

**ORDINANCE NO. F-1124**

**AN ORDINANCE GRANTING A SPECIAL USE PERMIT FOR A PLANNED UNIT DEVELOPMENT FOR A RETAIL BUILDING WITH A DRIVE-THROUGH AND A BANK BUILDING WITH A DRIVE-THROUGH BANKING FACILITY, AND A TWO-LOT RESUBDIVISION ON A CERTAIN PIECE OF PROPERTY COMMONLY LOCATED ON THE NORTHWEST CORNER OF MAIN STREET AND GENEVA ROAD**  
**GENEVA-MAIN LLC/2200 N. MAIN STREET**

**WHEREAS**, application requesting planned unit development approval to allow the demolition of an existing commercial building and the construction of 13,370 square foot retail building with a drive-through and a 3,500 square foot bank with a drive-through banking facility on certain property legally described herein within the city limits of Wheaton, Illinois ("City"), and commonly located on the northwest corner of Main Street and Geneva Road ("Subject Property"). In conjunction, the application also requests subdivision approval to resubdivide the Subject Property into two separate parcels to accommodate the proposed retail building and bank building on separate lots; and

**WHEREAS**, pursuant to notice as required by the Illinois Municipal Code and the City Zoning Ordinance, a public hearing was conducted by the Planning and Zoning Board on January 10, 2006 to consider the requested special use permit for a planned unit development and resubdivision. The Board voted 6-0 to recommended approval of the special use permit for a planned unit development and resubdivision, subject to certain conditions.

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

**Section 1:** The following-described property has been and continues to be zoned and classified in the C-3 General Commercial District Zoning Classification:

LOTS 1, 2, 3, AND 4 IN MAYER'S ASSESSMENT PLAT OF PART OF THE WEST HALF OF THE SOUTHWEST  $\frac{1}{4}$  OF SECTION 4, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 14, 1947 AS DOCUMENT 517305, IN DUPAGE COUNTY, ILLINOIS.

P.I.N. 05-04-304-039

This property is commonly known as 2200 N. Main Street, Wheaton, IL; and will hereafter be known as the "Subject Property."

**Section 2:** The Final Plat of Subdivision for Geneva-Main Subdivision prepared by B.H. Suhr & Company, Inc., a State of Illinois Land Surveyor, dated November 22, 2005 is hereby approved. The Mayor is authorized to sign the approval form and the City Clerk is authorized and directed to attest to the signature of the Mayor and attach a certified copy of this ordinance to the Final Plat of Geneva-Main Subdivision.

P-2006-06748

**Section 3:** Pursuant to the findings of fact made and determined by the Planning and Zoning Board, a special use permit for a planned unit development is hereby issued to allow the demolition of an existing commercial building and the construction of 13,370 square foot retail building with a drive through located on Lot 2 of the Geneva-Main Subdivision and a 3,500 square foot bank with a drive-through banking facility on Lot 1 of the Geneva-Main Subdivision, on the Subject Property in full compliance with the following conditions, restrictions, and requirements:

- A. The plans entitled "Site Plan," prepared by Hirsch Associates, Chicago, IL, dated November 18, 2005; "Geneva-Main Subdivision," prepared by B.H. Suhr & Company, Inc., Evanston, IL, dated November 22, 2005; "Exterior View-Conceptual Rendering," prepared by Hirsch Associates LLC, Chicago, IL, dated November 18, 2005; "Building Elevations @ Parcel A, South and East Elevations," prepared by Hirsch Associates LLC, Chicago, IL, dated November 18, 2005; "Building Elevations @ Parcel A, North and West Elevations," prepared by Hirsch Associates LLC, Chicago, IL, dated November 18, 2005; "Floor Plan-Parcel A," prepared by Hirsch Associates LLC, Chicago, IL, dated November 18, 2005; "National City South & West Elevations," prepared by GPD Group, Akron, OH; "National City North & East Elevations," prepared by GPD Group, Akron, OH; "National City Bank Floor Plan," prepared by GPD Group, Akron, OH, dated November 12, 2005; "Proposed Sign Plan," prepared by Hirsch Associates LLC, Chicago, IL, dated November 18, 2005; "Shopping Identification Sign," prepared by Hirsch Associates LLC, Chicago, IL, dated November 18, 2005; "National City Signage Exhibit," prepared by GPD Group, Akron, OH; and preliminary engineering plans entitled "Proposed Retail Development," prepared by Manhard Consulting, Ltd., Vernon Hills, IL, sheets C1-C12, dated November 17, 2005.
- B. The southeast and northeast tower features of the retail building shall be fully clad in masonry brick.
- C. The masonry and stone pilasters located on the south and east facades of the retail building shall be continued as design elements on the north and west facades, except for the area of the west façade adjacent to the loading area, and shall be subject to the approval of the Director of Planning and Economic Development.
- D. A final landscape plan shall be submitted with additional foundation plantings and shall be subject to the approval of the Director of Planning and Economic Development.
- E. Any rooftop mechanical units shall be fully screened by a structural element of the building.
- F. The trash enclosure shall be constructed of brick similar to the proposed buildings and shall be subject to the approval of the Director of Planning and Economic Development.
- G. The owner of the subject property shall maintain all landscaping and plantings on the subject property so that the number, quality, and character of the landscaping shall not be less than that which is illustrated on the approved landscape plan. In the event any landscaping, plantings, or vegetation on the subject property dies, in whole or in part, at any time, the owner shall, forthwith, replace the non-viable landscape vegetation

and/or plantings with reasonably similar substitutes of original size or larger, as directed by the City.

- H. This special use permit, and the conditions, restrictions, and requirements recited herein, shall be considered a declaration of restrictive covenants and shall be binding upon the subject property and its owner, its successors, assigns, and grantees; this ordinance shall be recorded in the office of the Recorder of Deeds, DuPage County, Illinois.
- I. The Owner shall enter into a Fire Lane Designation and Enforcement Agreement with the City in substantial compliance with Exhibit "A".
- J. A cross access easement shall be recorded on the Subject Property at the expense of the owner, to allow for access and egress between the Subject Property and Parcel "C". The cross access easement shall be shown on the Final Plat of Subdivision of the Subject Property and shall be subject to the reasonable approval of the Wheaton City Attorney.

**Section 4:** All ordinances or parts of ordinances in conflict with these provisions are repealed.

**Section 5:** This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.

  
James Carr  
Mayor

ATTEST:

Carl W. Cenaclopi  
City Clerk

## Roll Call Vote

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Councilman Seuss

### Councilwoman Corry

Councilman Levine

Mayor Pro-tem Mouhelis

Nays:

None

Absent:

Mayor Carr

Councilman Bolds

Councilman Johnson

### Motion Carried Unanimously

Passed: January 17, 2006

Published: January 18, 2006

**EXHIBIT "A"**

**FIRE LANE DESIGNATION AND ENFORCEMENT AGREEMENT**

THIS AGREEMENT is made and entered into this 18<sup>th</sup> day of January 2006, by and between the City of Wheaton, an Illinois Municipal Corporation, 303 W. Wesley Street, Wheaton, Illinois 60189 (hereinafter referred to as "CITY") and Geneva-Main LLC (hereinafter referred to as "OWNER(S)"), OWNER(S) of the property located at 2200 N. Main Street, Wheaton, within the corporate limits of the City of Wheaton, Illinois (hereinafter referred to as "Subject Property"), and which is legally described below:

LOTS 1, 2, 3, AND 4 IN MAYER'S ASSESSMENT PLAT OF PART OF THE WEST HALF OF THE SOUTHWEST ¼ OF SECTION 4, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 14, 1947 AS DOCUMENT 517305, IN DUPAGE COUNTY, ILLINOIS.

P.I.N. 05-04-304-039

**RECITALS**

WHEREAS, the OWNER(S) desire to establish Fire Lanes upon the Subject Property to improve the health and safety of the citizens of Wheaton; and

WHEREAS, the CITY believes that it is in the best interests of the public health and safety that Fire Lanes be established, maintained and enforced upon the Subject Property.

NOW, THEREFORE, in consideration of the mutual covenants and obligations contained herein, the OWNER(S) and CITY agree to the following in regards to the Subject Property:

1. The CITY Fire Chief, Chief of Police or their designated representative and OWNER(S), shall identify the specific Fire Lane locations within the Subject Property which

shall, pursuant to the terms of this Agreement and Ordinance No. be regulated. The specific locations of the Fire Lane(s) to be enforced shall be as set forth on the Site Plan ("Plan") attached hereto and fully incorporated into this Agreement as Exhibit " ". The CITY Fire Chief, Chief of Police or their designated representative and OWNER(S) or designated representative may from time to time mutually agree to amend the Fire Lane(s) location(s) as set forth in the Site Plan. At such time, the Site Plan shall be amended and appended to this Agreement as an Amended Exhibit "A".

2. The OWNER(S) are responsible for providing any required pavement markings.

3. The OWNER(S), at their sole expense, shall be responsible for obtaining, erecting and maintaining the appropriate signage in accordance with applicable CITY and State of Illinois regulations and specifications.

4. The CITY shall inspect and approve the signage prior to entering into this Agreement. The CITY Fire Chief, Chief of Police or their designated representative may require additional signage and/or pavement markings, if it is later determined that the inspected and approved signage does not provide adequate notification of the established fire lanes.

5. Upon execution of this Agreement, the CITY will enforce the Fire Lane parking and standing prohibitions and the Fire Lane maintenance requirements contained in Sections 70-355 and 30-2 of the Wheaton City Code in regards to the Subject Property. No "special duty" to third persons shall be imposed by this Agreement. The CITY's enforcement obligation shall be legally the same as it is with all other ordinances.

6. This Agreement may be terminated by either party by providing not less than thirty (30) days notice to the other party of the intention to terminate this Agreement.

7. This Agreement shall be assignable by OWNER(S) to their successors in interest upon the sale or lease of the Subject Property.

8. The OWNER(S) hereby agrees to release and hold harmless, indemnify and defend (including the payment of all costs and attorneys' fees) the CITY, its Officers, Agents and Employees, in connection with any and all actions or claims for any loss, damage, personal injury or death occurring as a consequence of the performance of this Agreement.

9. The sole remedy available to the OWNER(S), upon any breach of this Agreement by the CITY, shall be the termination of the Agreement. It is of the essence of this Agreement that the CITY shall not be liable in money damage for any breach of this Agreement.

10. Whenever notice to the CITY is required, it shall be addressed to:

City Clerk  
City of Wheaton  
303 West Wesley Street  
Wheaton, IL 60189-0727

Whenever notice to the Owner is required, it shall be addressed to:

Geneva-Main LLC  
c/o Centrum Properties, Inc.  
225 W. Hubbard Street  
Chicago IL 60610

IN WITNESS WHEREOF, the parties hereto have executed this instrument by their duly authorized officers of the day and year first above written.

CITY OF WHEATON, ILLINOIS, a Municipal Corporation

BY: \_\_\_\_\_  
City Manager

ATTEST: \_\_\_\_\_  
City Clerk

BY: \_\_\_\_\_

ATTEST: \_\_\_\_\_

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c/o Centrum Properties, Inc.  
225 W. Hubbard Street  
Chicago IL 60610

IN WITNESS WHEREOF, the parties hereto have executed this instrument by their duly authorized officers of the day and year first above written.

CITY OF WHEATON, ILLINOIS, a Municipal Corporation

BY: Donald Rose  
City Manager

ATTEST: Chris W. Connelly  
City Clerk

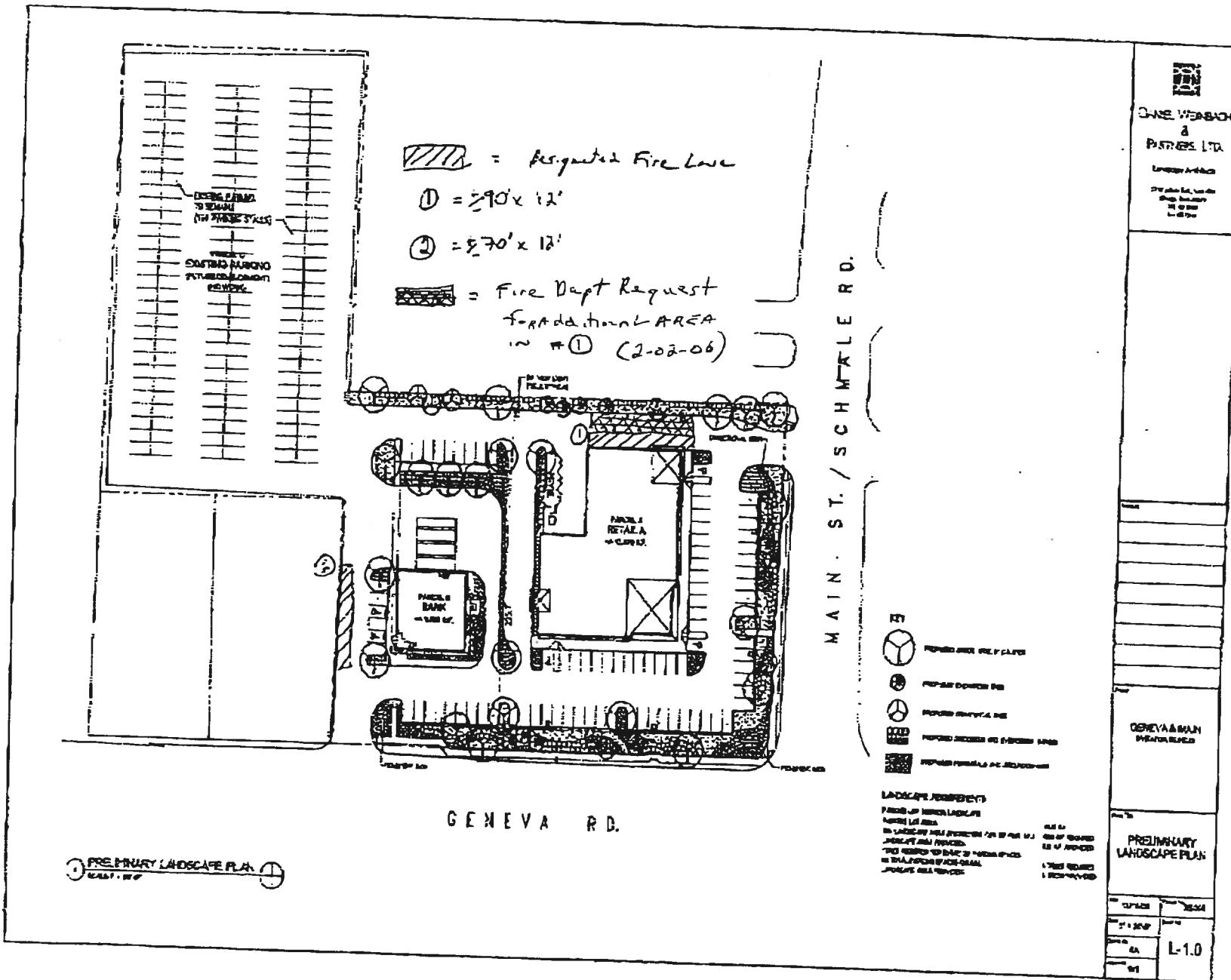
BY: 

