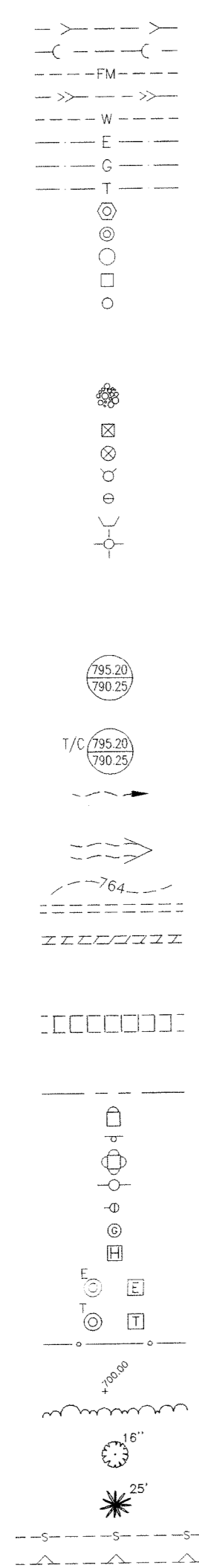
GPD GROUP
 520 South Main Street, Suite 200
 Wheaton, IL 60187-1100

Proposed Improvements
for
RETAIL DEVELOPMENT

NORTHWEST CORNER OF GENEVA ROAD AND MAIN STREET (SCHMALE ROAD)
WHEATON, ILLINOIS

STANDARD SYMBOLS

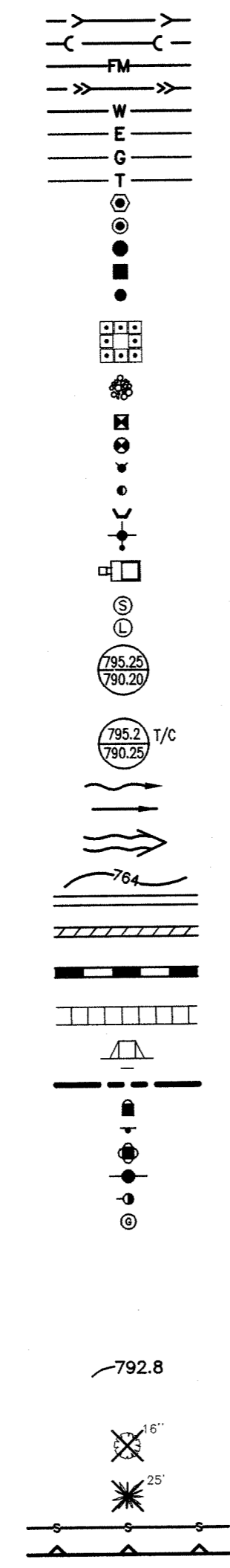
EXISTING



STORM SEWER
SANITARY SEWER
FORCE MAIN
PVC STORM SEWER
WATER MAIN
ELECTRIC
GAS
TELEPHONE
SANITARY MANHOLE
STORM MANHOLE
CATCH BASIN
STORM INLET
CLEANOUT
HAY BALES
RIP RAP
VALVE IN VAULT
FIRE HYDRANT
BUFFALO BOX
FLARED END SECTION
STREET LIGHT
PARKING LOT LIGHT
SUMMIT
LOW POINT
RIM/
INVERT ELEVATION

ELEVATION OF TOP OF CURB AT STRUCTURE/
INVERT ELEVATION
DITCH OR SWALE
DIRECTION OF FLOW
OVERFLOW RELIEF SWALE
1 FOOT CONTOURS
CURB AND GUTTER
DEPRESSED
CURB AND GUTTER
REVERSE CURB
AND GUTTER
SIDEWALK
ACCESSIBLE CURB RAMP
PROPERTY LINE
MAIL BOX
SIGN
TRAFFIC SIGNAL
POWER POLE
GUY WIRE
GAS VALVE
HANDHOLE
ELECTRICAL EQUIPMENT
TELEPHONE EQUIPMENT
CHAIN-LINK FENCE
SPOT ELEVATION
BRUSH/TREE LINE
DECIDUOUS TREE WITH
TRUNK DIA. IN INCHES (TBR)
CONIFEROUS TREE WITH
HEIGHT IN FEET (TBR)
SILT FENCE
RETAINING WALL

PROPOSED



PROJECT
LOCATION



LOCATION MAP
N.T.S.

NOTES:

- ON SITE WORK ON THIS PROJECT IS TO BE COMPLETED IN CONFORMANCE WITH THE EXISTING CODES AND ORDINANCES OF THE CITY OF WHEATON & DUPAGE COUNTY WHICH TAKES PRECEDENCE OVER REQUIREMENTS AS NOTED ON THESE PLANS AND SPECIFICATIONS.

ABBREVIATIONS

ADJ. ADJUST
AGG. AGGREGATE GRAVEL
B.A.M. BIT. AGG. MIXTURE
B/B BACK TO BACK
B/P BOTTOM OF PIPE
B/W BACK OF WALK
BB. BITUMINOUS CONCRETE
BT. BENCHMARK
BY OTHERS
B.O. COMMERCIAL ENTRANCE
CB CATCH BASIN
CL CENTERLINE
CLD CLOSED LID
CMP CORRUGATED METAL PIPE
CNTRL CONTROL
CONC. CONCRETE
CY CUBIC YARD
D DITCH
DIA. DIAMETER
DIP DUCTILE IRON PIPE
DIWM DUCTILE IRON WATER MAIN
DT DRAIN TILE
E ELECTRIC
E-E EDGE TO EDGE
ELEV. ELEVATION
E/P EDGE OF PAVEMENT
ES EXISTING
F.E. FIELD ENTRANCE
F-F FACE TO FACE
F/F FINISHED FLOOR
FES FLARED END SECTION

F/L FLOW LINE
FM FORCE MAIN
G GROUND
G GAS
G/F GRADE AT FOUNDATION
GW GUY WIRE
HDWL HEADWALL
HH HANDHOLE
HVL HIGH WATER LEVEL
HYD. HYDRANT
INL. INLET
INV. INVERT
IP IRON PIPE
J MAX. JUNCTION
MB MAILBOX
MH STORM MANHOLE
MIN. MINIMUM
NWL NORMAL WATER LEVEL
OLD OPEN LID
P.E. PRIVATE ENTRANCE
P.C. POINT OF CURVE
PCC POINT OF COMPOUND CURVE
PCL PROFILE GRADE LINE
PI POINT OF INTERSECTION
PL PROPERTY LINE
PP POWER POLE
PROP. PROPOSED
PT POINT OF TANGENCY
PVC POLYVINYL CHLORIDE PIPE
PVI POINT OF VERTICAL INTERSECTION
PVI POINT OF VERTICAL INTERSECTION

PVT POINT OF VERTICAL TANGENCY
P PAVEMENT
R RADIUS
R.O.W. RIGHT-OF-WAY
RCP REINFORCED CONCRETE PIPE
REM REMOVAL
RR RAILROAD
RT RIGHT
SAN SANITARY SEWER
SF SQUARE FOOT
SHLD. SHOULDER
SL STREET LIGHT
SMH SANITARY MANHOLE
ST STORM SEWER
STA. STATION
STD STANDARD
SW SIDEWALK
SY SQUARE YARDS
TBR TO BE REMOVED
T TELEPHONE
T-A TYPE A
T/C TOP OF CURB
T/F TOP OF FOUNDATION
T/P TOP OF PIPE
T/W TOP OF WALK
T/WALL TOP OF WALL
TEMP. TEMPORARY
TRANS TRANSFORMER
VB VALVE BOX
VV VALVE VAULT
WL WATER LEVEL
WM WATER MAIN

Manhard Consulting, Ltd.

Civil Engineers • Surveyors • Water Resources Engineers • Water & Wastewater Engineers
Environmental Scientists • Landscape Architects • Planners • Construction Managers
900 Woodlands Parkway • Vernon Hills, IL 60061 • 847.834.5550 • 847.834.0095 FX • www.manhard.com

INDEX OF SHEETS

SHEET NO.

DESCRIPTION

- | SHEET NO. | DESCRIPTION |
|-----------|--|
| C1. | TITLE SHEET |
| C2. | EXISTING TOPOGRAPHY |
| C3. | DEMOLITION PLAN |
| C4. | SITE DIMENSIONAL AND PAVING PLAN |
| C5. | GRADING PLAN |
| C6. | UTILITY PLAN |
| C7. | SANITARY SEWER PLAN AND PROFILE |
| C8. | STORMWATER POLLUTION PREVENTION PLAN |
| C9. | STORMWATER POLLUTION PREVENTION PLAN DETAILS |
| C10. | CONSTRUCTION DETAILS |
| C11. | CONSTRUCTION DETAILS |
| C12. | SPECIFICATIONS |

- GENERAL NOTES:
- ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB OR BUILDING FOUNDATION UNLESS NOTED OTHERWISE.
 - ALL PROPOSED CURB AND GUTTER SHALL BE B6.12. UNLESS OTHERWISE NOTED.
 - ALL RADII ARE MEASURED TO FACE OF CURB UNLESS NOTED OTHERWISE.
 - ALL CURB RADII SHALL BE 3' MEASURED TO FACE OF CURB UNLESS NOTED OTHERWISE.
 - BUILDING DIMENSIONS AND ADJACENT PARKING AND UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 - EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS AS PREPARED BY MANHARD CONSULTING LTD ON 09-09-05. CONTRACTOR SHALL FIELD CHECK EXISTING ELEVATIONS AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.
 - THE CONTRACTOR SHALL CONTACT J.U.L.I.E. (1-800-892-0123) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
 - ROUTING OF GAS, ELECTRIC AND TELEPHONE SERVICES IF SHOWN ARE APPROXIMATE ONLY AND SUBJECT TO CHANGE BASED UPON FINAL REVIEW AND APPROVAL BY RESPECTIVE UTILITY COMPANIES AND OWNER. CONTRACTOR SHALL CONTACT EACH UTILITY COMPANY AND COORDINATE FINAL LOCATIONS FOR ALL UTILITY SERVICES PRIOR TO START OF CONSTRUCTION.
 - CONTRACTOR SHALL EXCAVATE AND VERIFY ALL EXISTING SEWER OR WATER MAIN LOCATIONS, SIZES, CONDITIONS & ELEVATIONS AT PROPOSED POINTS OF CONNECTION PRIOR TO ANY UNDERGROUND CONSTRUCTION AND NOTIFY THE OWNER OF ANY DISCREPANCIES OR CONFLICTS.
 - IMPROVEMENTS ADJACENT TO BUILDING IF SHOWN SUCH AS TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBING, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS, AND TRANSFORMERS ETC. HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS, AND DETAILS.
 - LIGHTING AND UNDERGROUND CABLE IF SHOWN ON PLANS ARE FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR SPECIFICATIONS AND DETAILS.
 - THE CONTRACTOR SHALL ADJUST RIM ELEVATIONS OF ALL EXISTING STRUCTURES TO PROPOSED GRADES AS INDICATED ON PLANS.
 - CONTRACTOR TO VERIFY LOCATION, SIZES, AND ELEVATION OF ALL BUILDING SERVICE LOCATIONS WITH ARCHITECTURAL PLANS.

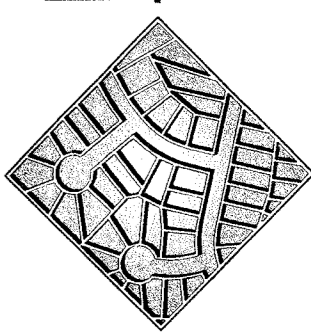
UTILITY CONTACTS		
MUNICIPALITY CITY OF WHEATON WHEATON CITY HALL 303 WEST WESLEY STREET P.O. BOX 727 WHEATON, IL 60189	SANITARY & STORM SEWER CITY OF WHEATON PUBLIC WORKS BUILDING 821 WEST LIBERTY DRIVE WHEATON, IL 60187 (630) 260-2107 CONTACT: MIKE JANKOVIC	WATER CITY OF WHEATON PUBLIC WORKS BUILDING 821 WEST LIBERTY DRIVE WHEATON, IL 60187 (630) 260-2092 CONTACT: AL McMILLEN
CITY ENGINEER WHEATON CITY HALL 3-3 WEST WESLEY STREET P.O. BOX 727 WHEATON, IL 60187 (630) 260-2065 CONTACT: PAUL REDMAN	GAS: NICOR 90 N FINLEY RD GLEN ELLYN, IL 60137 (630) 896-1884 X 218 CONTACT: RYAN BINKS	TELEPHONE: SBC 40 S MITCHELL COURT FLOOR 1 ADDISON, IL 60101 (630) 620-3463 CONTACT: TOM QUATTROCCI
ACCESS DRIVES DUPAGE COUNTY D.O.T. 421 N. COUNTY FARM ROAD WHEATON, IL 60187 (630) 682-7318 CONTACT: ROBERT KOLAR	ELECTRIC COMED (630) 437-2236 (PH) (630) 437-2354 (FX) CONTACT: TOM STUTZMAN	