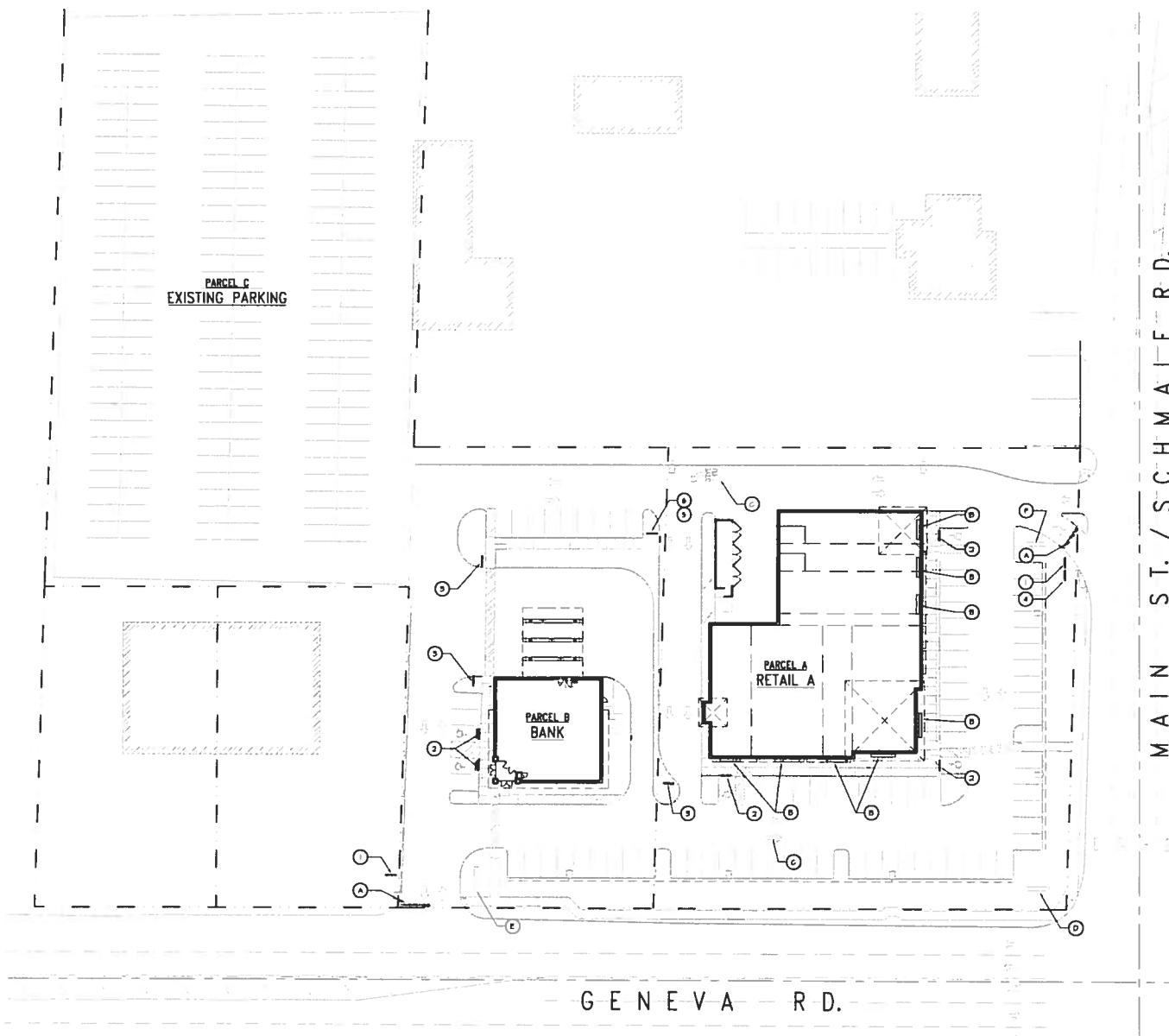
ATTEST: Isaac S. Magat

**CENTRUM PROPERTIES INC.**

2000-03-23 16:27 FAX 312 872 2525

003/006





CIRCULATION SIGNAGE AND STRIPPING LEGEND	
(1)	RD-1 STOP SIGN
(2)	RT-1 HANDICAP ACCESSIBLE SIGN
(3)	RD-1 DO NOT ENTER SIGN
(4)	RD-5R RIGHT TURN ONLY SIGN
(5)	RD-1R ONE WAY SIGN
(6)	DRIVE THRU
(7)	24" WHITE STOP BAR
(8)	DIRECTIONAL STRIPPING

(9)	RETAIL SIGNAGE
(10)	RETAIL IDENTIFICATION SIGN
(11)	SEGMENTAL DIRECTIONAL SIGNAGE
NOTE: PRIMARY RETAIL/RESTAURANT SIGN INFORMATION TO BE SUBMITTED UNDER ITS OWN PERMIT	

(12)	BANK IDENTIFICATION SIGN
NOTE: FOR BANK RETAIL SIGNS (PARCEL B) INFORMATION SEE BANK PACKAGE	

## Proposed Sign Plan

Geneva-Main, L.L.C.

1"=60'-0"

November 18 2005

## Geneva & Main

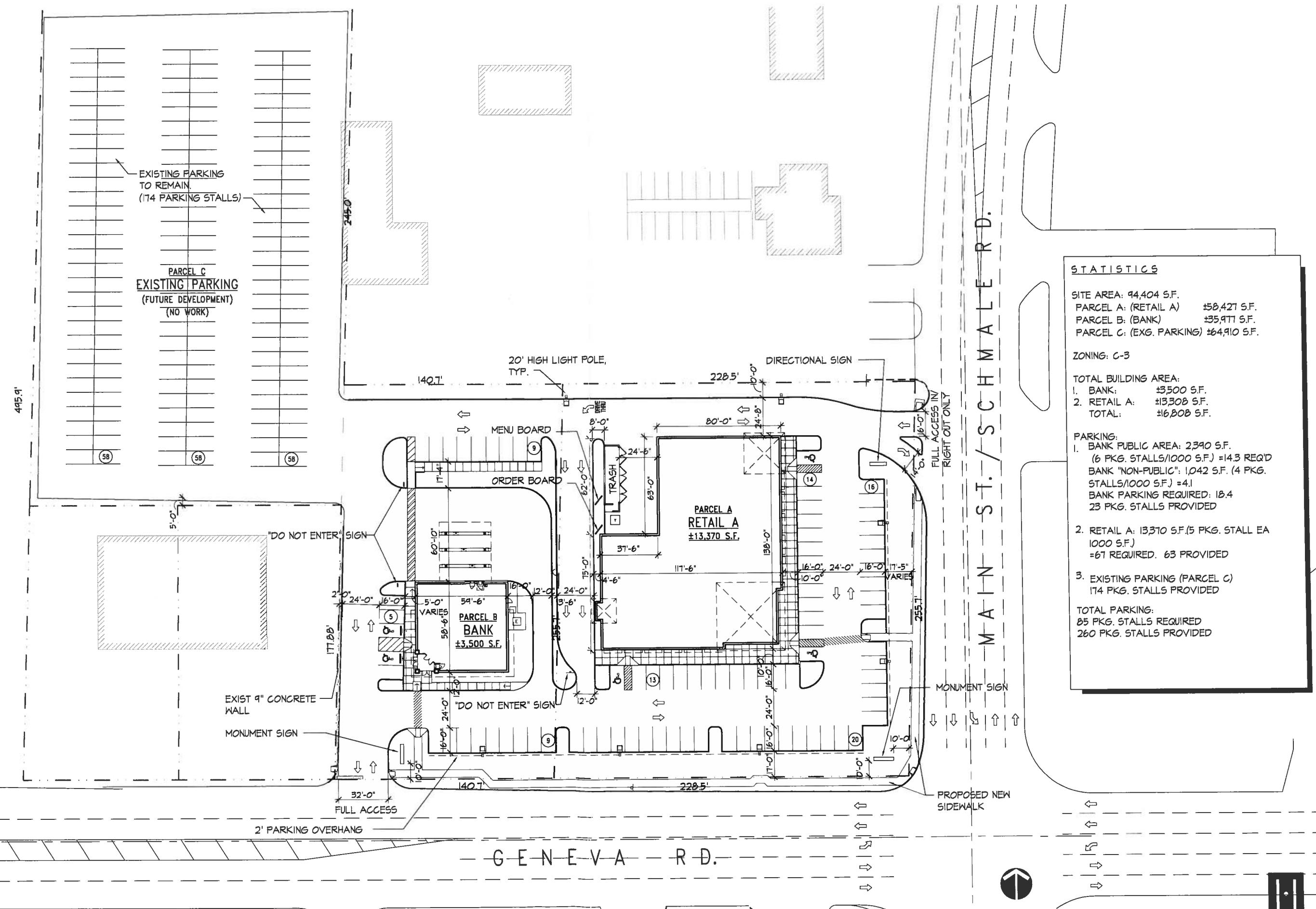
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Wheaton, Illinois

Hirsch Associates





## Site Plan

## Geneva & Main

**Geneva-Main, L.L.C.**

1"=60'-0"

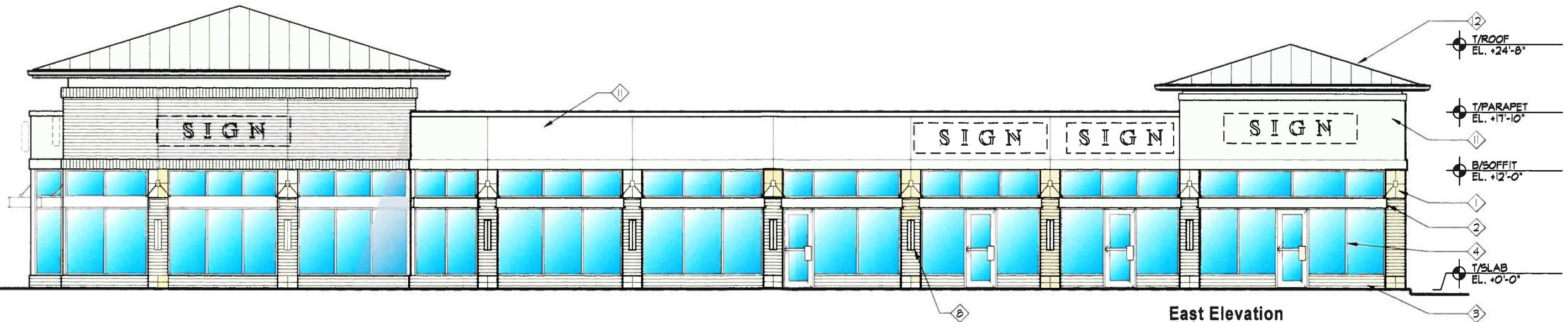
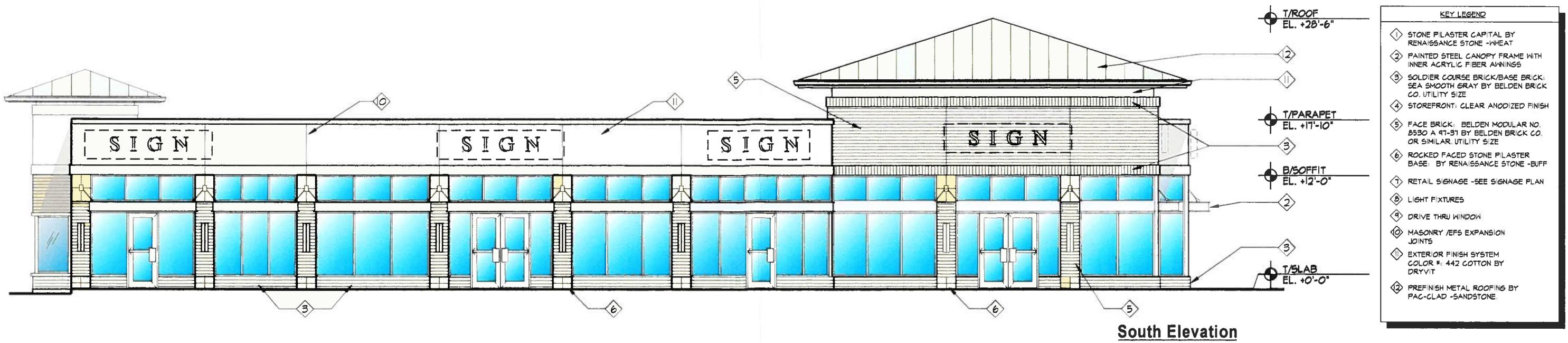
November 18 2005

TSH

05017

Hirsch Associates





## Building Elevations @ Parcel A

Geneva & Main

## Wheaton, Illinois

"Geneva-Main, L.L.C."

3/32"=1'-0"

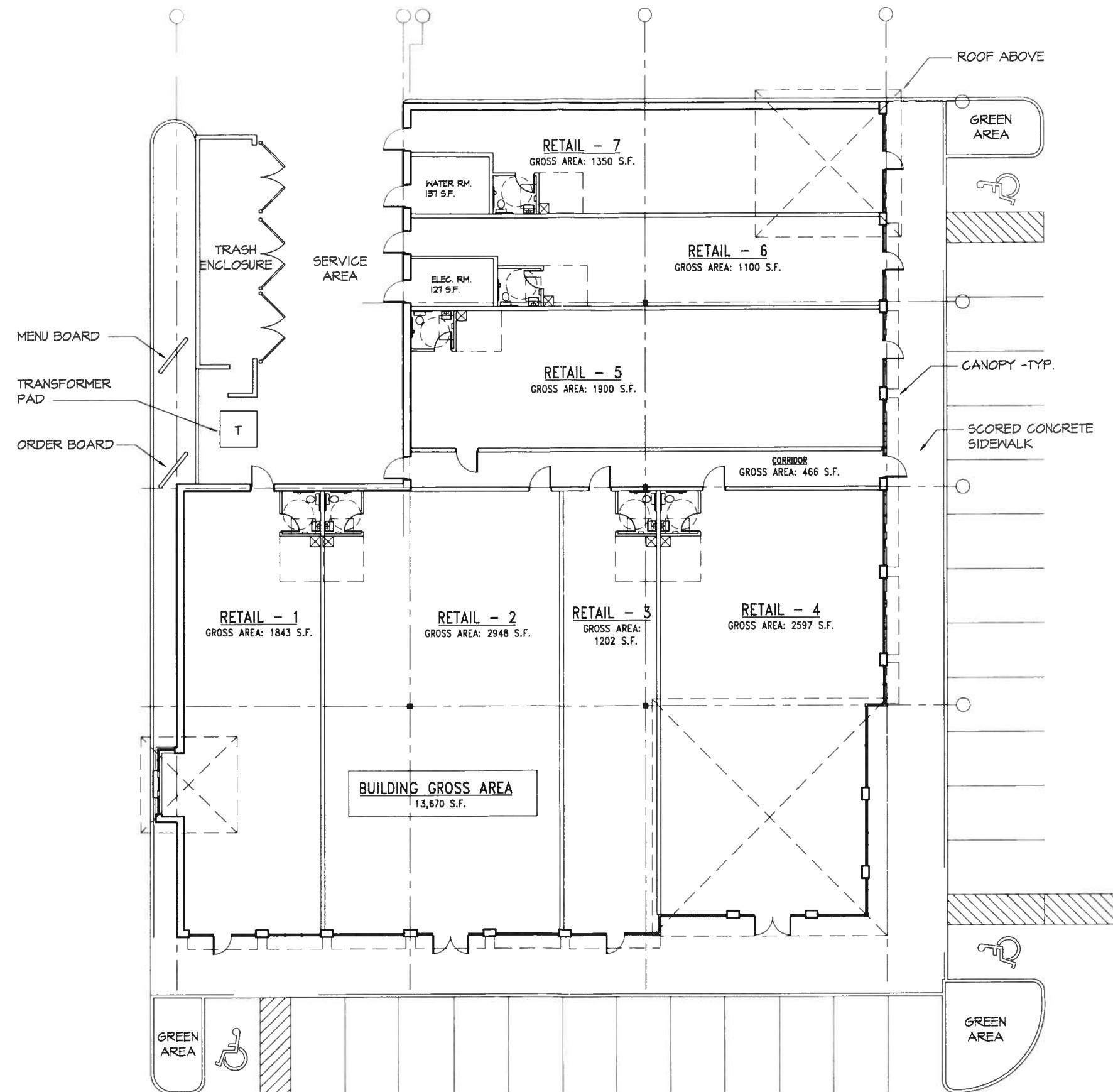
November 18 2005

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Hirsch Associates, LLC





Floor Plan - Parcel "A"





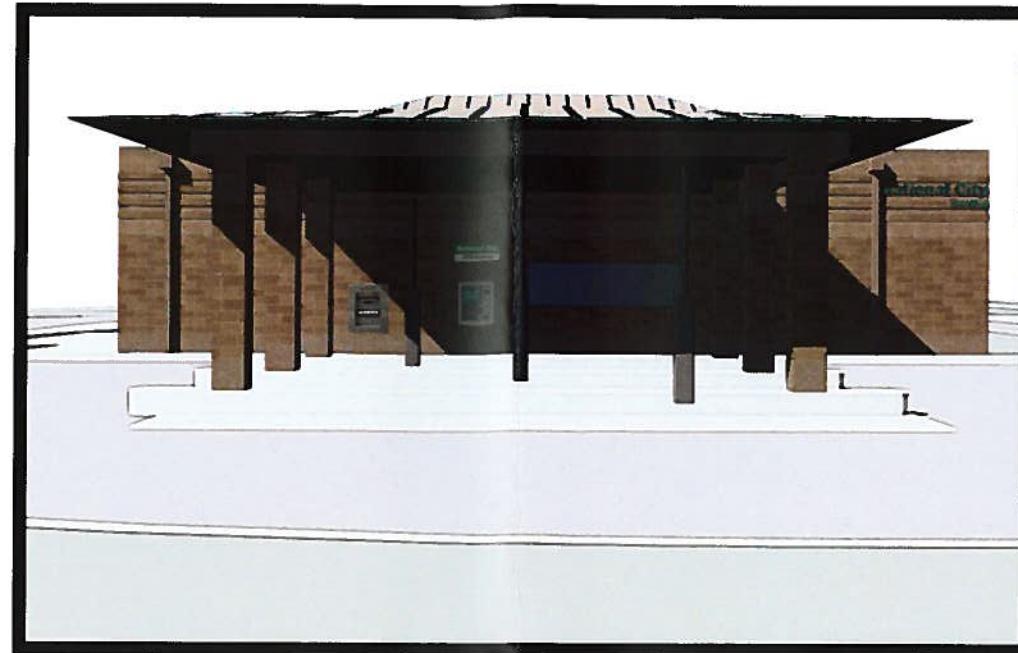
**SOUTH ELEVATION**



**WEST ELEVATION**

# **National City**

**Wheaton, IL**



**NORTH ELEVATION**



**EAST ELEVATION**

# National City

Wheaton, IL

National City

REV.	DATE	DESCRIPTION

NATIONAL CITY BANK  
GENEVA ROAD  
WHEATON, IL

FLOOR PLAN

DESIGNED	DATE
NCB	11/11/05
DRAWN	11/21/05
CHECKED	

JOB NO.  
2005090.11

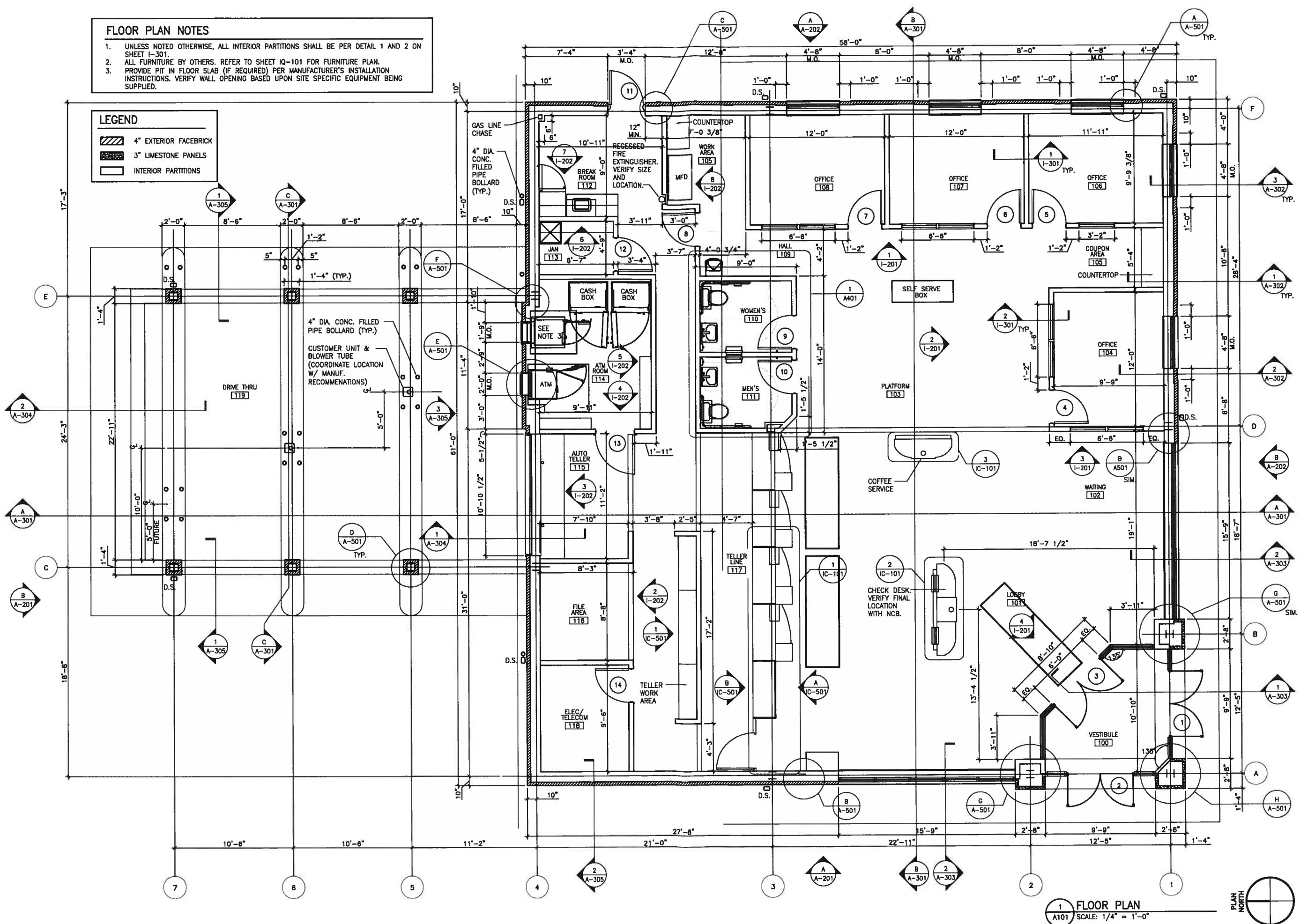
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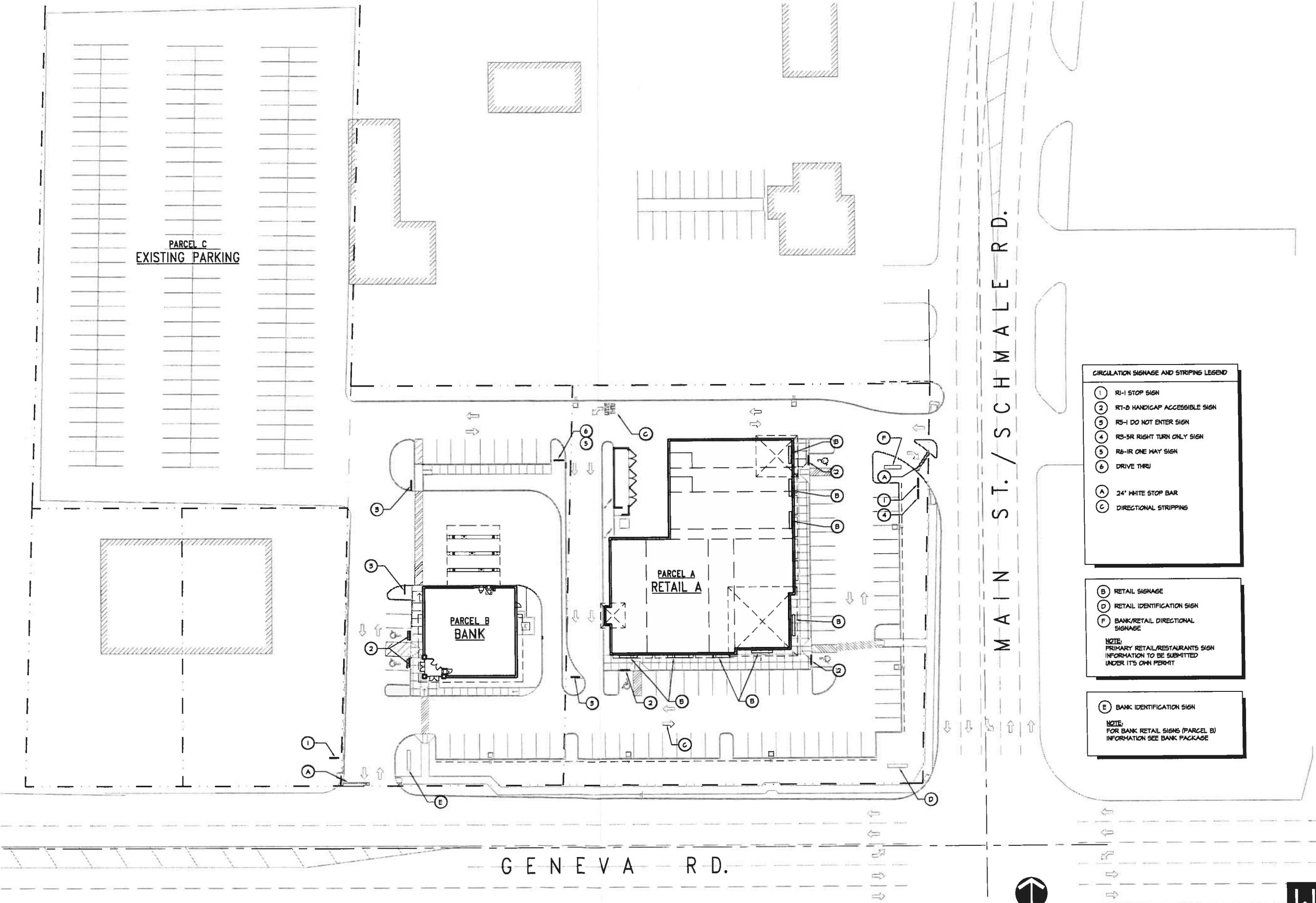
FLOOR PLAN NOTES