CALL 48 hours before you dig
(Excluding Sat., Sun. & Holidays)
1-800-892-0123

ARCHITECT
HOWARD HIRSCH ASSOCIATES
225 N. HUBBARD ST. 4TH FLOOR
CHICAGO, ILLINOIS 60610
312-836-0011

DEVELOPER
CENTRUM PROPERTIES
225 N. HUBBARD ST. 4TH FLOOR
CHICAGO, ILLINOIS 60610
312-832-2500

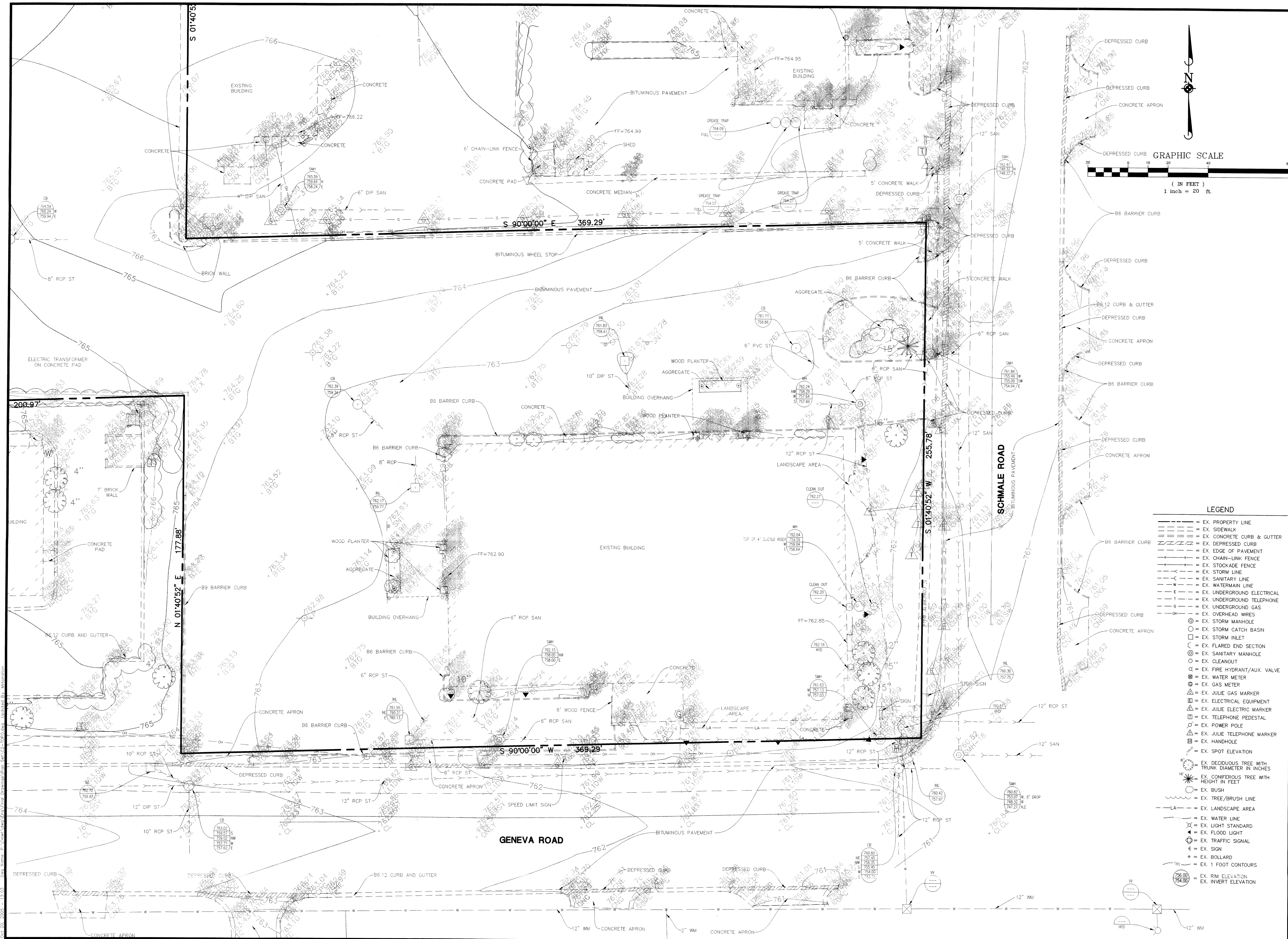
Manhard Consulting, Ltd.



PROPOSED RETAIL DEVELOPMENT
WHEATON, ILLINOIS
TITLE SHEET

PROJ. NO.: 11-17-05
PROJ. ASSOC.: J.W.
DRAWN BY: A.K.
CHECKED BY: J.L.
DATE: 11-17-05
SCALE: N.T.S.
SHEET
C1 OF **C12**
CEWT 6484

PENDING APPROVAL - NOT FOR CONSTRUCTION



DATE: _____

REVISIONS: _____

CHECKED BY: _____

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PROPOSED RETAIL DEVELOPMENT

WHEATON, ILLINOIS

EXISTING TOPOGRAPHY

PROJ. NO.: _____

PROJ. ASSOC.: _____

DESIGNER: _____

CHECKED BY: _____

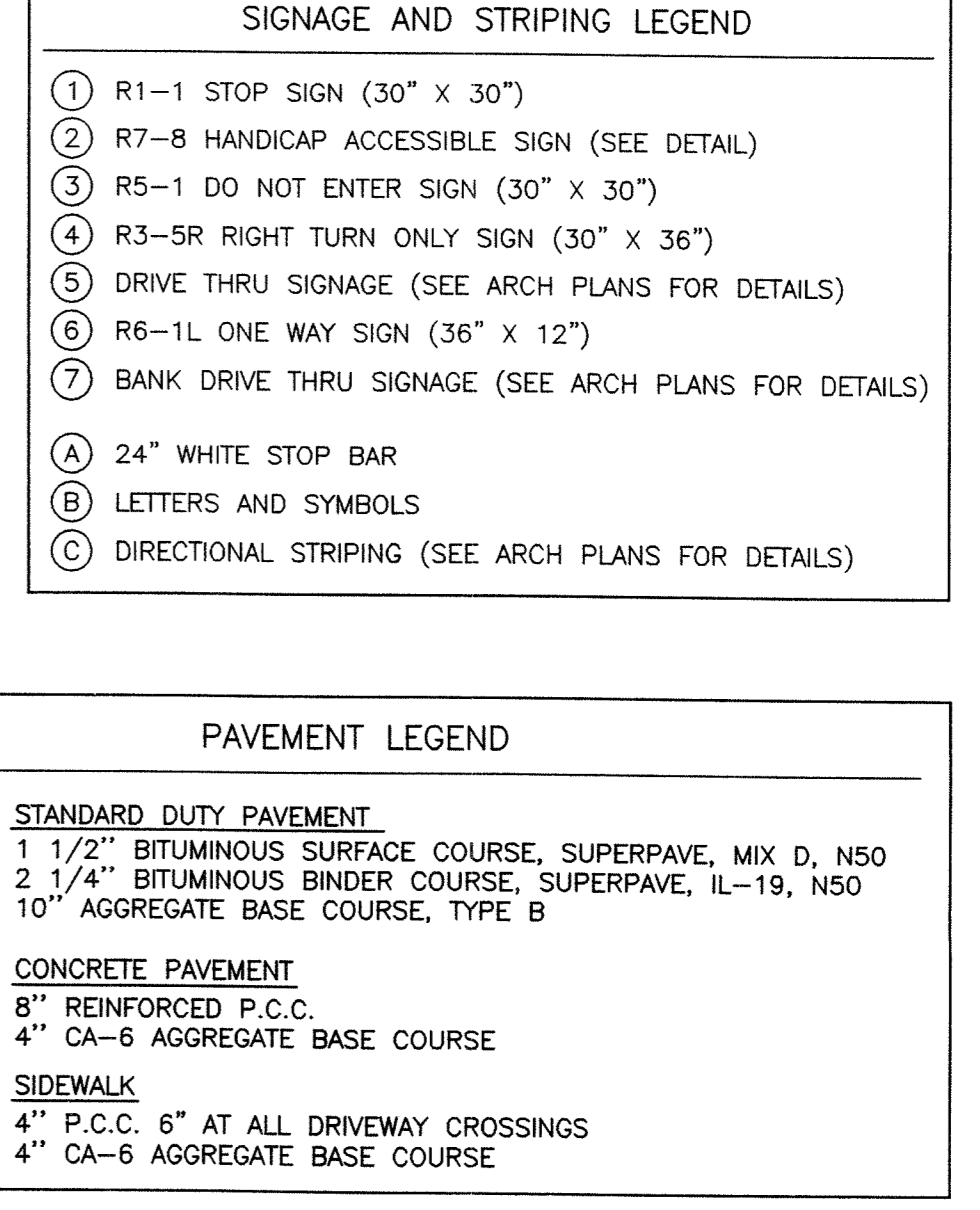
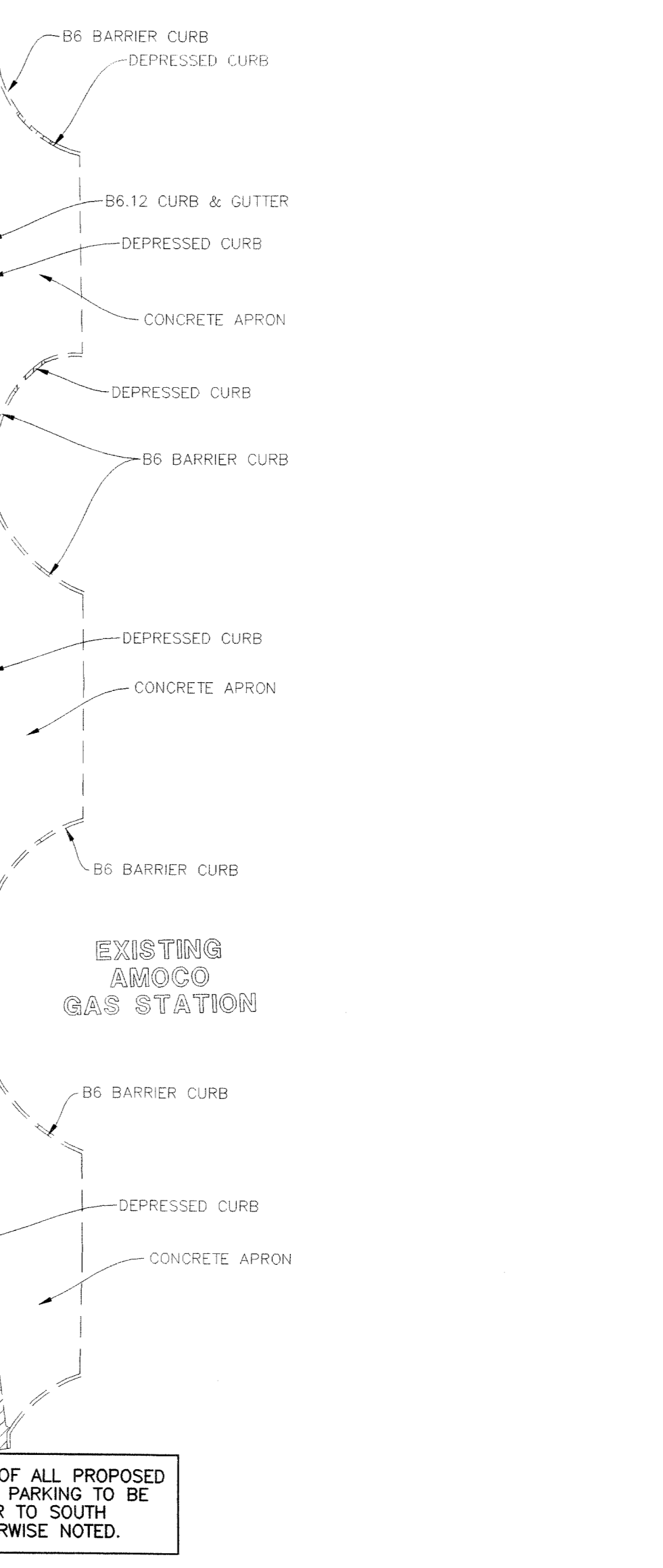
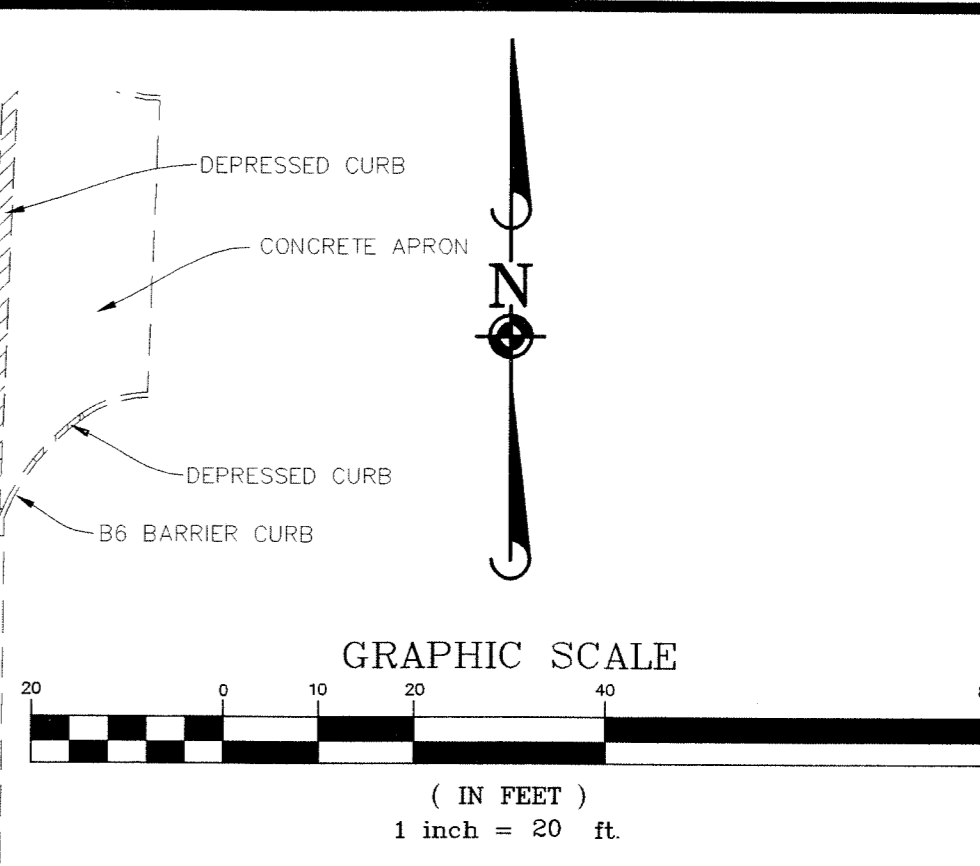
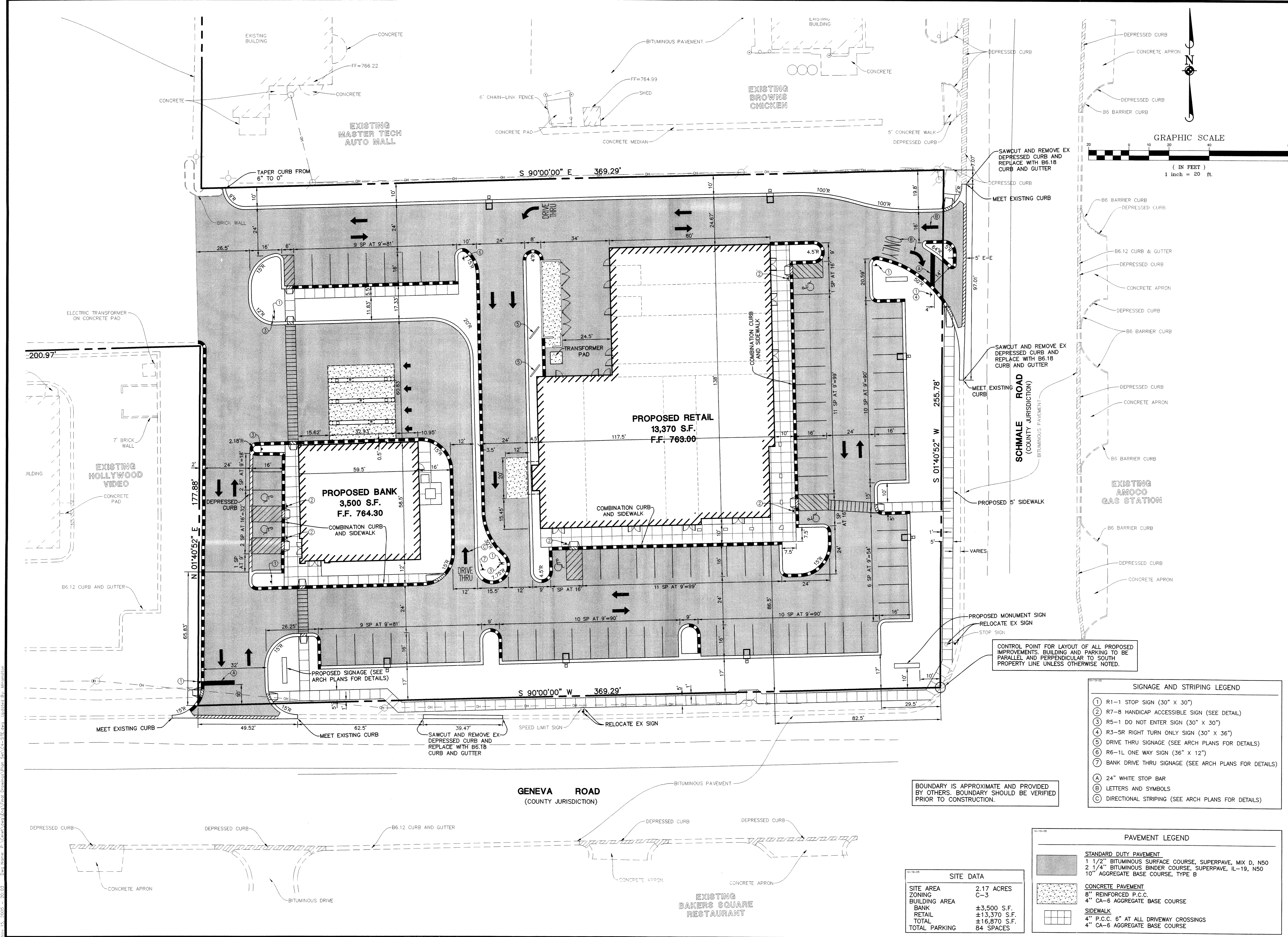
DATE: 11-17-05