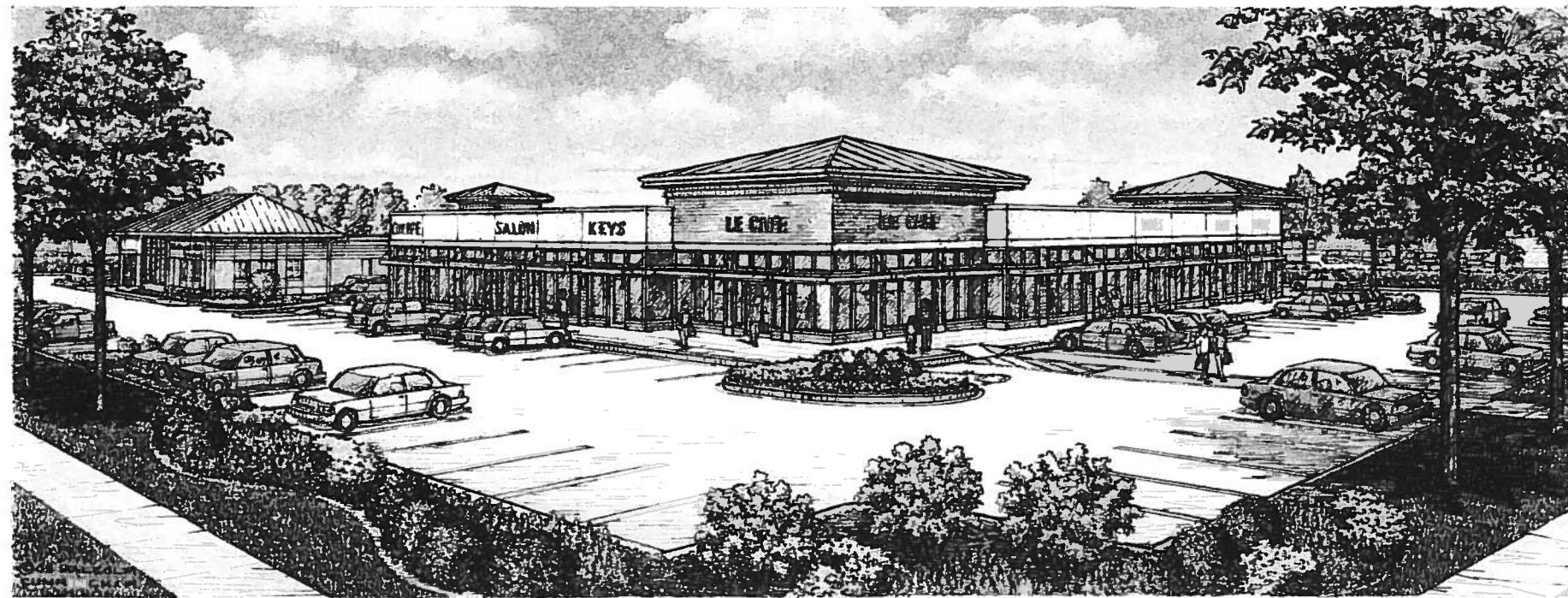
1. UNLESS NOTED OTHERWISE, ALL INTERIOR PARTITIONS SHALL BE PER DETAIL 1 AND 2 ON SHEET I-301.
2. ALL FURNITURE BY OTHERS. REFER TO SHEET IQ-101 FOR FURNITURE PLAN.
3. PROVIDE PIT IN FLOOR SLAB (IF REQUIRED) PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. VERIFY WALL OPENING BASED UPON SITE SPECIFIC EQUIPMENT BEING SUPPLIED.

LEGEND

- 4" EXTERIOR FACEBRICK
- 3" LUMSTONE PANELS
- INTERIOR PARTITIONS







Exterior View -Conceptual Rendering

Geneva-Main, L.L.C.

Geneva & Main

November 18 2005

Wheaton, Illinois

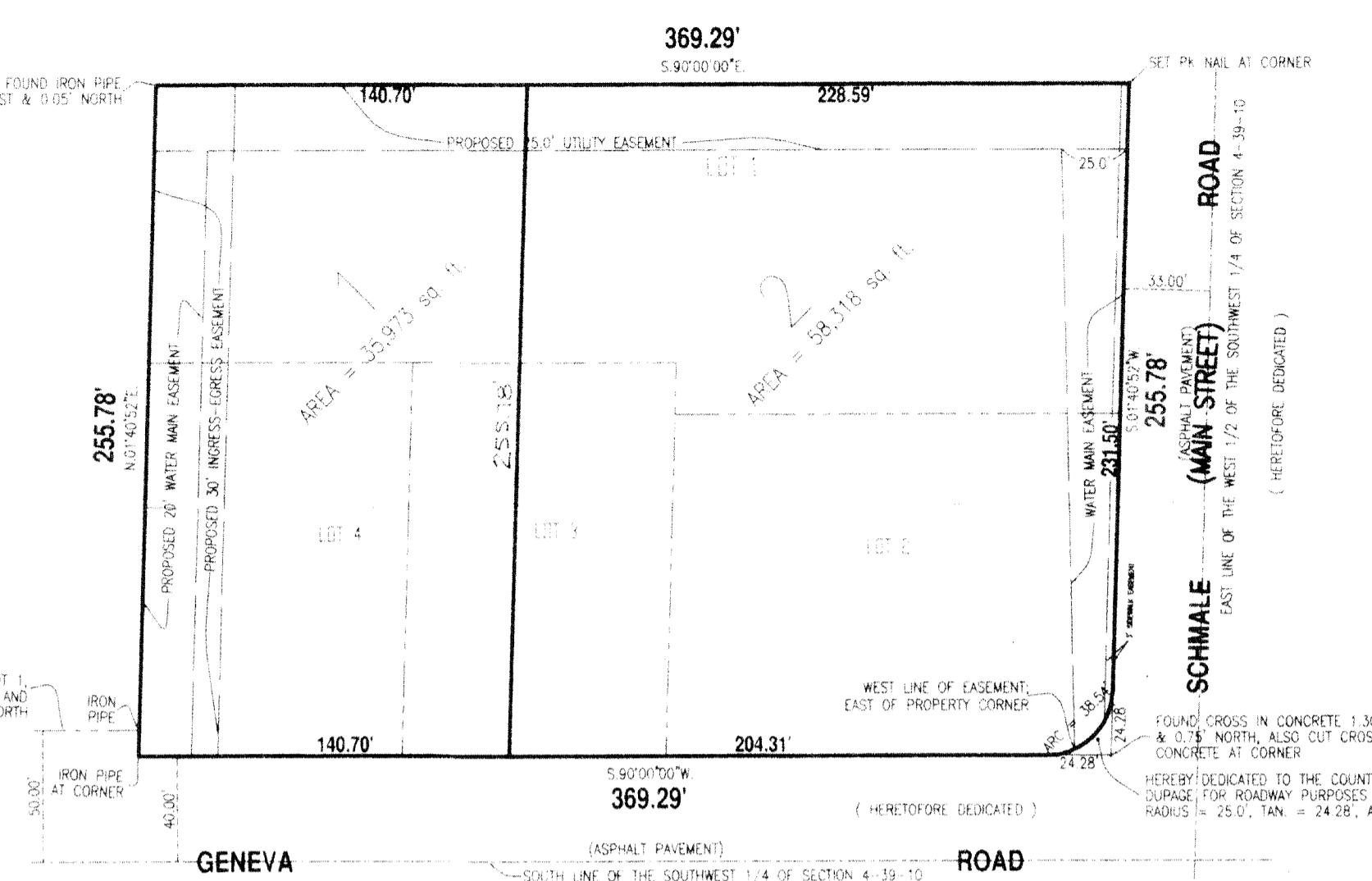
05017

Hirsch Associates



# GENEVA-MAIN SUBDIVISION IN

THE WEST 1/2 OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 39 NORTH, RANGE 14, EAST  
OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.



ALL EASEMENTS INDICATED AS PUBLIC UTILITY AND/OR DRAINAGE AND UTILITY EASEMENTS ON THIS PLAT ARE RESERVED FOR AND GRANTED TO THE CITY OF WHEATON AND TO THOSE PUBLIC UTILITY COMPANIES OPERATING UNDER FRANCHISE FROM THE CITY OF WHEATON INCLUDING, BUT NOT LIMITED TO, SBC, AMERITECH COMPANY, NICOR GAS COMPANY, COMMONWEALTH EDISON COMPANY AND THEIR SUCCESSORS AND ASSIGNS (COLLECTIVELY GRANTED FOR THE PERPETUAL RIGHT, PRIVILEGE AND AUTHORITY TO CONSTRUCT, RECONSTRUCT, REPAIR, INSPECT, MAINTAIN AND OPERATE THE PUBLIC UTILITY) TOGETHER WITH ANY AND ALL NECESSARY MATERIALS, EQUIPMENT, APPURTEANCES AND OTHER STRUCTURES AND APPURTENANCES AS MAY BE DEEMED NECESSARY BY SAID CITY OF WHEATON, UPON, ALONG, UNDER AND THROUGH SAID INDICATED EASEMENT, TOGETHER WITH RIGHT OF ACCESS ACROSS THE PROPERTY FOR NECESSARY MEN AND EQUIPMENT TO DO ANY OF THE ABOVE WORK. THE RIGHT IS ALSO GRANTED TO CUT, DOWN, TRIM OR REMOVE ANY TREES, SHRUBS OR OTHER PLANTS ON THE EASEMENT THAT INTERFERE WITH THE OPERATION OF THE "PUBLIC UTILITY". THE GRANTEE OR GRANTEE'S PERFORMING OR CAUSING TO BE PERFORMED ANY OF SAID WORK SHALL BE RESPONSIBLE AT ITS OWN EXPENSE, TO BACKFILL AREAS WITH APPROVED MATERIALS BUT SHALL NOT BE LIABLE TO RESTORE ANY PAVEMENT, CURB AND GUTTER, SIDEWALKS OR LANDSCAPING OR DISTRIBUTED SYSTEMS. THE GRANTEE OR GRANTEE'S AGENTS ARE RESPONSIBLE FOR THE FULL AND COMPLETE RESTORATION OF THE EASEMENT PROMISES. NO PERMANENT BUILDINGS SHALL BE PLACED ON SAID EASEMENTS, BUT SAME MAY BE USED FOR CARPORTS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS, ELEVATIONS OR GRADES. SHALL NOT BE CHANGED WITHIN THE EASEMENT PREMISES WITHOUT THE WRITTEN APPROVAL OF THE CITY OF WHEATON.

COUNTY ENGINEER  
STATE OF ILLINOIS } ss

This Plat has been approved by the DuPage County Division of Transportation with respect to roadway access to County Highway #21, Geneva Road and #23, Schmale Road pursuant to 765 ILCS/205/2; however, a highway permit for access is required of the owner of the property prior to construction within the County's Rights-of-Way. Dated the \_\_\_\_ day of \_\_\_\_\_. 20\_\_\_\_.

County Engineer

STATE OF ILLINOIS } ss  
COUNTY OF \_\_\_\_\_

Geneva-Main, LLC., does hereby certify that it is the Title Owner of record of the property described herein, and that it has caused the same to be surveyed for the purpose of Subdividing it into two (2) Lots, as shown herein.

Dated this \_\_\_\_ day of \_\_\_\_\_, A.D., 20\_\_\_\_.

By \_\_\_\_\_

ATTEST: \_\_\_\_\_

By executing this plat, the owner hereby certifies under oath that all of the property is located in Community Unit School District #200.

STATE OF ILLINOIS } ss  
COUNTY OF \_\_\_\_\_

I, \_\_\_\_\_, a Notary Public, in and for said County, in the State aforesaid, do hereby certify that \_\_\_\_\_ and \_\_\_\_\_ personally known to me to be the same persons whose names are subscribed to the foregoing instrument as \_\_\_\_\_ and \_\_\_\_\_ respectively, of Geneva-Main, LLC, appeared before me this day in person and acknowledged that they signed and delivered the said instrument as their own free and voluntary act, and as the free and voluntary act of Geneva-Main, LLC, for the uses and purposes therein set forth, and the Secretary did also then and there acknowledge that \_\_\_\_\_, as Custodian of the Corporate Seal of said Geneva-Main, LLC, did affix said Corporate Seal to the instrument as \_\_\_\_\_ own free and voluntary act, and as the free and voluntary act of said Geneva-Main, LLC, as aforesaid, for the uses and purposes therein set forth.

Given under my hand and Notarial seal, this \_\_\_\_ day of \_\_\_\_\_, A.D., 20\_\_\_\_.

STATE OF ILLINOIS } ss  
COUNTY OF \_\_\_\_\_

LaSalle Bank National Association, as Mortgagor under the provisions of a certain mortgage recorded in the Recorder's Office of DuPage County, Illinois, as Document No. \_\_\_\_\_, does hereby consent to the plat of subdivision herein drawn.

Dated this \_\_\_\_ day of \_\_\_\_\_, A.D., 20\_\_\_\_.

LASALLE BANK NATIONAL ASSOCIATION  
MORTGAGE

Attest: \_\_\_\_\_

By \_\_\_\_\_ (MCS) PRESIDENT

STATE OF ILLINOIS } ss  
COUNTY OF \_\_\_\_\_

I, \_\_\_\_\_, a Notary Public, in and for said County, in the State aforesaid, do hereby certify that \_\_\_\_\_ and \_\_\_\_\_, personally known to me to be the same persons whose names are subscribed to the foregoing instrument as \_\_\_\_\_ and \_\_\_\_\_ respectively, appeared before me this day in person and acknowledged that they signed and delivered the said instrument as their own free and voluntary act, and as the free and voluntary act of said Corporation, not individually, but solely as Mortgagor, as aforesaid, for the uses and purposes therein set forth, and the \_\_\_\_\_ did also then and there acknowledge that \_\_\_\_\_, as Custodian of the Corporate Seal of said Corporation, did affix the Corporate Seal to the said instrument as \_\_\_\_\_ own free and voluntary act, and as the free and voluntary act of said Corporation, as Mortgagor, as aforesaid, for the uses and purposes therein set forth.

Given under my hand and Notarial seal, this \_\_\_\_ day of \_\_\_\_\_, A.D., 20\_\_\_\_.

RECODER OF DEEDS  
STATE OF ILLINOIS } ss  
COUNTY OF DUPAGE }

This instrument \_\_\_\_\_, was filed for record in the Recorder of Deeds Office of DuPage County, Illinois, on the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ A.D. at \_\_\_\_\_ o'clock \_\_\_\_\_.

Dated at Wheaton, Illinois, this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

DUPAGE COUNTY RECORDER OF DEEDS

(PIN #05-04-304-039)  
SEND TAX BILL TO:  
GENEVA-MAIN, LLC.  
c/o CENTRUM PROPERTIES  
225 W. HUBBARD ST.  
CHICAGO, ILLINOIS 60610-2525

SUBMITTED BY AND RETURN PLAT TO:  
VILLAGE OF WHEATON  
303 W. WESLEY ST.  
WHEATON, ILLINOIS 60187

B.H. SUHR & COMPANY, INC.

SURVEYOR ESTABLISHED 1941  
840 CUSTER AVENUE, EVANSTON, ILLINOIS 60202  
CHICAGO TEL. (773) 273-5315 / EVANSTON TEL. (847) 864-6315  
WWW.BHSUHR.COM / E-MAIL: SURVEYOR@BHSUHR.COM

Professional Design  
Firm License No. 104-306971

Raymond R. Hansen  
Illinois Professional Land Surveyor No. 2542  
License Expiration Date 11/30/06

Book 05 Page 292-S Evanston, November 22, 2005  
Order No. 05-292-S Ordered by Centrum Properties, Inc.

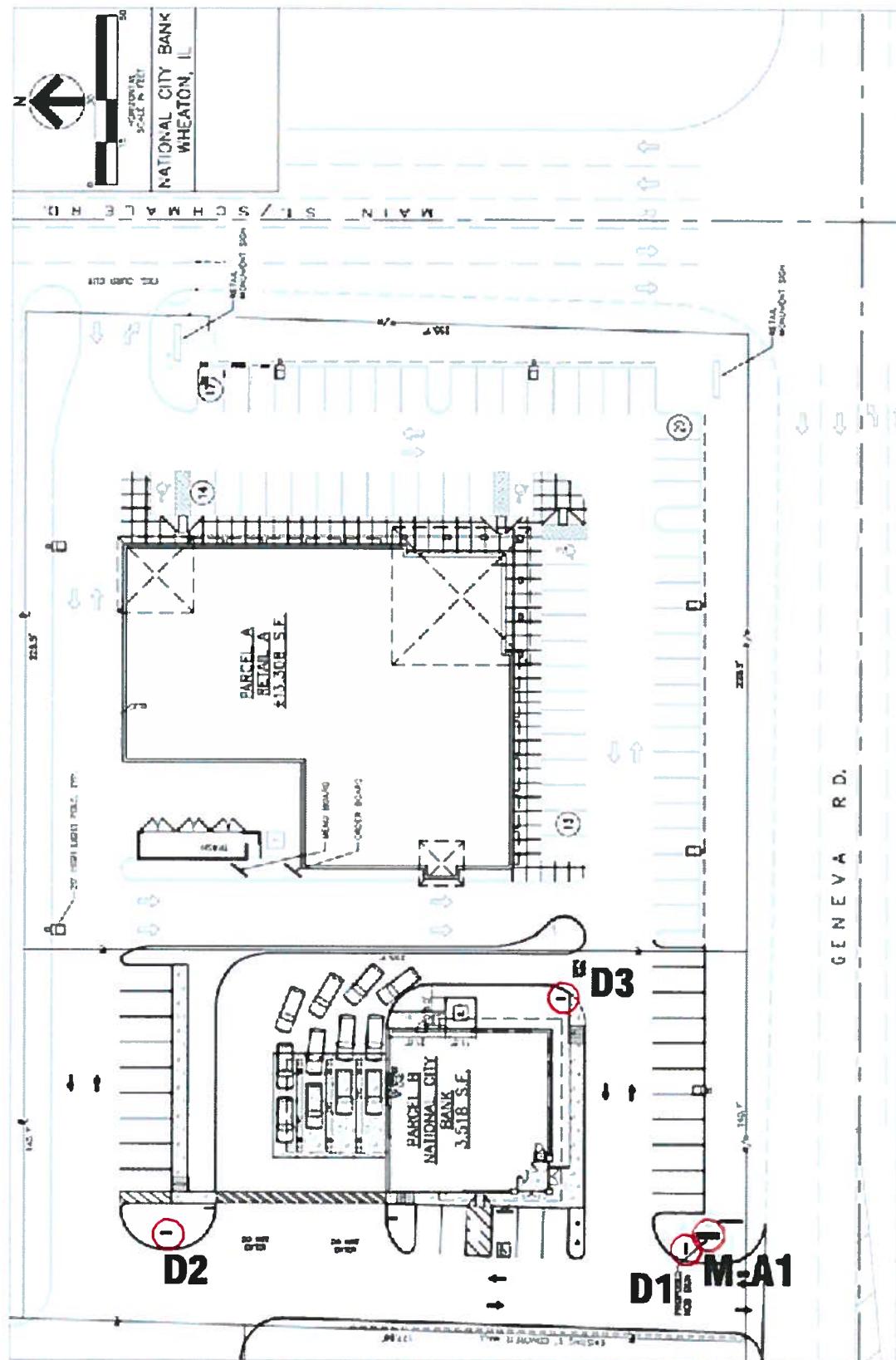
M.S.127

# National City

## Signage Exhibit Wheaton, IL

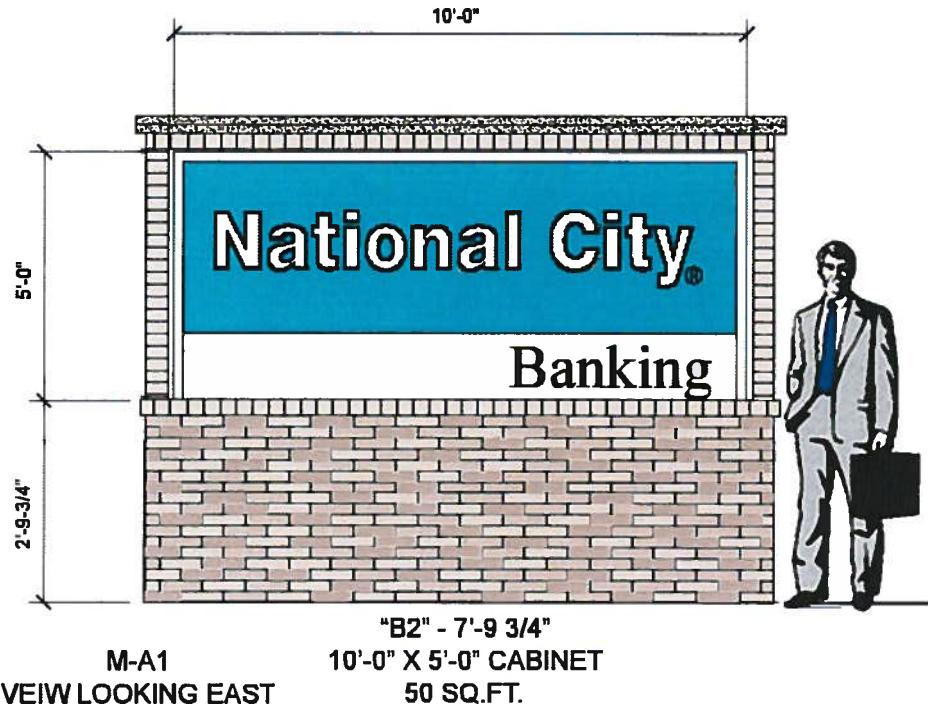


520 South Main St. Suite 2531  
Akron, OH 44311 Ph. 330.572.2100



# National City

Signage Exhibit Wheaton, IL



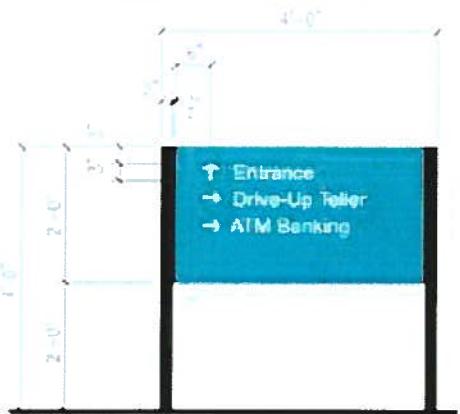
**SINGLE-FACED ILLUMINATED SIGNS - 2 REQUIRED**

FABRICATE AND INSTALL SIGN OF ALUMINUM AND GALVANIZED ANGLE.  
 FACES TO BE CLEAR LEXAN WITH COPY APPLIED SECOND SURFACE.  
 ALL EXPOSED METAL SURFACES TO BE COATED WITH ACRYLIC POLYURETHANE.  
 INTERNAL ILLUMINATION TO BE HIGH OUTPUT FLUORESCENT LAMPS.

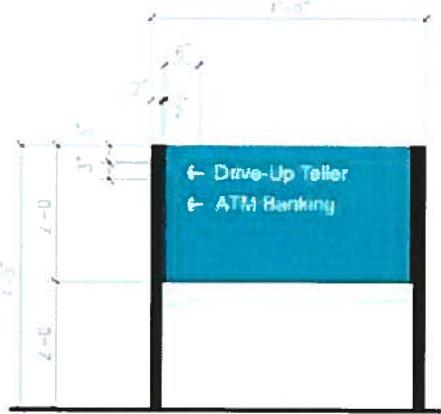
**National City**

Signage Exhibit Wheaton, IL

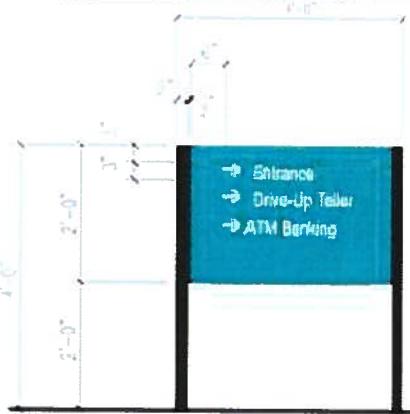




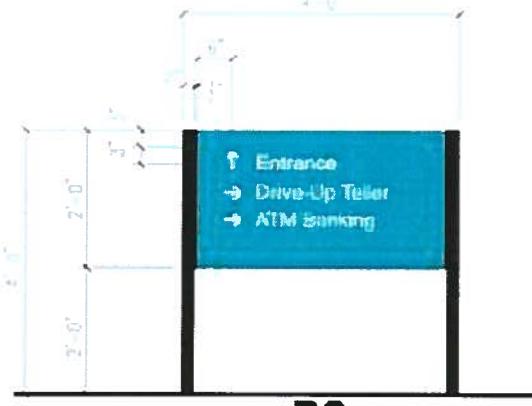
**D1**  
(South Face)



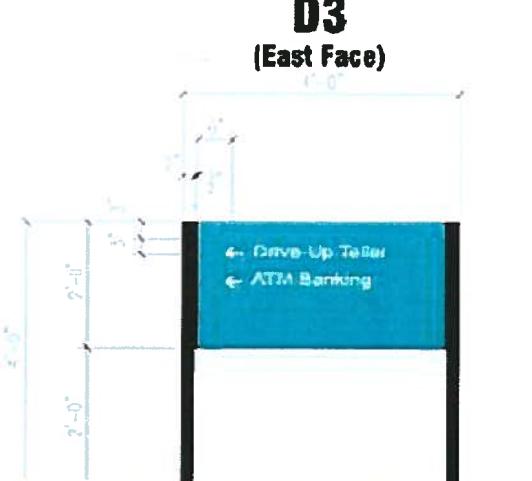
**D1 Back**  
(North Face)



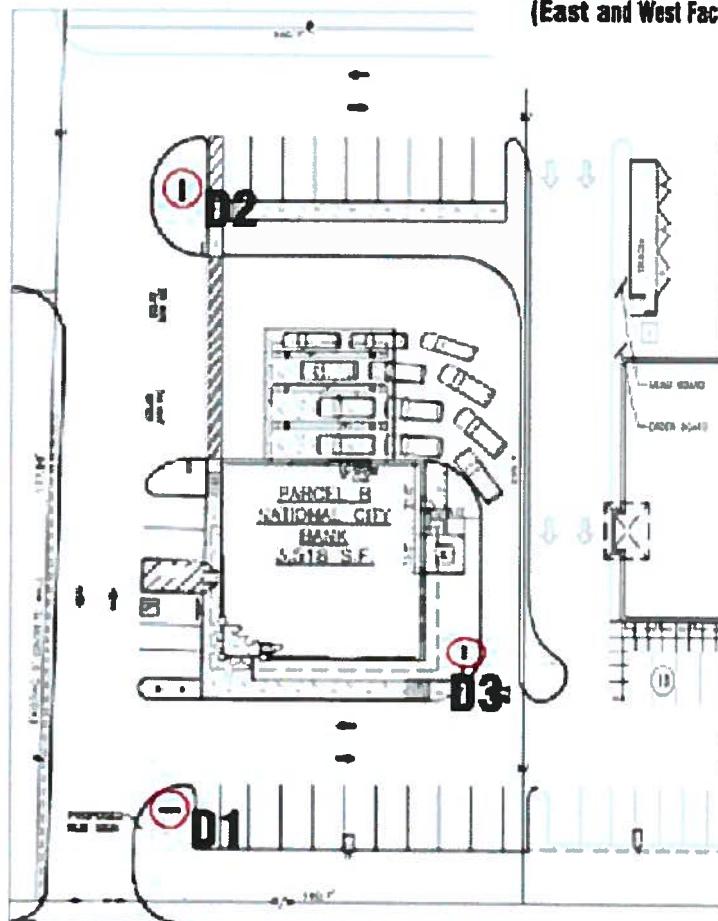
**D2 &**  
**D2 Back Mirrored**  
(East and West Face)



**D3**  
(East Face)



**D3 Back**  
(West Face)



INSTALLATION INSTRUCTIONS  
POSTS TO BE SET IN CONCRETE.  
SIGNS TO BE INSTALLED IN LOCATIONS  
INDICATED ON SITE PLAN.

GENEVA RD.

**SINGLE-FACED DIRECTIONAL**  
FABRICATE AND INSTALL SIGN OF ALUMINUM  
ALL COPY TO BE APPLIED FIRST SURFACE  
ALL EXPOSED METAL SURFACES TO BE COATED  
WITH ACRYLIC POLYURETHANE.  
POSTS TO BE 2" ALUMINUM SQUARE TUBE.  
NO ILLUMINATION.