SCALE: 1"=20'

SHEET

C2 OF C12

CEWT 6454



SITE DATA	
SITE AREA	2.17 ACRES
ZONING	C-3
BUILDING AREA	
BANK	±3,500 S.F.
RETAIL	±13,370 S.F.
TOTAL	±16,870 S.F.
TOTAL PARKING	84 SPACES

BOUNDARY IS APPROXIMATE AND PROVIDED BY OTHERS. BOUNDARY SHOULD BE VERIFIED PRIOR TO CONSTRUCTION.

CONTROL POINT FOR LAYOUT OF ALL PROPOSED IMPROVEMENTS. BUILDING AND PARKING TO BE PARALLEL AND PERPENDICULAR TO SOUTH PROPERTY LINE UNLESS OTHERWISE NOTED.

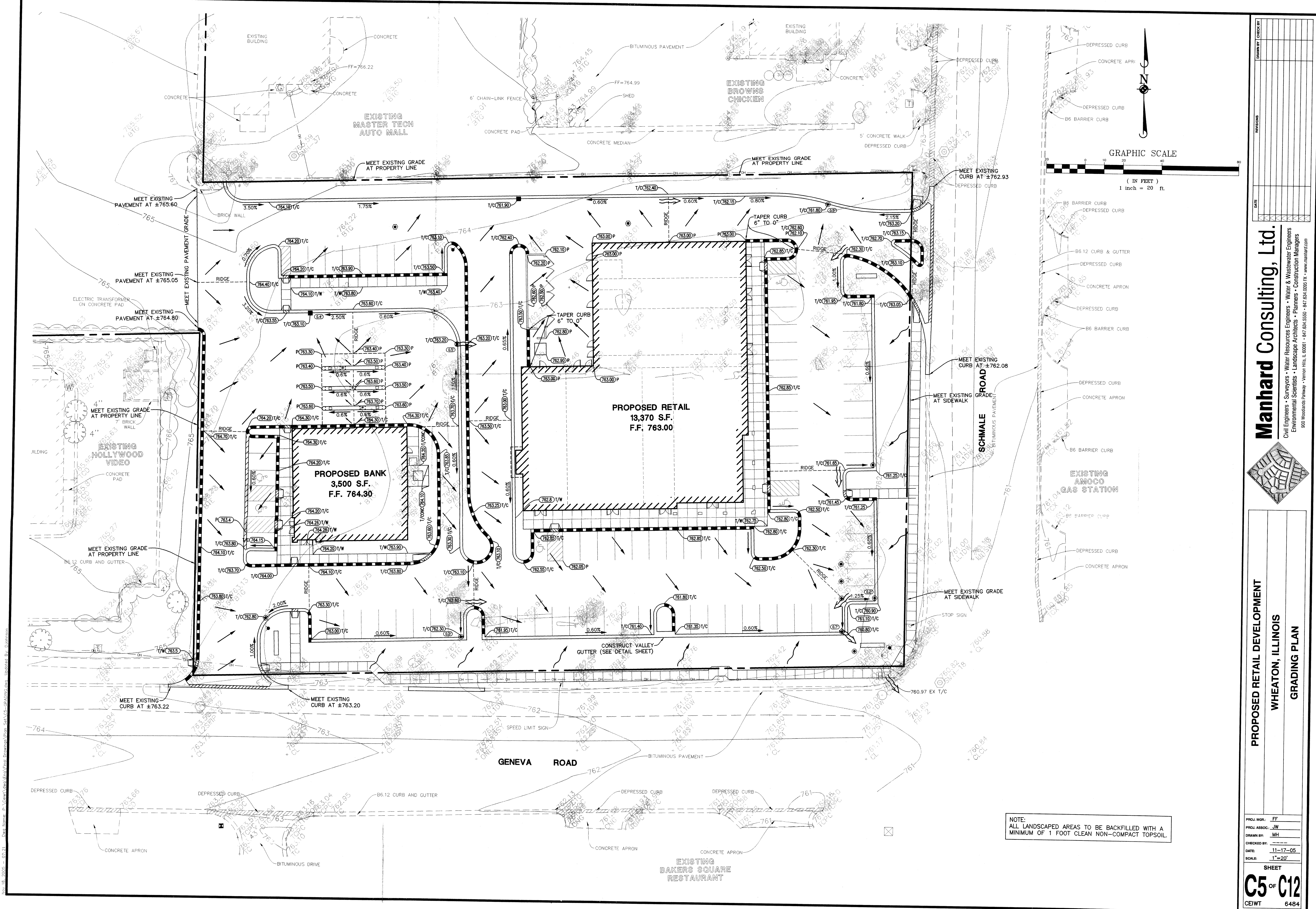
PROPOSED RETAIL DEVELOPMENT
WHEATON, ILLINOIS
SITE DIMENSIONAL AND PAVING PLAN

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PROJ. NO. 17-05
PROJ. ASSOC. JWH
DRAWN BY: JWH
CHECKED BY: JWH
DATE: 11-17-05
SCALE: 1"=20'

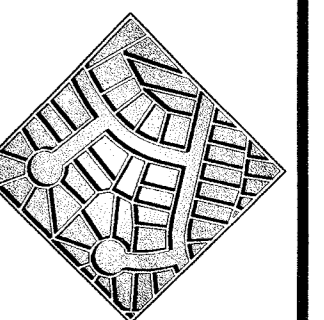
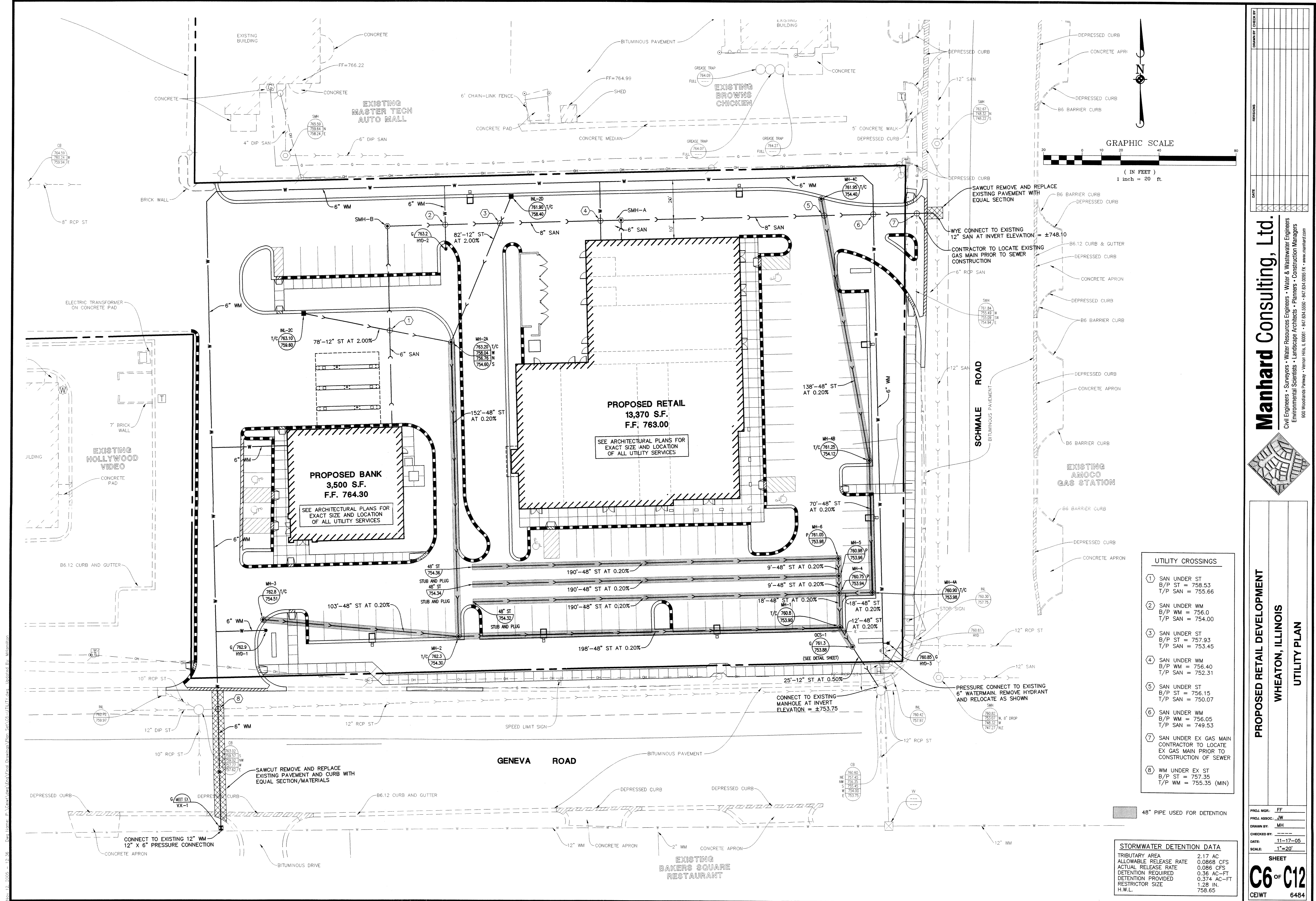
SHEET
C4 OF C12
CEWT 6484