**National City**

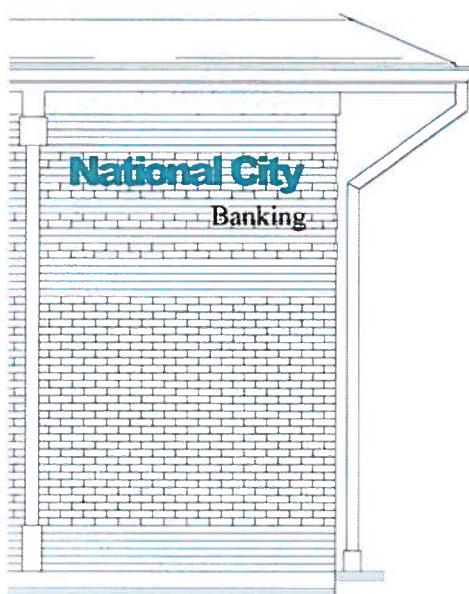
Signage Exhibit Wheaton, IL

# National City

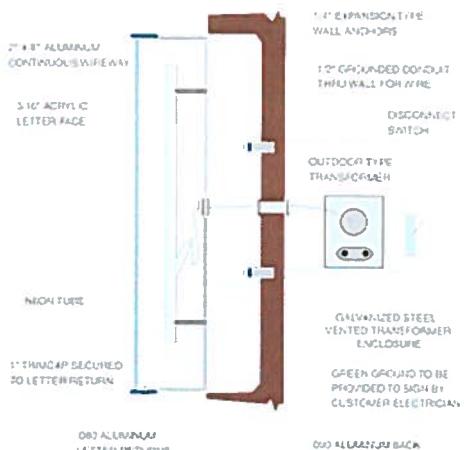
Banking

### ILLUMINATED INDIVIDUAL LETTERS- 1 SETS REQUIRED

FABRICATE AND INSTALL LETTERS OF ALUMINUM AND ACRYLIC.  
FACES TO BE CLEAR ACRYLIC WITH VT2980 3M GREEN VINYL APPLIED SECOND SURFACE.  
TRIMCAP TO BE 1" GREEN JEWELITE.  
RETURNS TO MATCH NCB GREEN PMS 3295C.  
ALL EXPOSED METAL SURFACES TO BE COATED WITH ACRYLIC POLYURETHANE.  
INTERNAL ILLUMINATION TO BE WHITE NEON.



NORTH ELEVATION



INSTALLATION INSTRUCTIONS  
LETTERS TO BE MOUNTED TO WALLS AS INDICATED CONNECT TO ELECTRICAL SERVICE TO BE PROVIDED BY OTHERS.

# National City

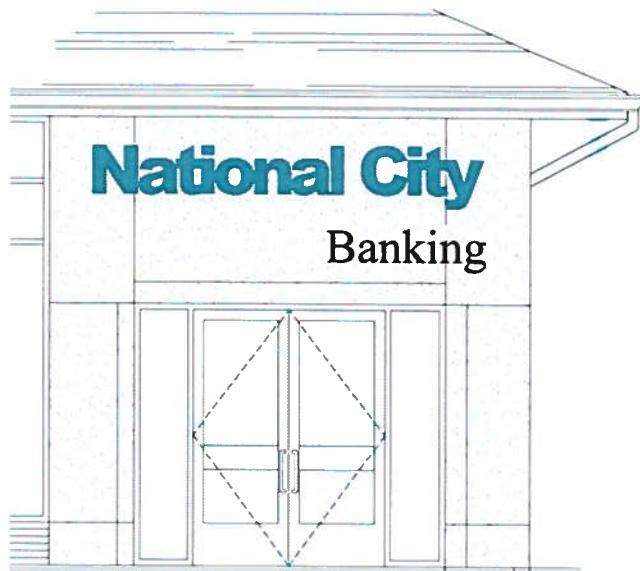
Banking

### ILLUMINATED INDIVIDUAL LETTERS- 2 SETS REQUIRED

FABRICATE AND INSTALL LETTERS OF ALUMINUM AND ACRYLIC.  
FACES TO BE CLEAR ACRYLIC WITH VT2980 3M GREEN VINYL APPLIED SECOND SURFACE.  
TRIMCAP TO BE 1" GREEN JEWELITE.  
RETURNS TO MATCH NCB GREEN PMS 3295C.  
ALL EXPOSED METAL SURFACES TO BE COATED WITH ACRYLIC POLYURETHANE.  
INTERNAL ILLUMINATION TO BE WHITE NEON.



SOUTH ELEVATION



WEST ELEVATION

# National City

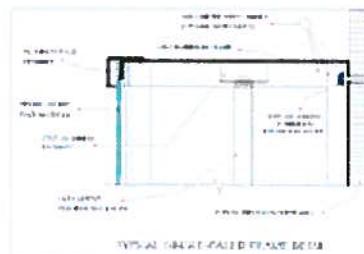
Signage Exhibit Wheaton, IL

  
GPD GROUP  
610 South Main St. Suite 263  
Akron, OH 44311 Ph. 330.872.2160

# ATM Banking

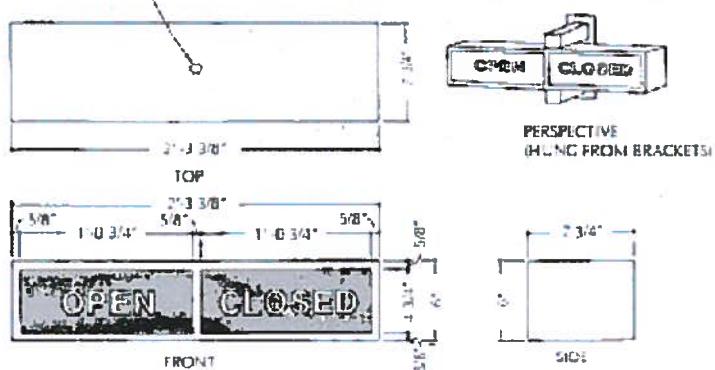
## SINGLE-FACED ILLUMINATED

FABRICATE AND INSTALL SIGN OF ALUMINUM AND GALVANIZED ANGLE.  
FACE TO BE WHITE ACRYLIC WITH COPY APPLIED FIRST TO SURFACE.  
ALL EXPOSED METAL SURFACES TO BE COATED WITH ACRYLIC POLYURETHANE.  
INTERNAL ILLUMINATION TO BE HIGH OUTPUT FLOURESCENT.

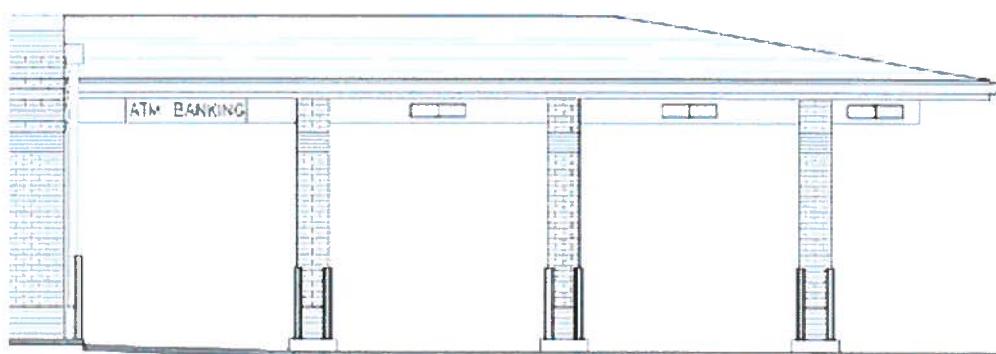


## SIDE-BY-SIDE OPEN/CLOSE SIGN

22mm (7/8") DIA. HOLE IS PROVIDED IN THE TOP AND BACK FOR WIRES AND MOUNTING.  
IF REQUIRED DRILL 22MM (7/8") DIA. HOLE IN BOTTOM TO SUIT BUILDING CONDITIONS.  
SEE TYPICAL METHODS OF ATTACHMENTS



NOTE:  
Optional (2) Brackets Are  
Required As Needed.

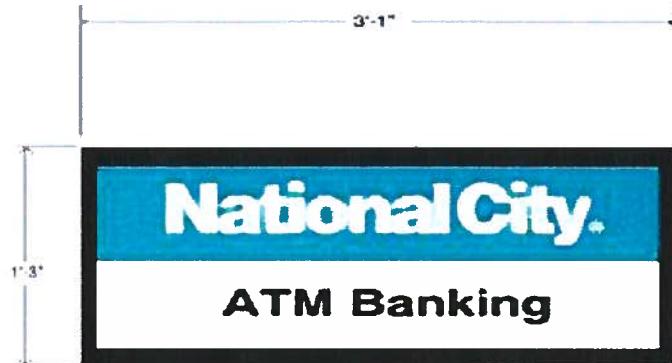


# National City

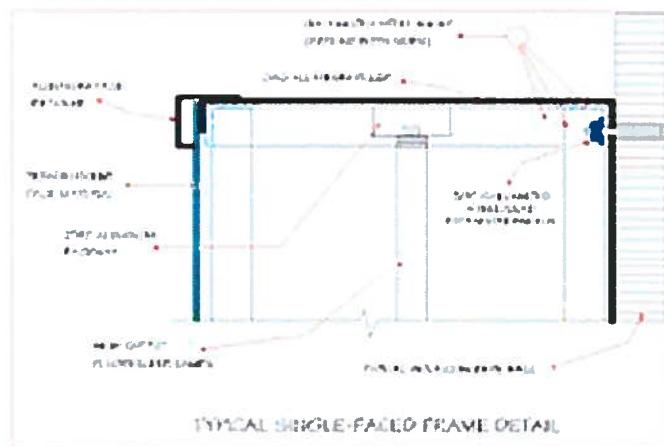
Signage Exhibit Wheaton, IL

GPD GROUP  
Signage Exhibit - ATM Banking  
Wheaton, IL 60187-1700 847.612.2010

INSTALLATION INSTRUCTIONS  
CENTER ABOVE ATM MACHINE.  
ALIGN T ABOVE TOP OF MACHINE.  
CONNECT TO ELECTRICAL SERVICES  
TO BE PROVIDED BY OTHERS



SINGLE-FACED ILLUMINATED SIGN  
FABRICATE AND INSTALL SIGN OF ALUMINUM AND GALVANIZED ANGLE.  
FACE TO BE CLEAR ACRYLIC WITH CANOPY APPLIED SECOND SURFACE.  
ALL EXPOSED METAL SURFACE TO BE COATED WITH ACRYLIC POLYURETHANE.  
INTERNAL ILLUMINATION TO BE HIGH OUTPUT FLUORESCENT LAMPS  
SCALE = 1 1/2" = 1"



**National City**

Signage Exhibit Wheaton, IL

GPD GROUP  
570.542.0441 | 800.522.2211  
407.247.4311 | 800.522.2211

# Proposed Improvements for RETAIL DEVELOPMENT

NORTHWEST CORNER OF GENEVA ROAD AND MAIN STREET (SCHMALE ROAD)  
WHEATON, ILLINOIS

## STANDARD SYMBOLS



## PROJECT LOCATION



LOCATION MAP  
N.T.S.

## NOTES:

- ON SITE WORK ON THIS PROJECT IS TO BE COMPLETED IN CONFORMANCE WITH THE EXISTING CODES AND ORDINANCES OF THE CITY OF WHEATON & DUPAGE COUNTY WHICH TAKES PRECEDENCE OVER REQUIREMENTS AS NOTED ON THESE PLANS AND SPECIFICATIONS.

## ABBREVIATIONS

ADJ	ADJUST
AGG	AGGREGATE GRAVEL
B.A.M.	BIT. AGG. MIXTURE
B-B	BACK TO BACK
B/P	BACK OF PIPE
B/W	BACK OF WALK
BB	BUFFALO BOX
BT.	BUICK CONCRETE
BM	BENCHMARK
B.O.	BOTTOM OF CONCRETE
BY OTHERS	BY OTHERS
CB	CBM
CL	CATCH BASIN
CMP	CORRUGATED METAL PIPE
CNTL	CONTROLLER
CONC	CONCRETE
CY	CUBIC YARD
DIA.	DIA. DIAMETER
DIP	DIP TENSION PIPE
DWM	DUCTILE IRON WATER MAIN
DT	DRAIN TILE
E-E	EDGE
E-E	EDGE TO EDGE
ELEV.	ELEVATION
EDGE OF PAVEMENT	EDGE OF PAVEMENT
EX.	EXISTING
FE	FEET
F-F	FACE TO FACE
F/F	FINISHED FLOOR
FES	FLARED END SECTION

F/L	FLOW LINE
FM	FORCE MAIN
G	GROUND
GAS	GAS LINE AT FOUNDATION
GW	GUY WIRE
HDWL	HEADWALL
HWL	HIGH WATER LEVEL
HYD.	HIGH HYDANT
IN.	INLET
INV.	INVERT
MAX.	MAXIMUM
MB	MANBOY
MIN.	MINIMUM
MIN. WATER LEVEL	MIN. WATER LEVEL
OID	OPEN LID
P.E.	PRIVATE ENTRANCE
POL.	POINT OF LAYDOWN
PCG	POINT OF COMPOUND CURVE
PGI	POINT OF GROWTH LINE
PI	POINT OF INTERSECTION
PL	PROPERTY LINE
PP	PROPOSED
PROP.	PROPOSED
PT	POINT OF TURBANCY
PVC	POINT OF VERTICAL CURVE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
P	PAVEMENT
R	RADIUS
R.O.W.	RIGHT-OF-WAY
RCS	REINFORCED CONCRETE PIPE
REN	REMOVAL
R/R	RIGHT/RIGHT
RT	RIGHT
RT	RIGHT
SA	SANITARY SEWER
SD	SD-SD
SHLD.	SHOULDER
SL	STREET LIGHT
SMH	STORM SEWER
STA.	STATION
STD	STANDARD
SW	SIDEWALK
SY	SQUARE YARDS
TBR	TO BE REMOVED
T	TYPE
T-A	TYPE A
T/C	TOP OF CURB
T/CD	TOP OF CURB/DECK
T/P	TOP OF PIPE
T/W	TOP OF WALK
T/WALL	TOP OF WALL
TEMP.	TEMPORARY
TRANS	TRANSITION
VB	VALVE BOX
VV	VALVE VAV
WL	WATER LEVEL
WM	WATER MAIN

Call 48 hours before you dig  
(Excluding Sat., Sun. & Holidays)

1-800-892-0123



**ARCHITECT**  
HOWARD HIRSCH ASSOCIATES  
225 N. HUBBARD ST. 4TH FLOOR  
CHICAGO, ILLINOIS 60610  
312-836-0011

**DEVELOPER**  
CENTRUM PROPERTIES  
225 N. HUBBARD ST. 4TH FLOOR  
CHICAGO, ILLINOIS 60610  
312-836-2500

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Environmental Scientists • Landscape Architects • Planners • Construction Managers

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## INDEX OF SHEETS

### SHEET NO.

### DESCRIPTION

C1.	TITLE SHEET
C2.	EXISTING TOPOGRAPHY
C3.	DEMOLITION PLAN
C4.	SITE DIMENSIONAL AND PAVING PLAN
C5.	GRADING PLAN
C6.	UTILITY PLAN
C7.	SANITARY SEWER PLAN AND PROFILE
C8.	STORMWATER POLLUTION PREVENTION PLAN
C9.	STORMWATER POLLUTION PREVENTION PLAN DETAILS
C10.	CONSTRUCTION DETAILS
C11.	CONSTRUCTION DETAILS
C12.	SPECIFICATIONS

GENERAL NOTES:	
1.	ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB OR BUILDING FOUNDATION UNLESS NOTED OTHERWISE.
2.	ALL CURBS AND GUTTER SHALL BE 86.12 UNLESS OTHERWISE NOTED.
3.	ALL RADII ARE MEASURED TO FACE OF CURB UNLESS NOTED OTHERWISE.
4.	ALL CURB RADII SHALL BE 3' MEASURED TO FACE OF CURB UNLESS NOTED OTHERWISE.
5.	BUILDING DIMENSIONS AND ADJACENT PARKING AND UTILITY LOCATIONS HAVE BEEN DETERMINED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE CONTRACTOR IS REQUIRED TO NOTIFY ARCHITECT AND ENGINEER OF ANY BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.
6.	EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS AS PREPARED BY MANHARD CONSULTING LTD ON 09-09-05. CONTRACTOR SHALL CHECK EXISTING ELEVATIONS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION AND NOTIFY ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.
7.	THE CONTRACTOR SHALL CONTACT JULLIE, 1-800-892-0123 PRIOR TO ANY WORK TO LOCATE UTILITIES. IF CONFLICTS EXIST THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
8.	ROUTING OF GAS, ELECTRIC AND TELEPHONE SERVICES IF SHOWN UPON APPROXIMATE LOCATIONS AND ELEVATIONS BASED UPON FINAL REVIEW AND APPROVAL BY RESPECTIVE UTILITY COMPANIES AND OWNER. CONTRACTOR SHALL CONTACT EACH UTILITY COMPANY AND COORDINATE FINAL LOCATIONS OF ALL UTILITY SERVICES PRIOR TO START OF CONSTRUCTION.
9.	CONTRACTOR SHALL EXCAVATE AND VERIFY ALL EXISTING SEWER OR WATER MAIN LOCATIONS, SIZES, CONDITIONS & ELEVATIONS PRIOR TO STARTING CONSTRUCTION AND NOTIFY THE OWNER OF ANY DISCREPANCIES OR CONFLICTS.
10.	IMPROVEMENTS ADJACENT TO BUILDING IF SHOWN SUCH AS TRUCK DOCKS, RETAINING WALLS, SIDEWALKS, CURBING, CAMPING SPOTS, PUBLIC ACCESS, DRUMS, DRUMSTERS, AND TRANSFORMERS ETC. HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND SPECIFICATION DETAILS.
11.	LIGHTING AND UNDERGROUND CABLE IF SHOWN ON PLANS ARE FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR SPECIFICATIONS AND DETAILS.
12.	THE CONTRACTOR SHALL ADJUST RIM ELEVATIONS OF ALL EXISTING STRUCTURES TO PROPOSED GRADES AS INDICATED ON PLANS.
13.	CONTRACTOR TO VERIFY LOCATION, SIZES, AND ELEVATION OF ALL BUILDING SERVICE LOCATIONS WITH ARCHITECTURAL PLANS.

UTILITY CONTACTS		
MUNICIPALITY CITY OF WHEATON WHEATON CITY HALL 303 WEST WESLEY STREET P.O. BOX 727 WHEATON, IL 60189	SANITARY & STORM SEWER CITY OF WHEATON PUBLIC WORKS BUILDING 821 WEST LIBERTY DRIVE WHEATON, IL 60187 (630) 260-2107 CONTACT: MIKE JANKOVIC	WATER CITY OF WHEATON PUBLIC WORKS BUILDING 821 WEST LIBERTY DRIVE WHEATON, IL 60187 (630) 260-2052 CONTACT: AL MCMILLEN
CITY ENGINEER WHEATON CITY HALL 3-3 WEST WESLEY STREET P.O. BOX 727 WHEATON, IL 60187 (630) 260-2065 CONTACT: PAUL REDMAN	GAS: NICOR 90 N FINLEY RD GLEN ELLYN, IL 60137 (630) 896-1684 X 218 CONTACT: RYAN BINKS	TELEPHONE: SBC 40 S MITCHELL COURT FLOOR 1 ADDISON, IL 60101 (630) 620-5463 CONTACT: TOM QUATTROCCHI
ACCESS DRIVES DUPAGE COUNTY D.O.T. 421 N. COUNTY FARM ROAD WHEATON, IL 60187 (630) 682-7318 CONTACT: ROBERT KOLAR	ELECTRIC COMED (630) 437-2236 (PH) (630) 437-2354 (FX) CONTACT: TOM STUTZMAN	

**C1 of C12**  
6484  
PENDING APPROVAL - NOT FOR CONSTRUCTION

**Manhard Consulting, Ltd.**

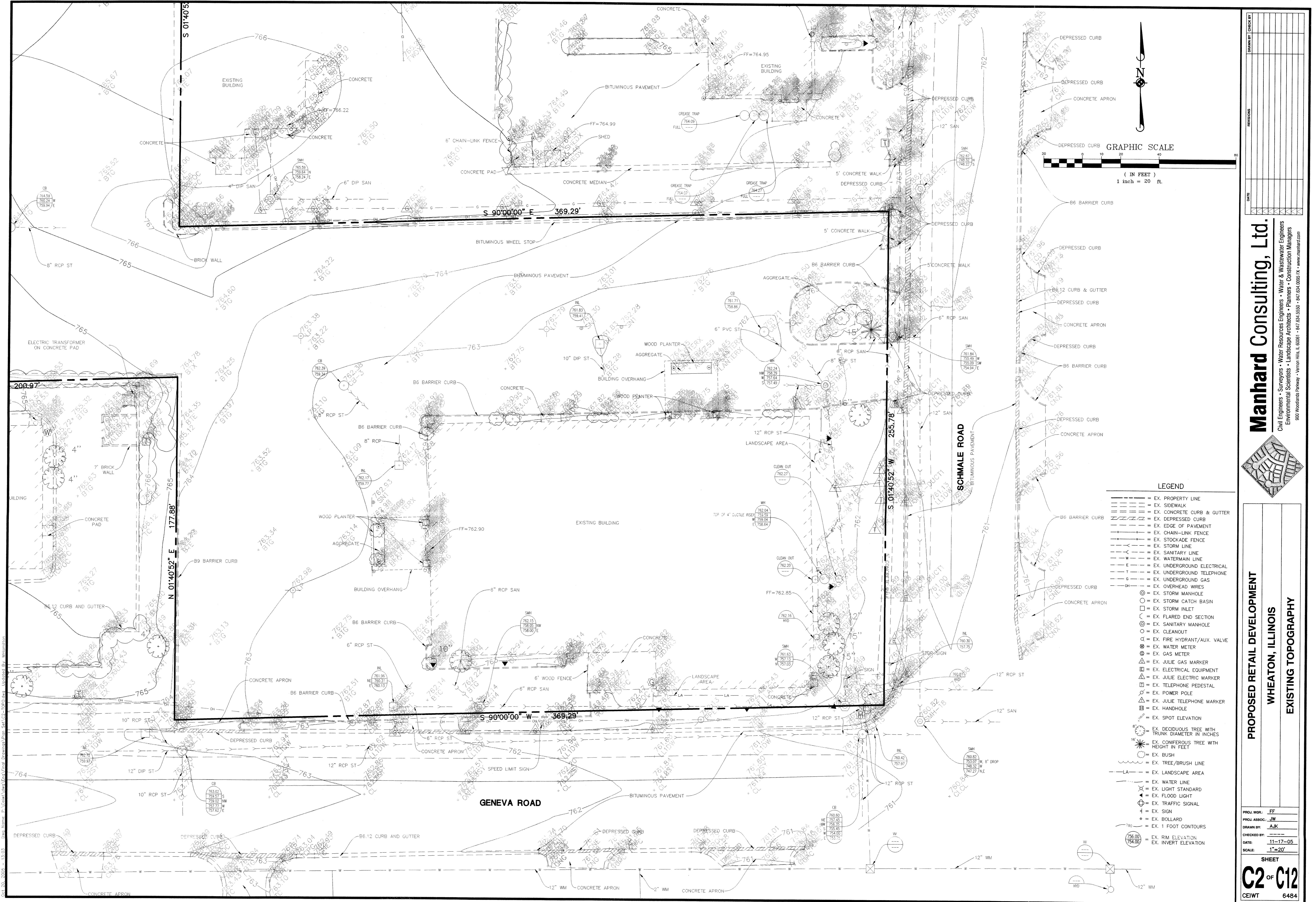
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**PROPOSED RETAIL DEVELOPMENT**  
**WHEATON, ILLINOIS**  
**TITLE SHEET**

PROJ. MGR. FF  
PROJ. ASSOC. JW  
DRAWN BY A.J.K.  
CHECKED BY ----  
DATE: 11-17-05  
SCALE: N.T.S.  
SHEET C1 of C12  
6484