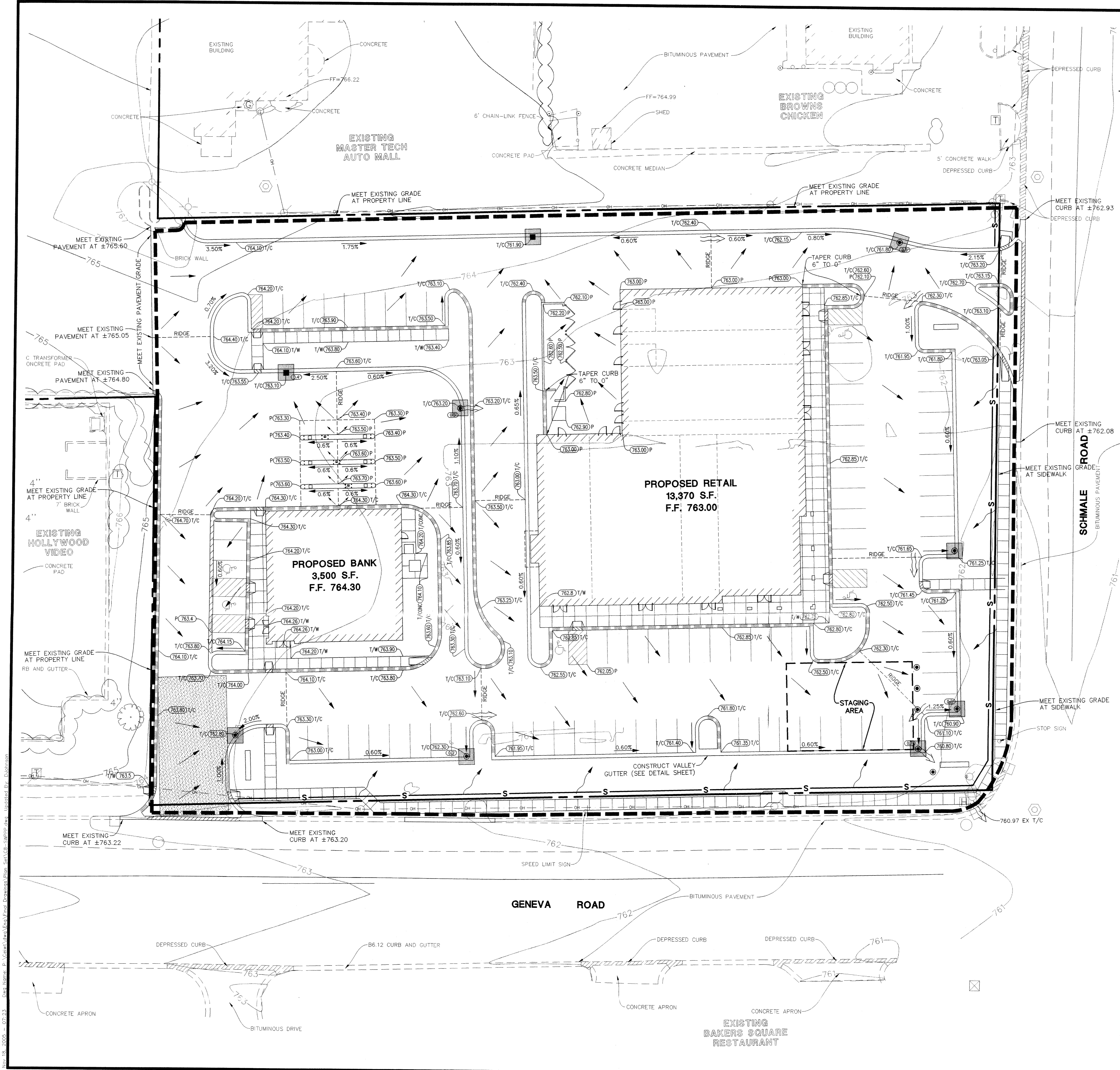
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PROPOSED RETAIL DEVELOPMENT
WHEATON, ILLINOIS
GRADING PLAN

PROJ. MGR.: FF
PROJ. ASSOC.: JH
DRAWN BY: MH
CHECKED BY: JH
DATE: 11-17-05
SCALE: 1"=20'
SHEET
C5 OF C12
CEIWT 6484



15-0005 - 07-23 Date: 15-0005 - 07-23 File Name: P:\Cadd\Map\City\Prop\StormwaterPlan_Schale\SWP1.dwg User: drc User: drc



GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.

Proposed Retail Building
Wharton, Illinois
Stormwater Pollution Prevention Plan
Construction Site Activities
Permitted Under
National Pollution Discharge Elimination System

I. Site Description

A. The site consists of 3 existing buildings and the associated parking. The site is to be developed into a bank and retail building with associated parking.

B. The site construction activities will consist of excavation for underground detention, site earthwork, sewer installation, paving, and landscaping.

C. The project will include 2.17-acres to be developed into a retail development with a bank, retail building, associated parking and underground detention.

D. The Erosion Control Plan depicts soil erosion control features and methods to be used during and after construction and until final site of the individual lots or stabilization of the site with vegetative cover. This plan should be used in conjunction with the approved Grading and Drainage Plan which gives more specific grading information for construction of storm sewers and stormwater management facilities.

E. All surface drainage for this site is ultimately to be discharged to the stormwater management facility constructed as part of this project.

II. Proposed Controls

A. Prior to start of any construction activities, the earthwork contractor (or Owner's representative) shall erect of perimeter silt fence in accordance with the standard details and shall maintain the silt fence until completion of all grading operations.

B. Upon construction of each inlet, catch basin, manhole or outlet contained in the storm sewer system, each structure specified shall be protected by the underground contractor with a filter fabric sediment trap to remain in place until final stabilization of the site or until the next construction operation.

C. Upon completion of all utility and pavement construction, the Owner shall elect to stabilize all disturbed areas with topsoil and temporary seeding or continue the maintenance of the erosion control features until completion of the site.

D. The contractors shall be responsible on a daily basis to clean the mud or debris deposited on the adjacent streets as a result of their construction operations.

III. Maintenance

The excavating and underground contractor shall be responsible for the initial construction of the erosion control measures shown in the plan, and shall be responsible for the maintenance of said facilities until the completion of his final grading operations after construction of those improvements in his contract. The contractor shall request in writing a release from the Owner for maintenance of the site upon completion of this work. The Owner shall issue said release within 15 days of the contractor's request, providing the contractor has completed all work required under the contract. The contractor's erosion control maintenance responsibilities shall be exclusive of the construction warranty and/or guarantee period.

IV. Inspections by Owner

Qualified personnel (provided by the permittee) shall inspect disturbed areas of the construction site that have not been fully stabilized, structural control measures, and locations where vehicles enter or exit the site at least once every seven (7) calendar days and within 24 hours of the end of a storm that is 0.5 inch or greater or equivalent snowfall.

A. Disturbed areas and areas used for storage of materials that are exposed to precipitation shall be inspected for evidence of, or the potential for, pollutants entering the drainage system. Erosion and sediment control measures identified in the plan shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving waters. Locations where vehicles enter or exit the site shall be inspected for evidence of off-site sediment tracking.

B. Based on the results of the inspection, the description of potential pollutant sources identified in the plan and pollution prevention measures identified in the plan shall be revised as appropriate as soon as practicable after such inspection. Such modifications shall provide for timely implementation of any changes to the plan within seven (7) calendar days following the inspection.

C. A report summarizing the scope of the inspection, name(s) and qualifications of personnel making the inspection, the date(s) of the inspection, major observations relating to the implementation of the Stormwater Pollution Prevention Plan, and actions taken shall be made and retained as part of the Stormwater Pollution Prevention Plan for at least three (3) years after the date of inspection.

D. The permittee shall complete and submit within five days an incidence of Non-Compliance (INCP) report for any violation of the Stormwater Pollution Prevention Plan observed during an inspection conducted, including those not required by the plan. Submission shall be on forms provided by the Agency and shall include specific information on the cause of non-compliance, actions which were taken to prevent any further causes of non-compliance, and a statement detailing any environmental impact which may have resulted from the non-compliance.

V. Contractors

A. The Stormwater Pollution Prevention Plan must clearly identify for each measure identified in the plan, the contractor(s) or subcontractor(s) that will implement the measure. All contractors and subcontractors identified in the plan must sign a Pollution Prevention Plan except for Owners that are acting as contractor.

B. Certification Statements. All contractors and subcontractors identified in a Stormwater Pollution Prevention Plan shall sign a copy of the following Certification Statement before conducting any service at the site identified in the Stormwater Pollution Prevention Plan:

I certify under penalty of law that I understand the terms and conditions of the general National Pollutant Discharge Elimination System (NPDES) permit (LRI00000) that authorizes the stormwater discharges associated with industrial activity from the construction site identified as part of this certification.

The certification must include the name and title of the person providing the signature; the name, address, and telephone number of the contracting firm; the address (or other identifying description) of the site; and the date the certification is made.

Proposed Retail Building
Wharton, Illinois
Stormwater Pollution Prevention Plan

Certification Statement. All contractors and subcontractors identified in a Stormwater Pollution Prevention Plan shall sign a copy of the following Certification Statement before conducting any service at the site identified in the Stormwater Pollution Prevention Plan:

I certify under penalty of law that I understand the terms and conditions of the general National Pollutant Discharge Elimination System (NPDES) permit (LRI00000) that authorizes the stormwater discharges associated with industrial activity from the construction site identified as part of this certification.

Name _____ Signature _____
Title _____ Date _____
Address _____ Telephone _____

LEGEND

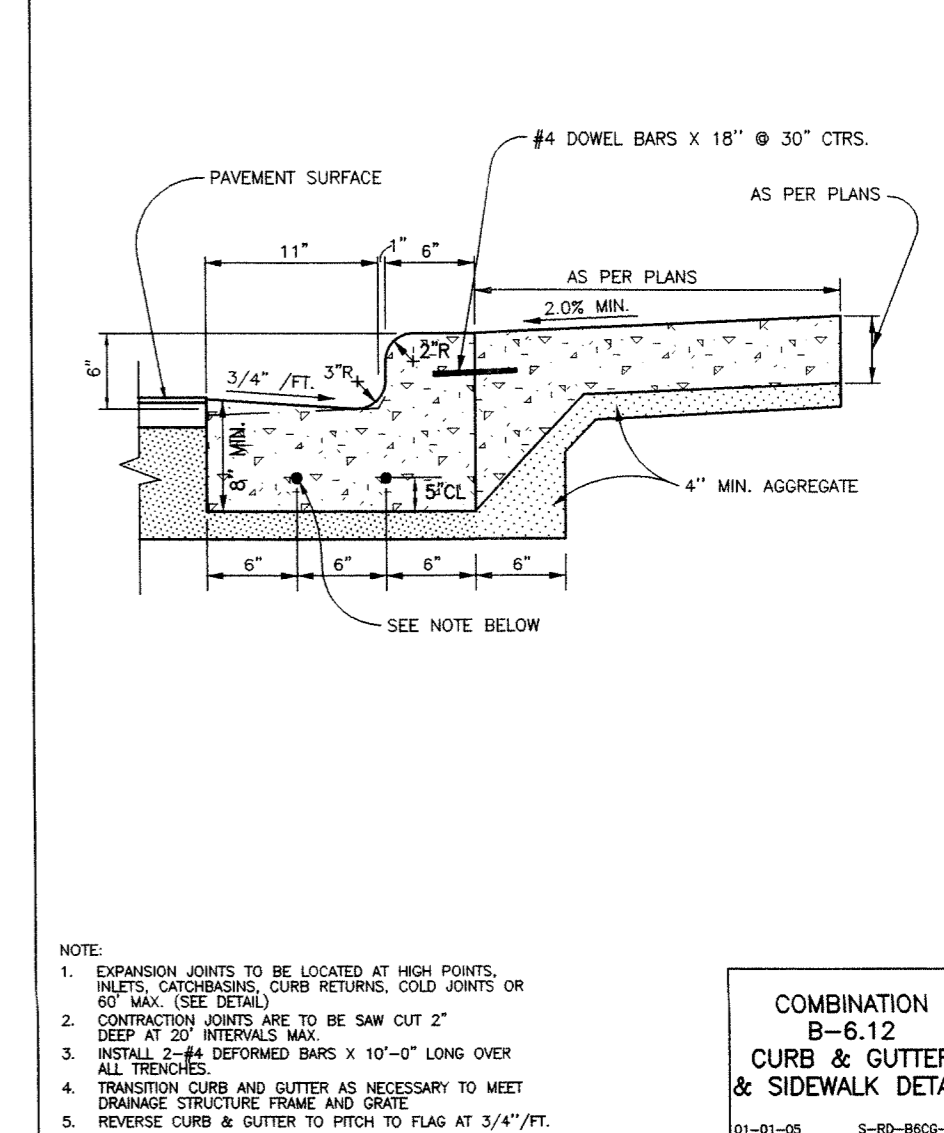
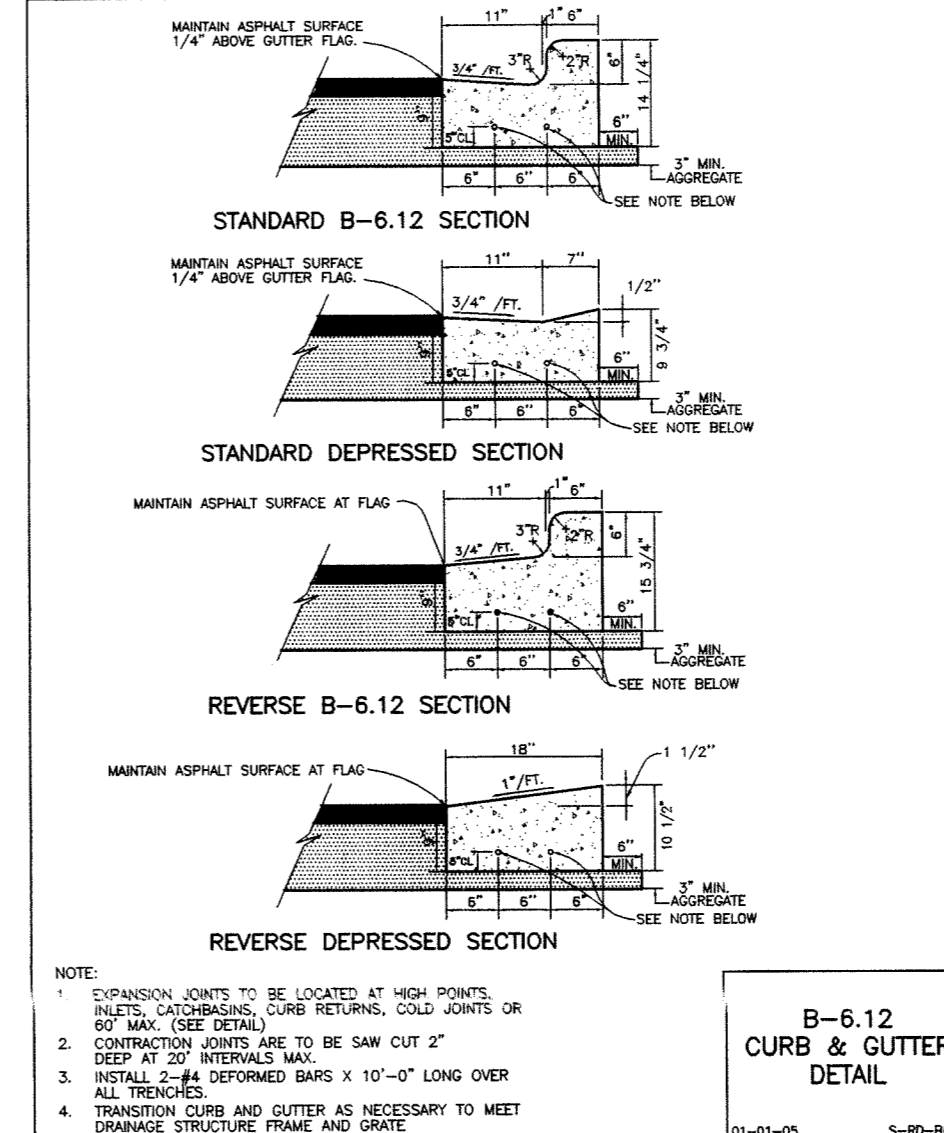
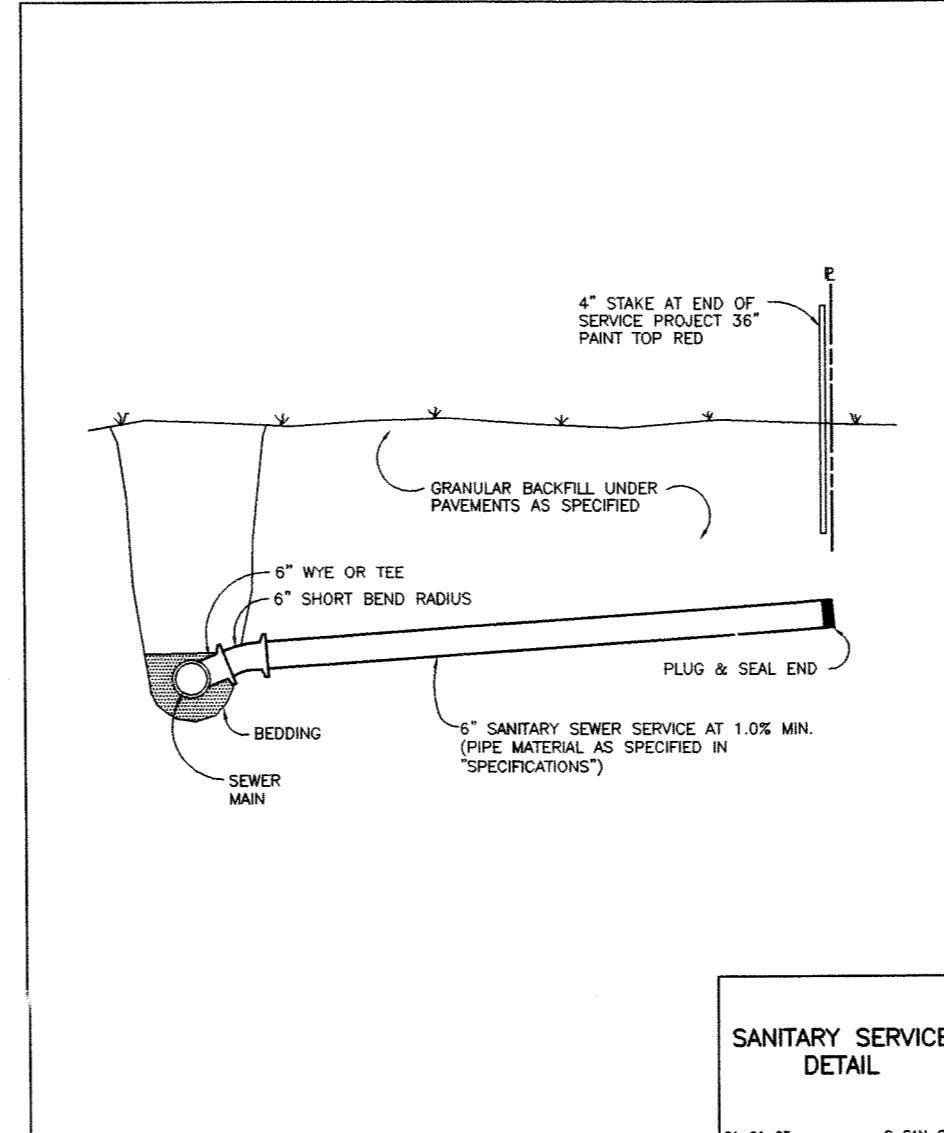
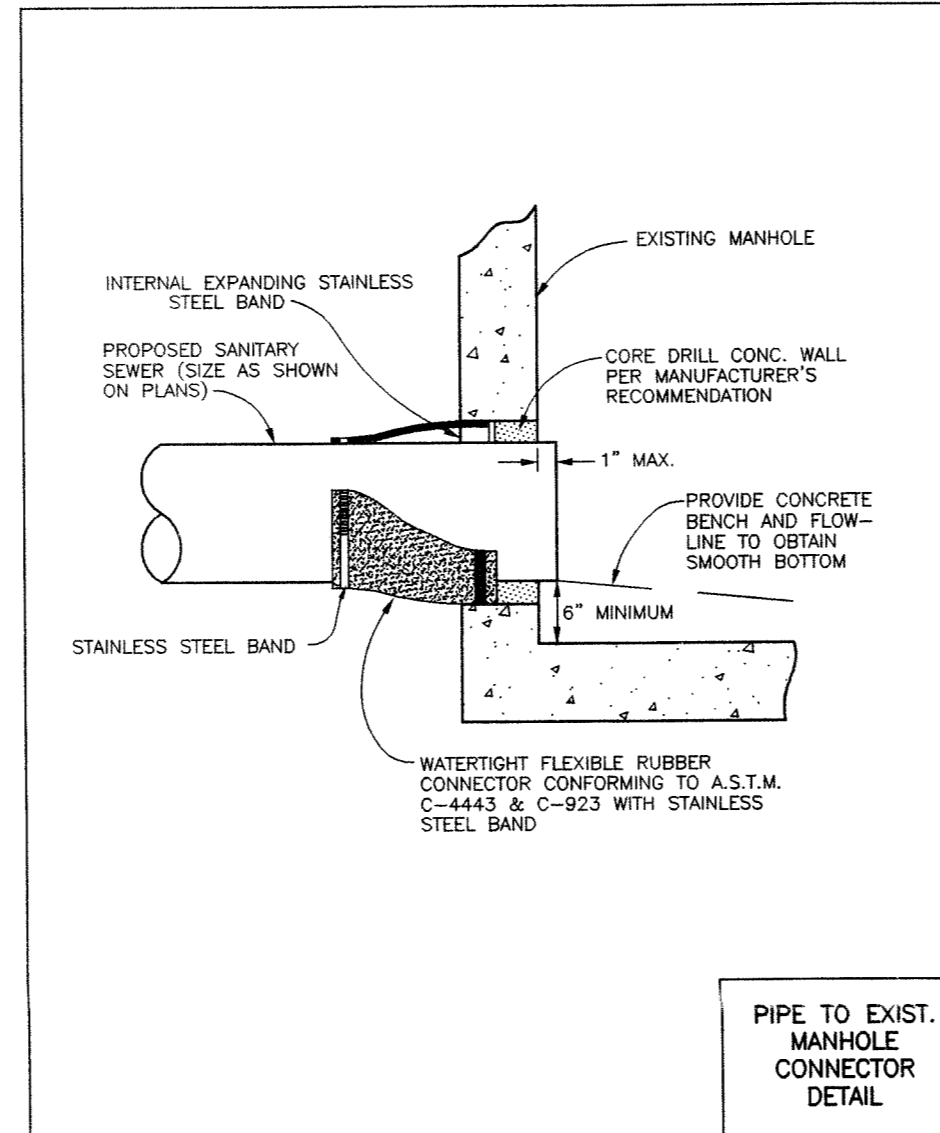
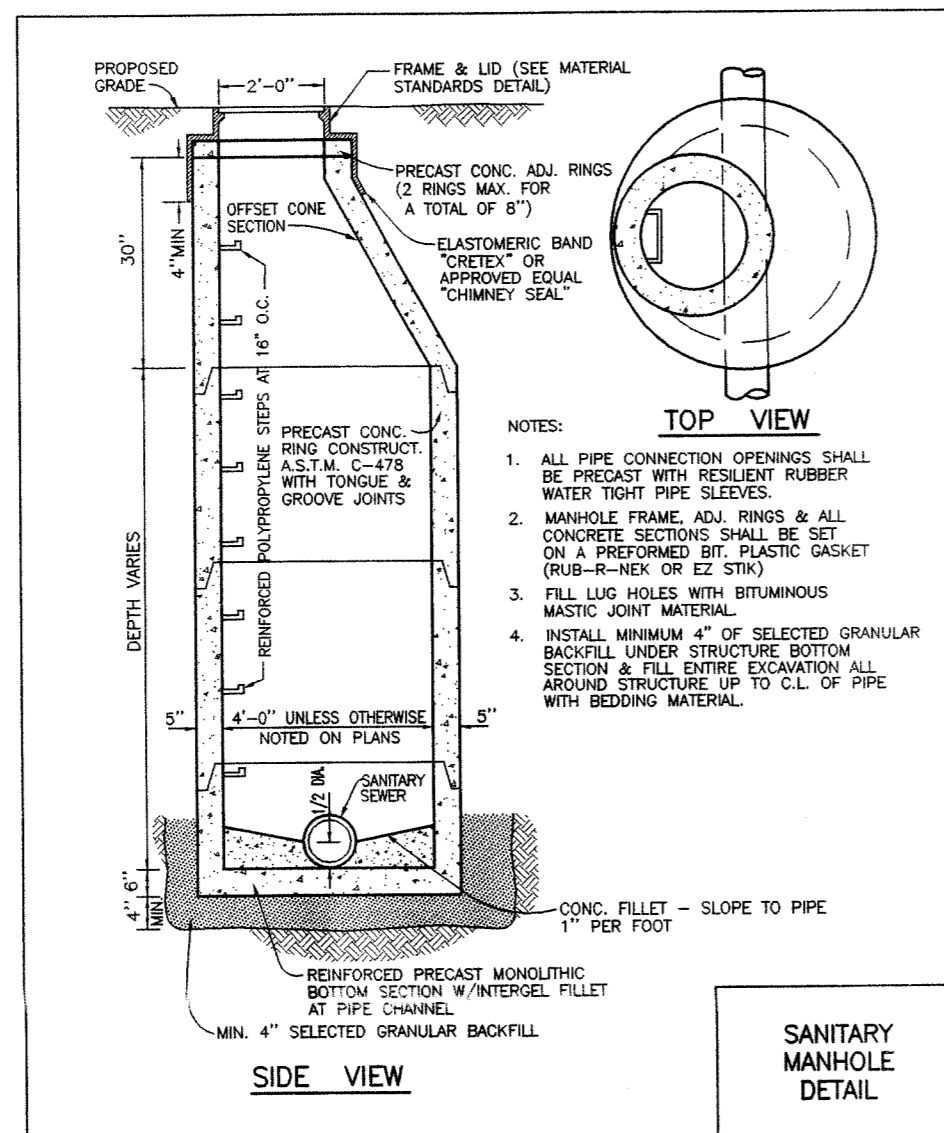
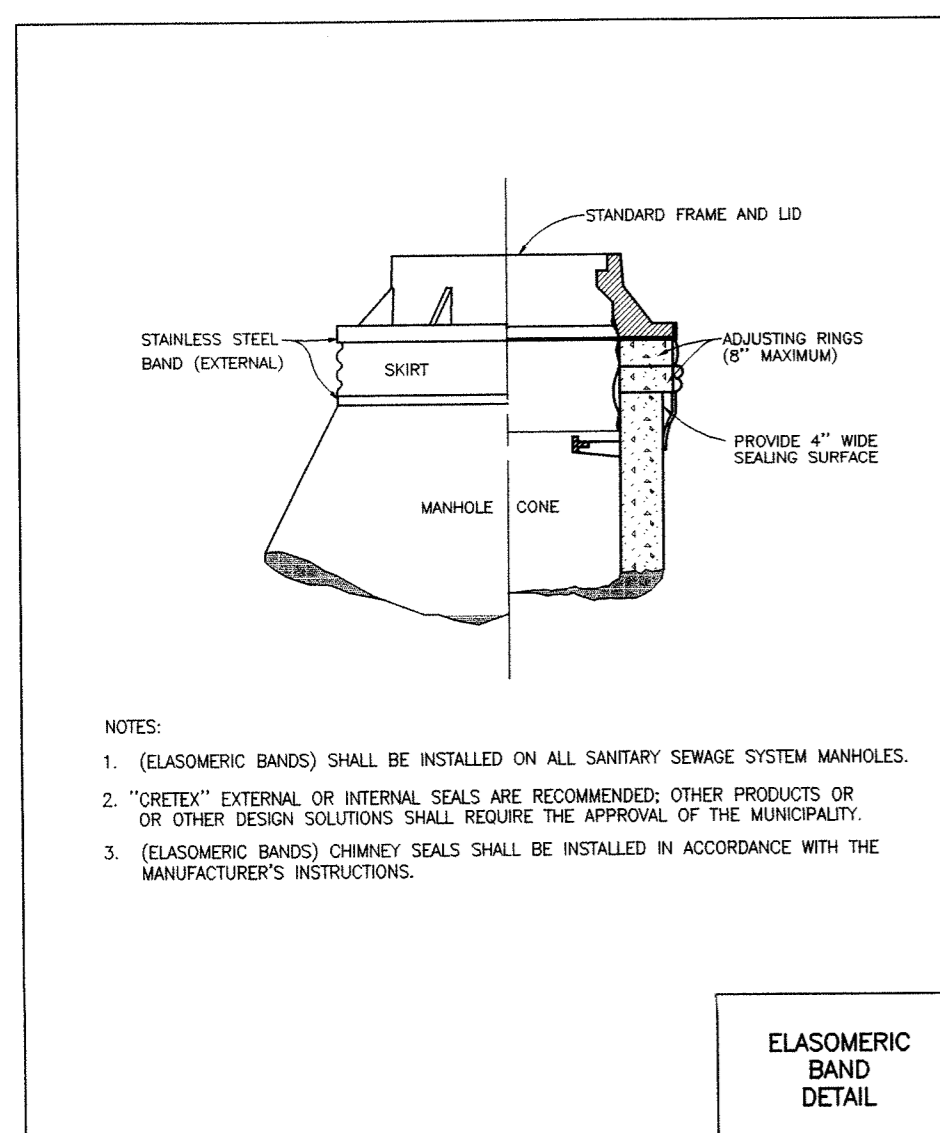
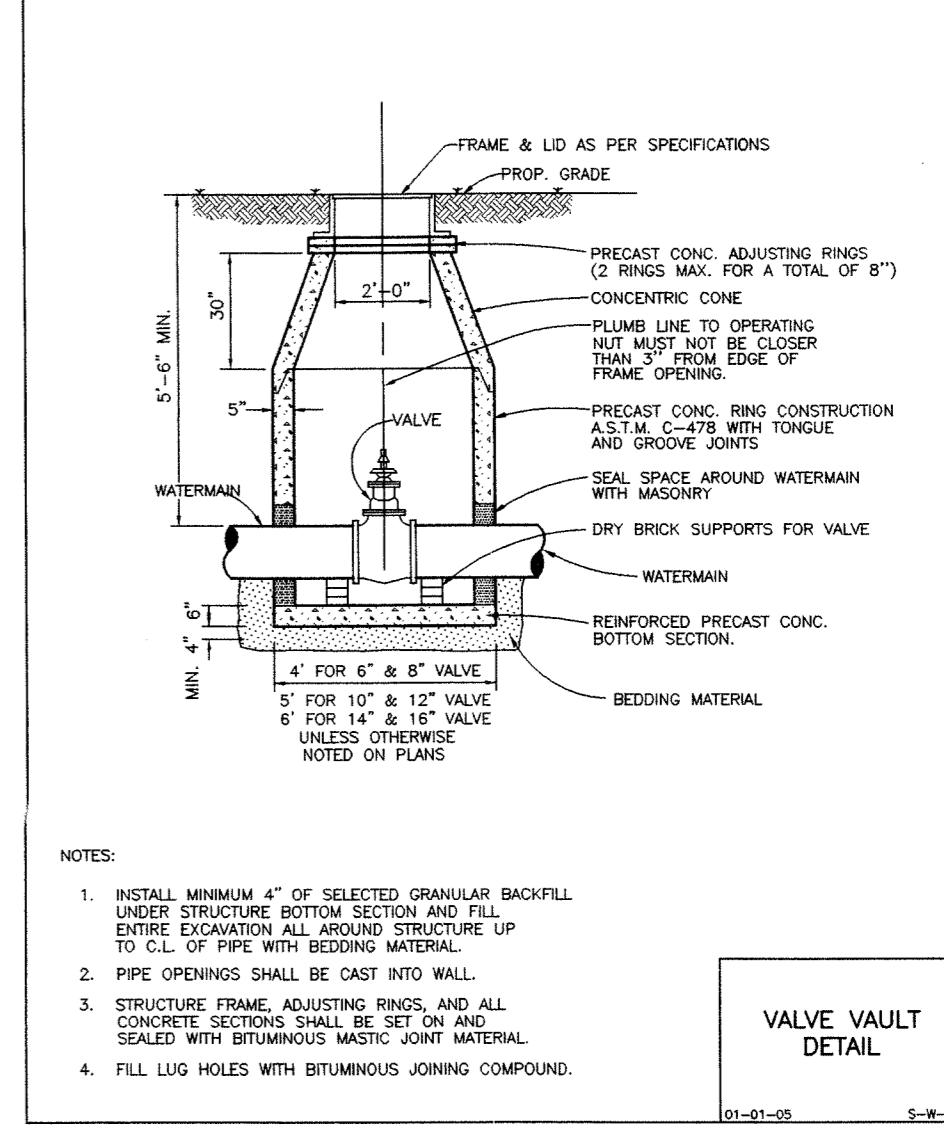
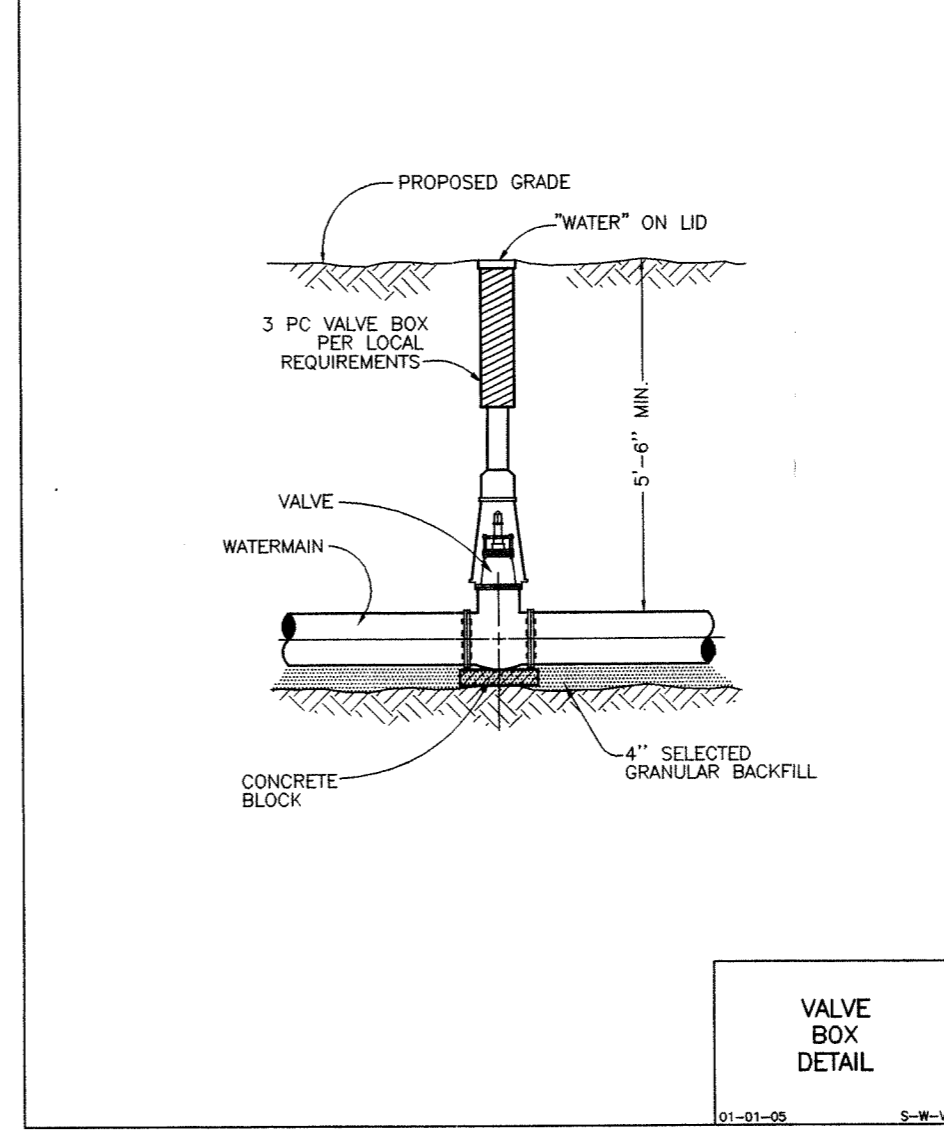
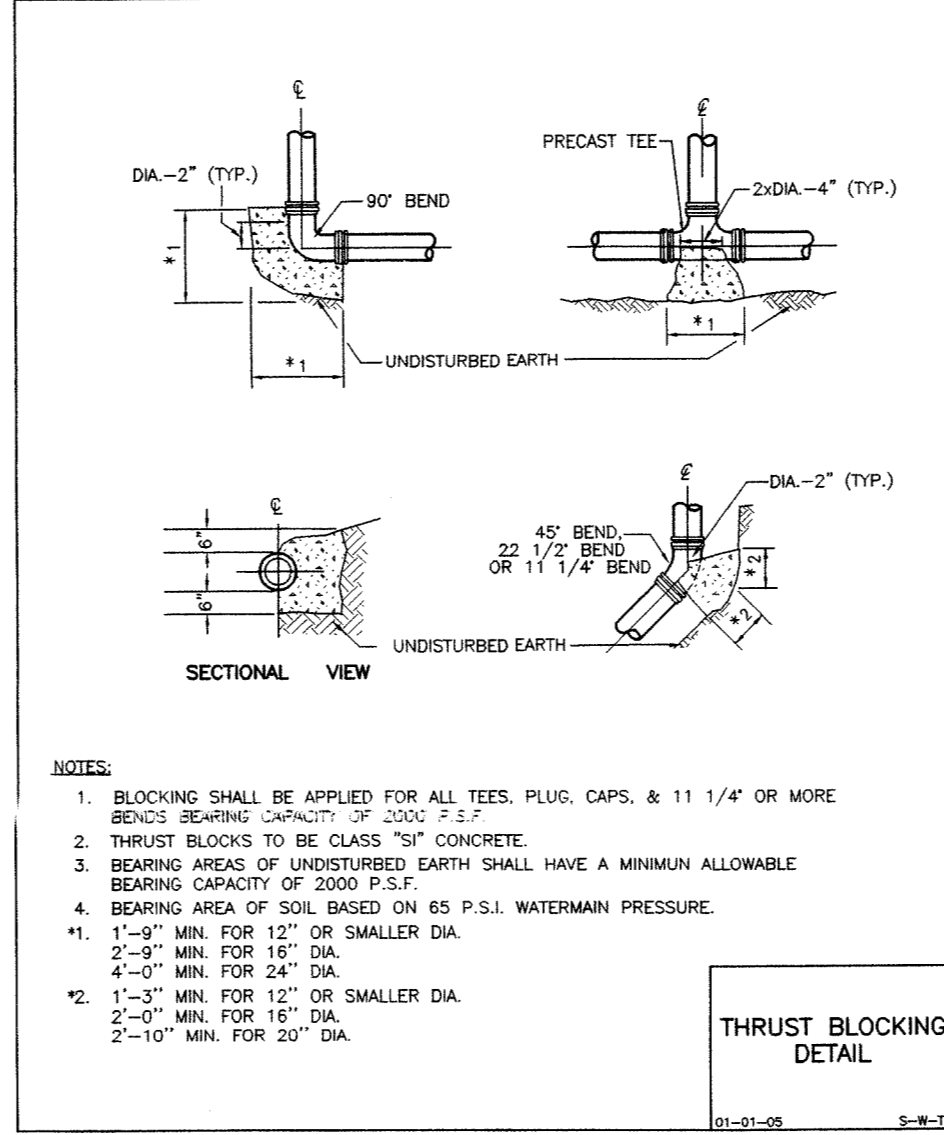
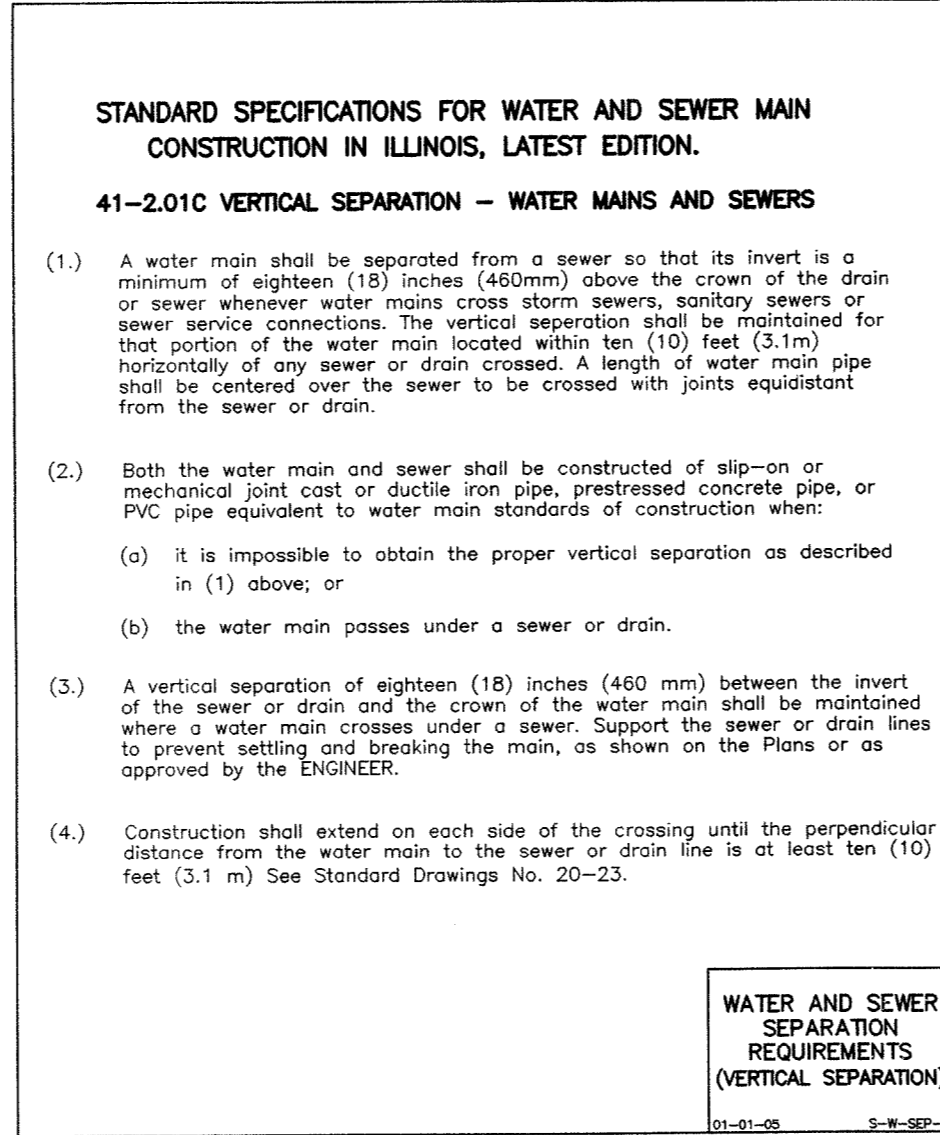
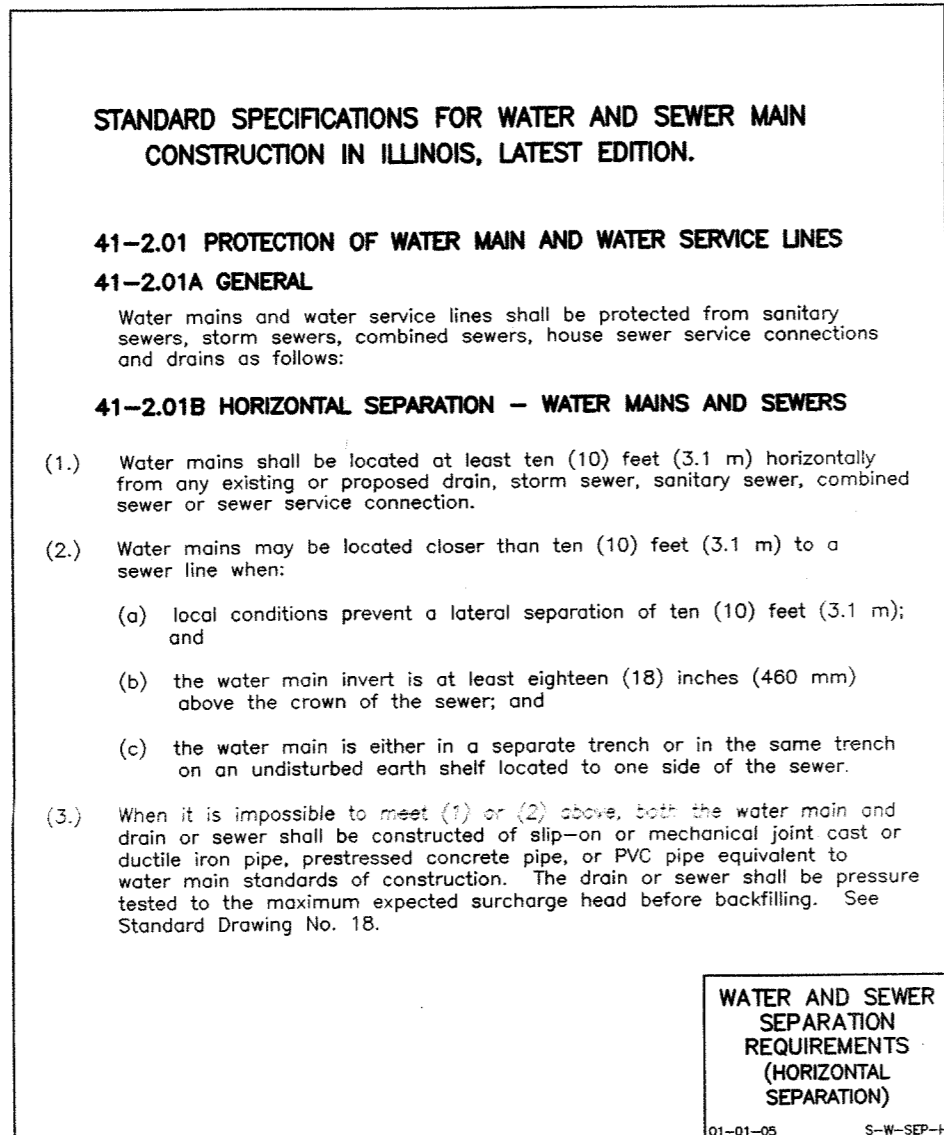
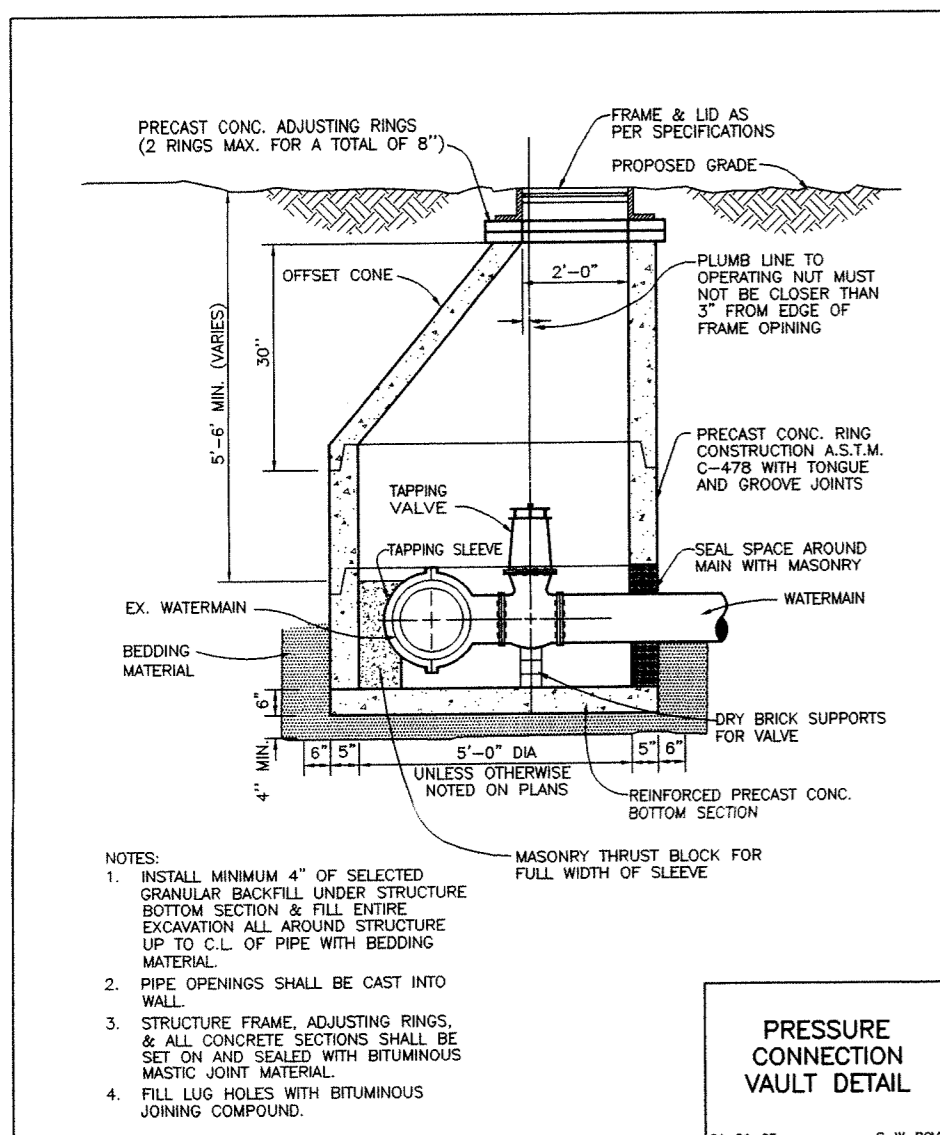
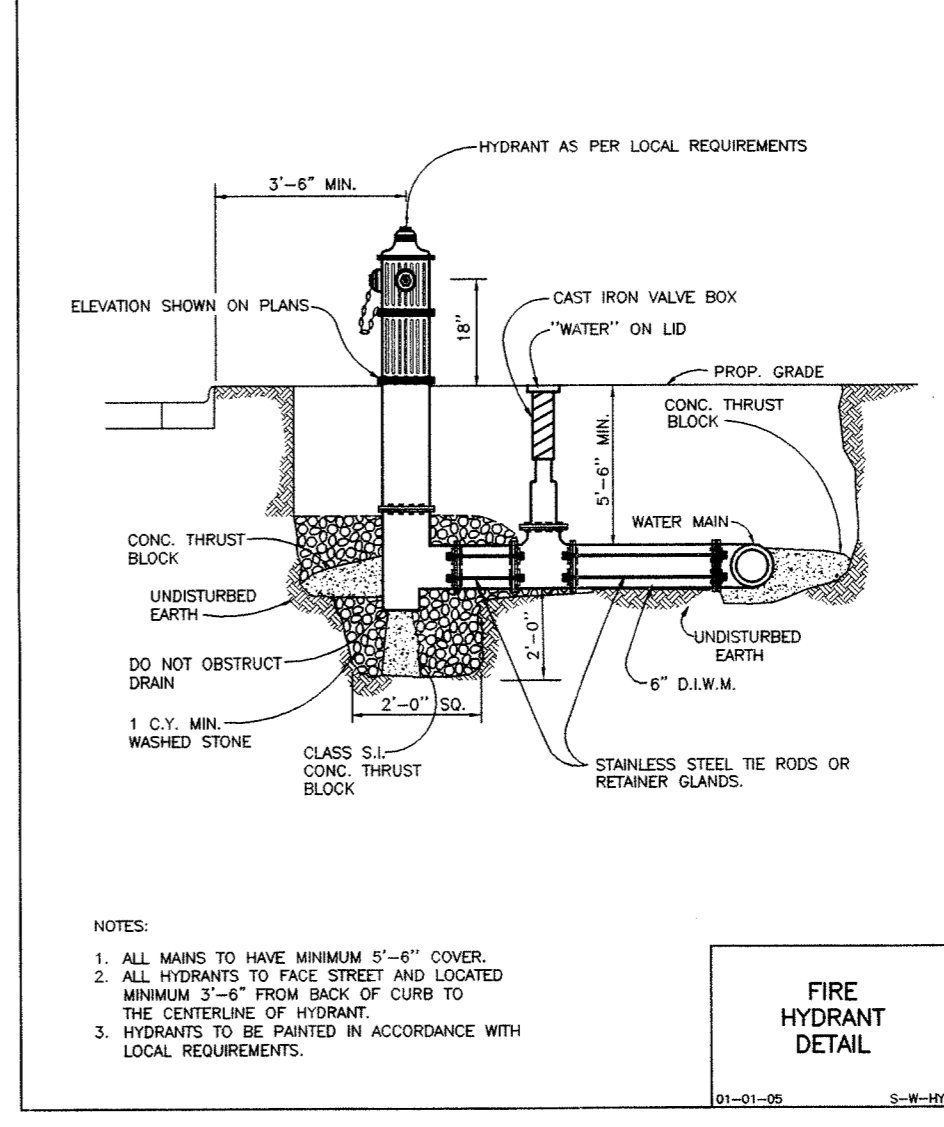
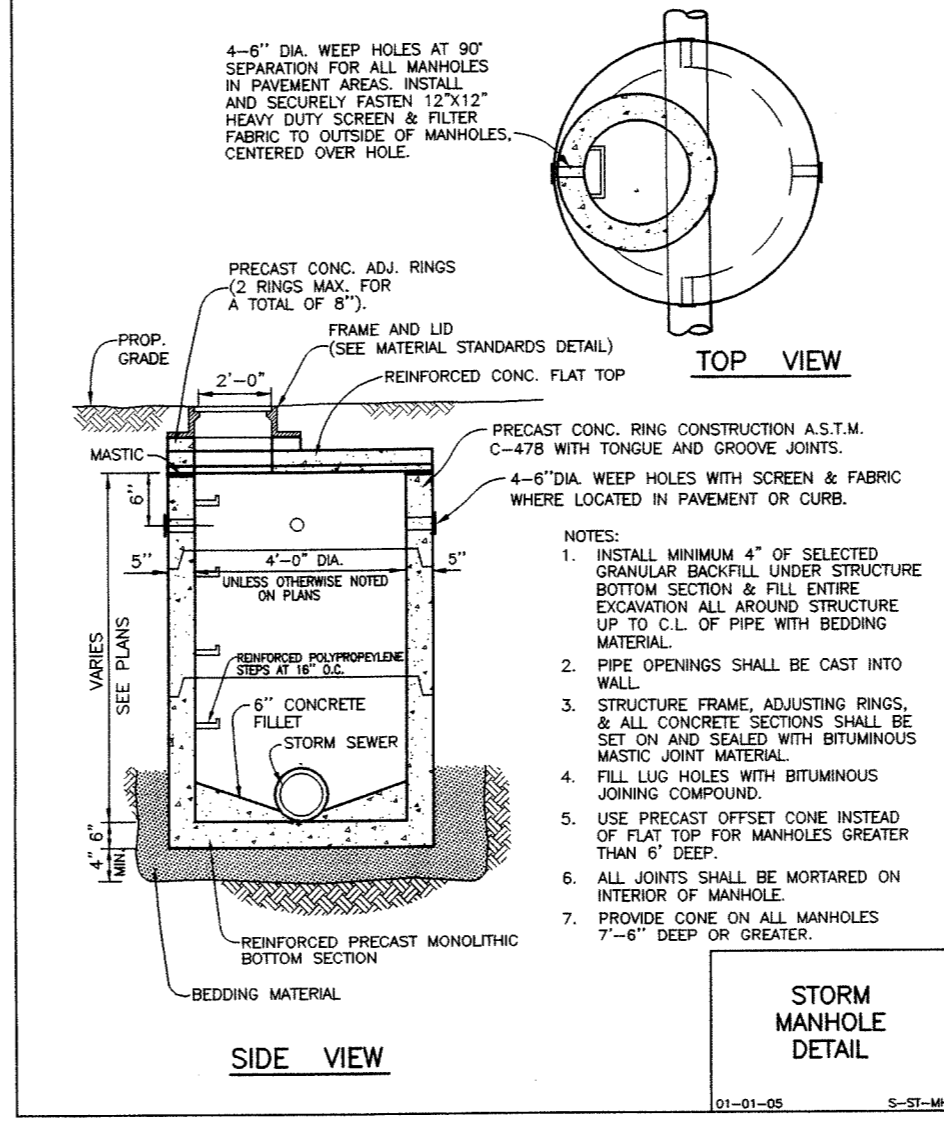
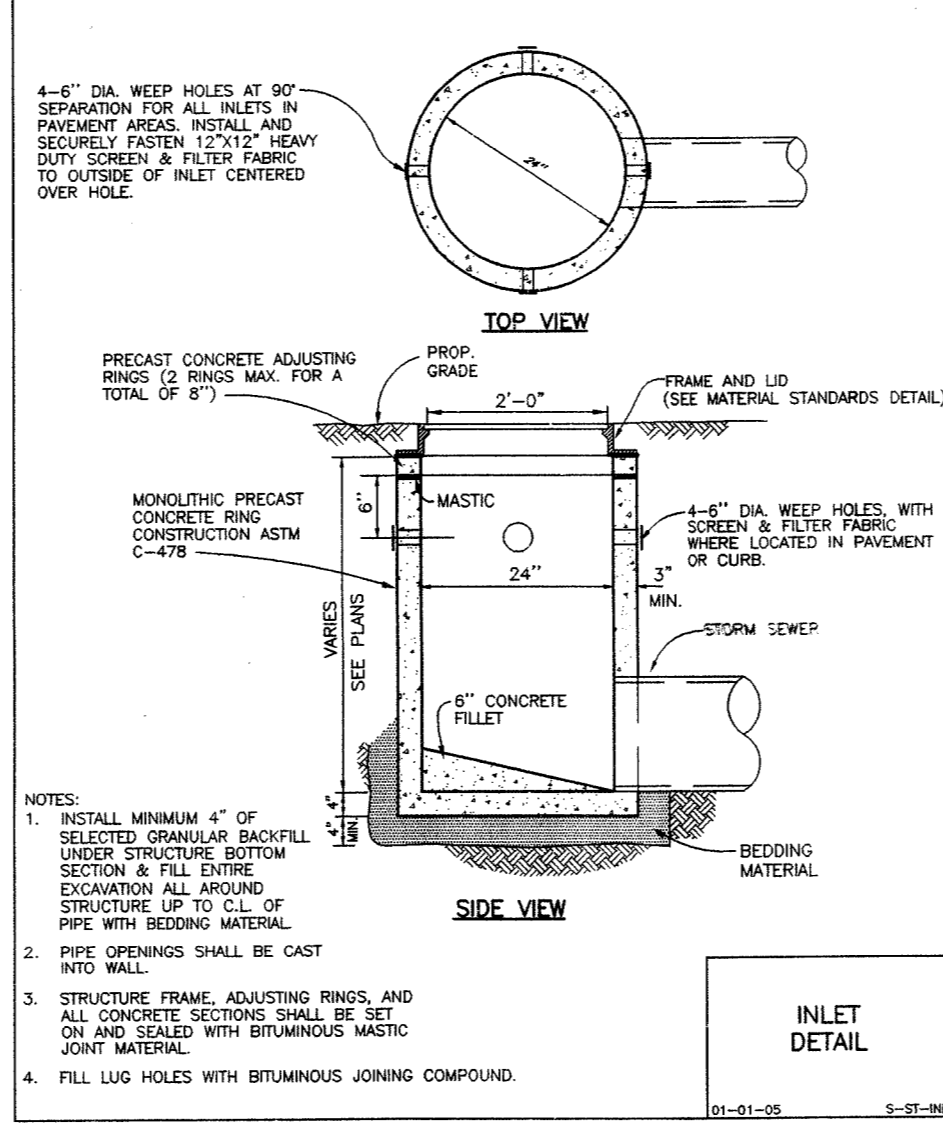
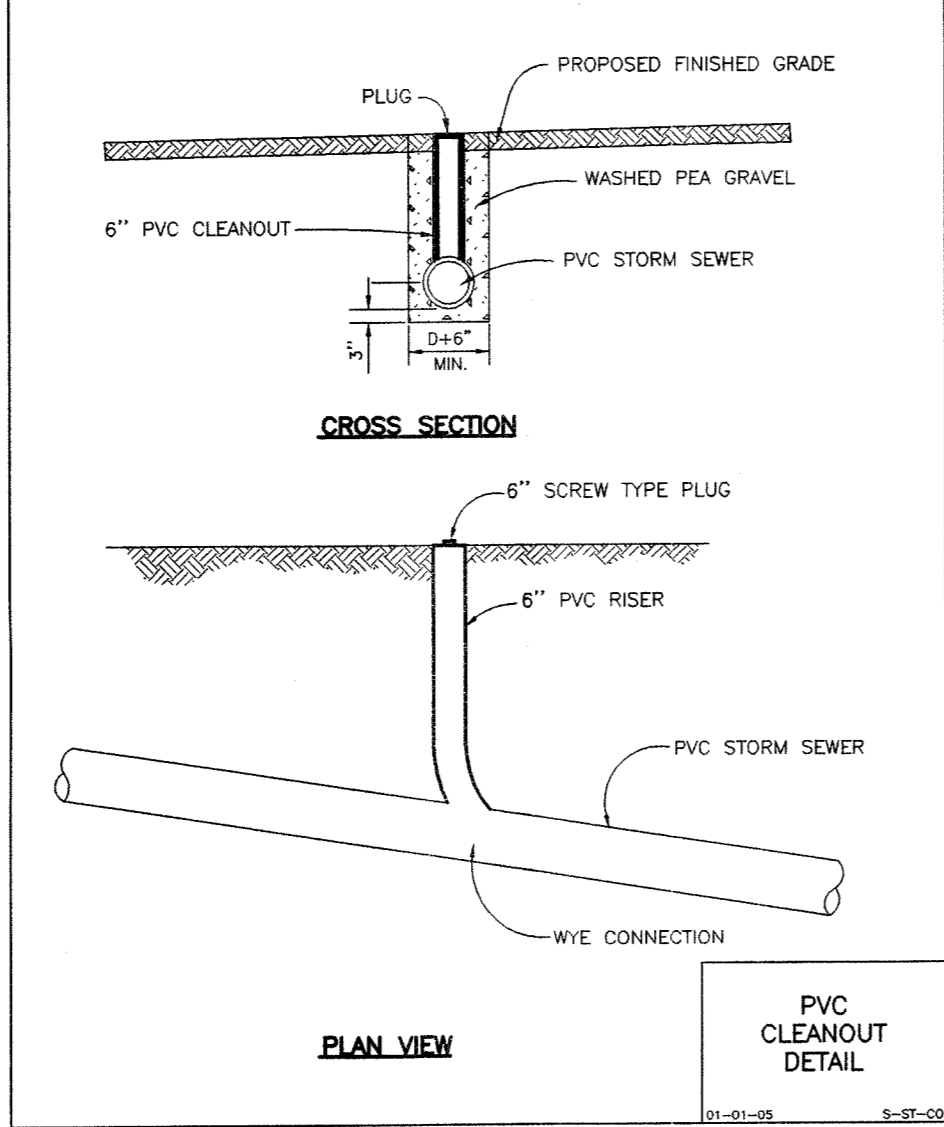
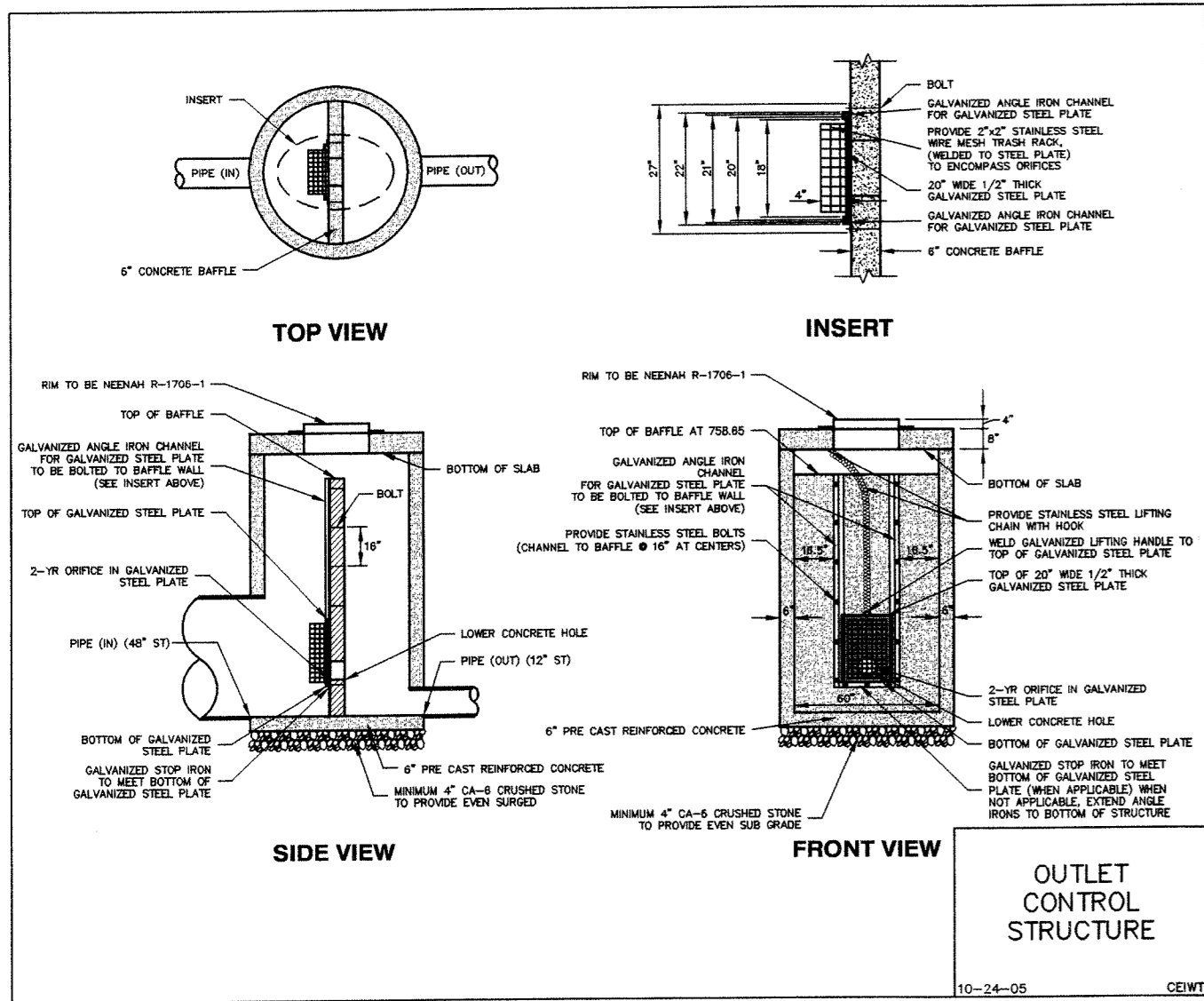
- TEMPORARY CONSTRUCTION ENTRANCE (SEE DETAIL SHEET)
- SILT FENCE
- FILTER FABRIC INLET PROTECTION
- CONSTRUCTION LIMITS

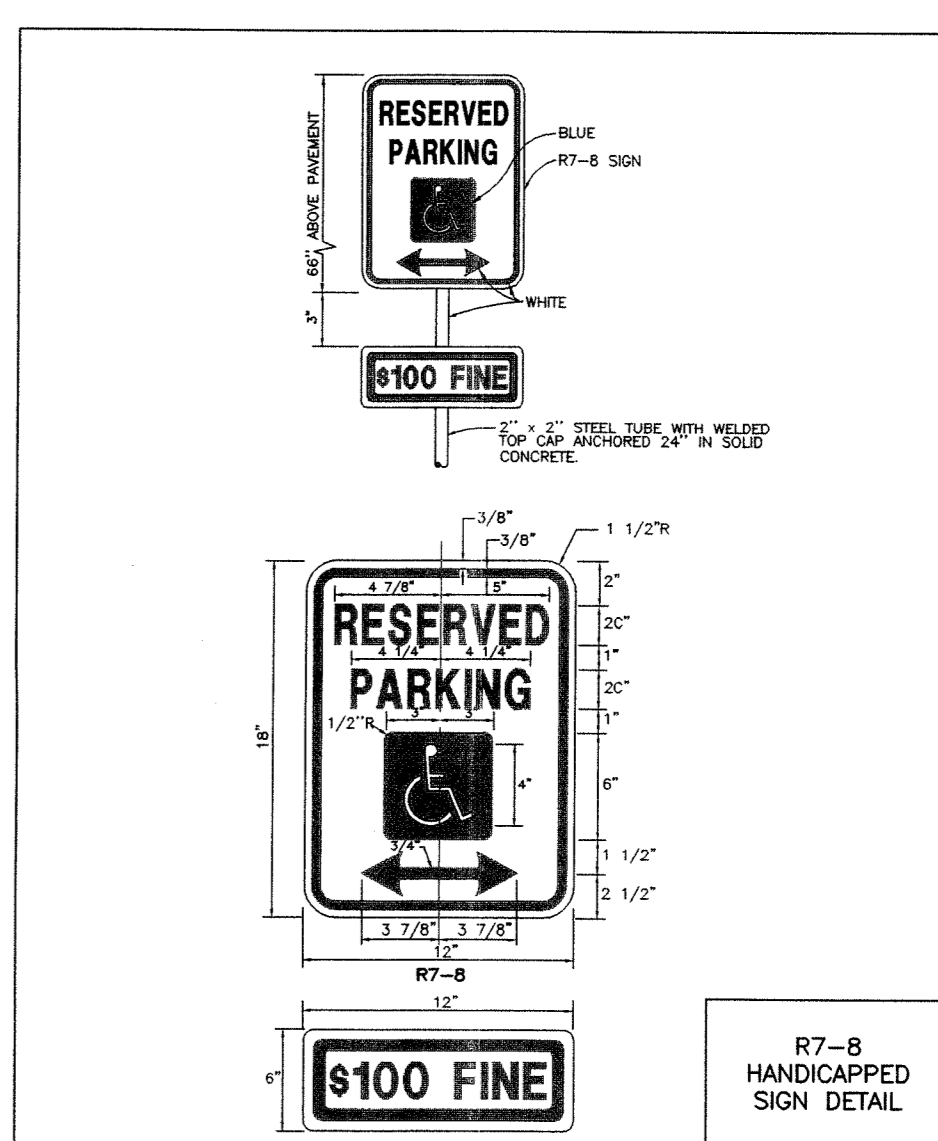
PROPOSED RETAIL DEVELOPMENT
WHEATON, ILLINOIS
STORMWATER POLLUTION PREVENTION PLAN

PROJ. MGR.: FF
PROJ. ASSOC.: JW
DRAWN BY: MH
CHECKED BY: 11-17-05
DATE: 11-17-05
SCALE: 1"=20'
SHEET
C8 OF C12
CEIWT 6484

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