SEAL



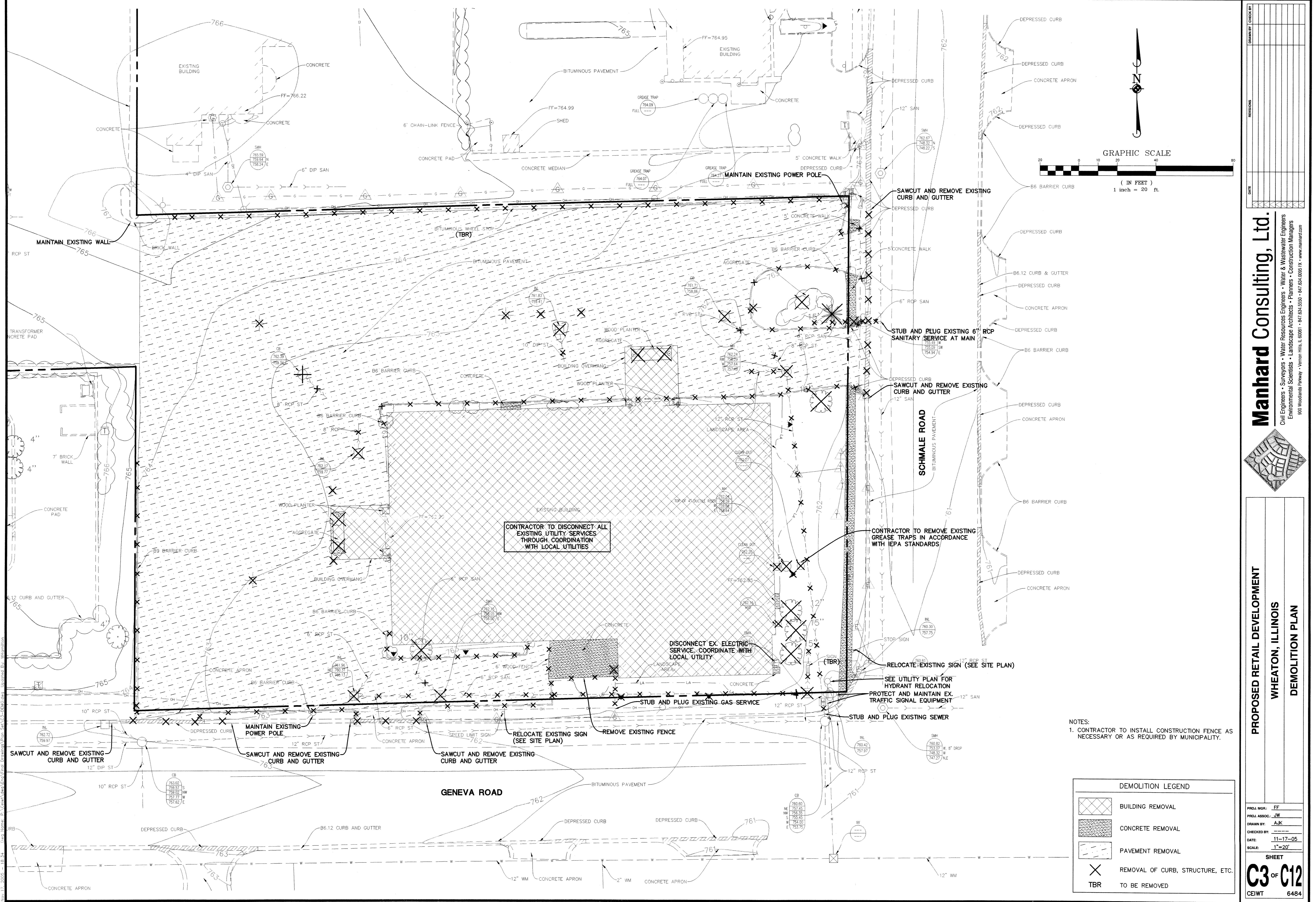
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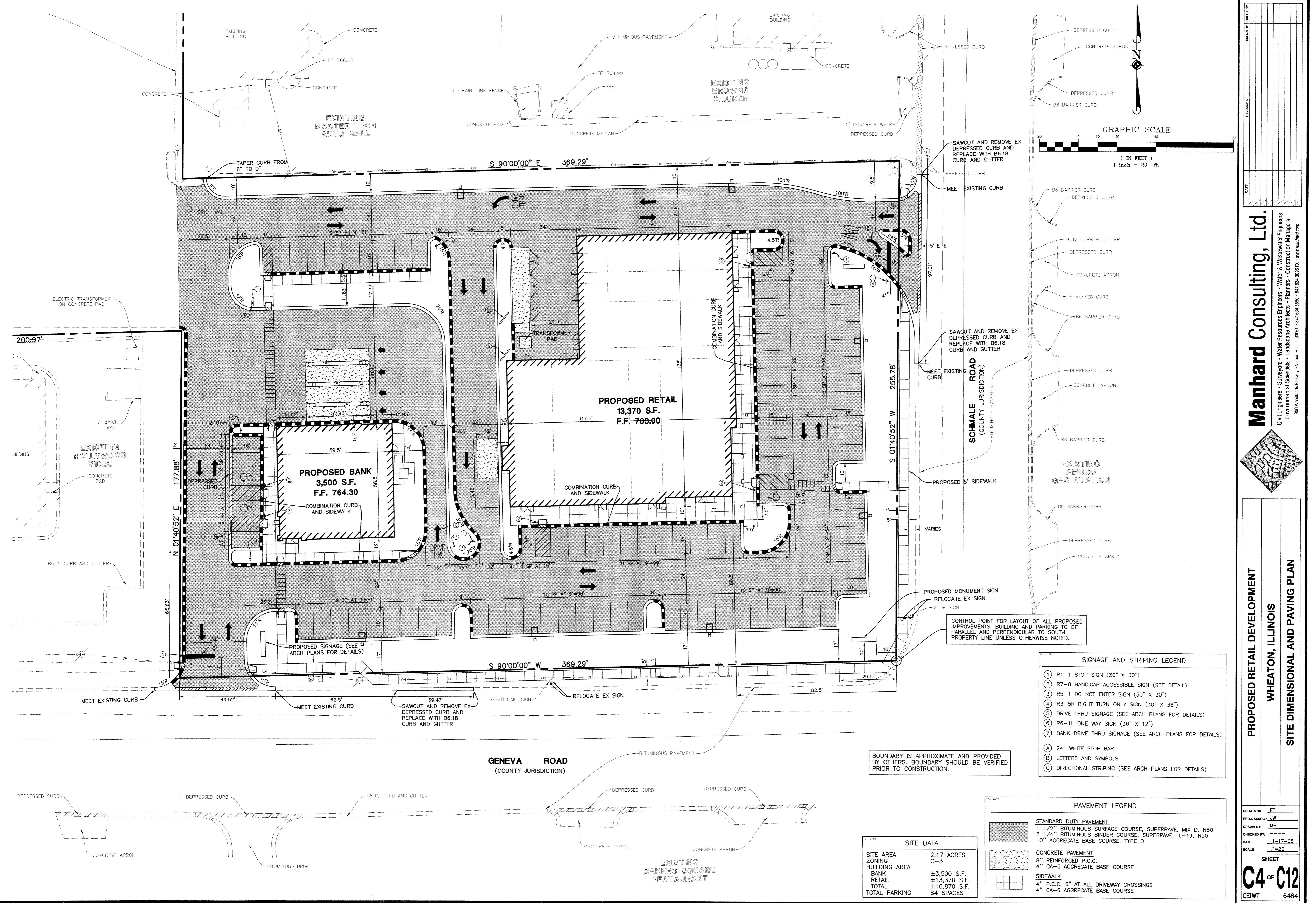
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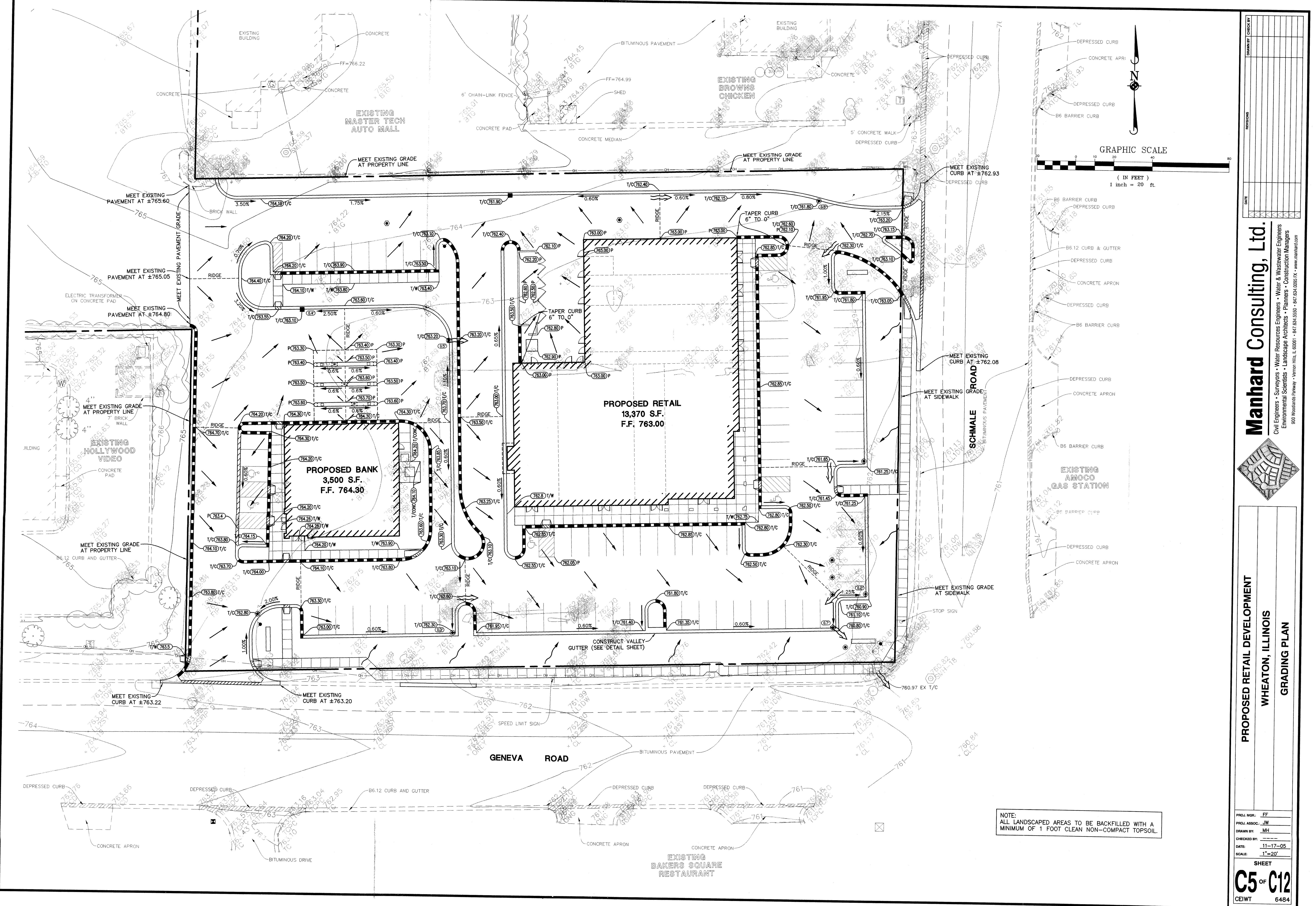
## PROPOSED RETAIL DEVELOPMENT

WHEATON, ILLINOIS

DEMOLITION PLAN



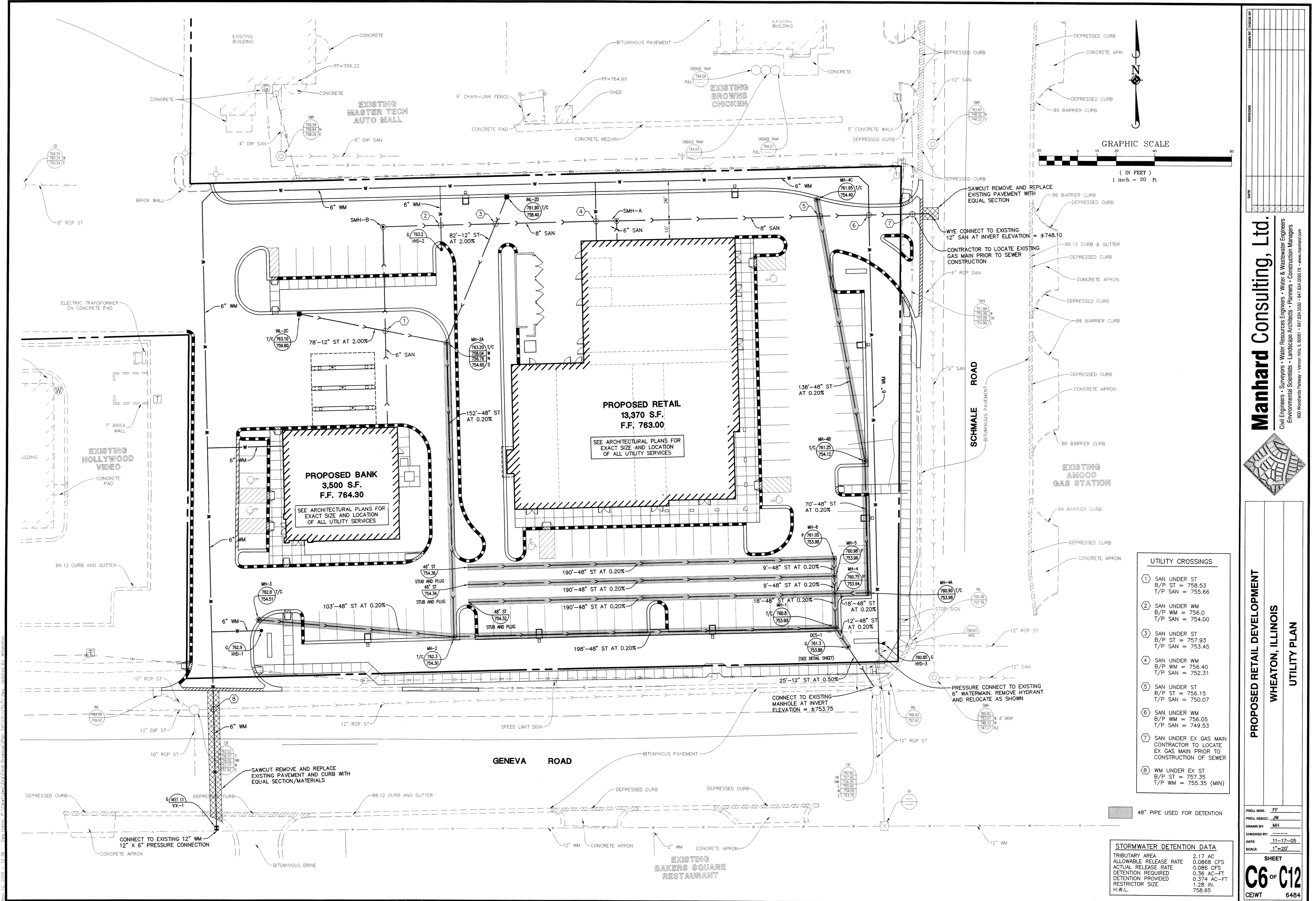


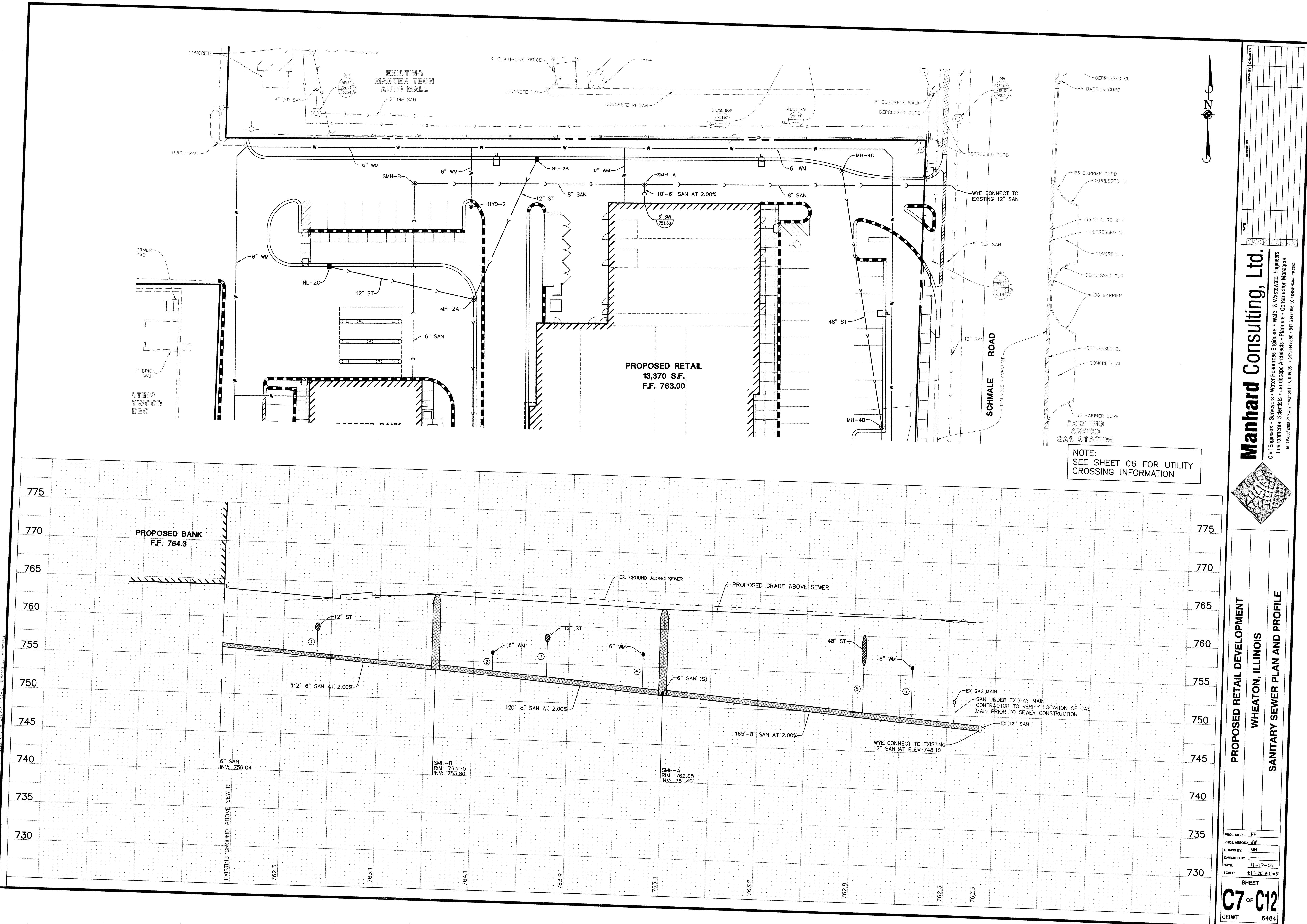


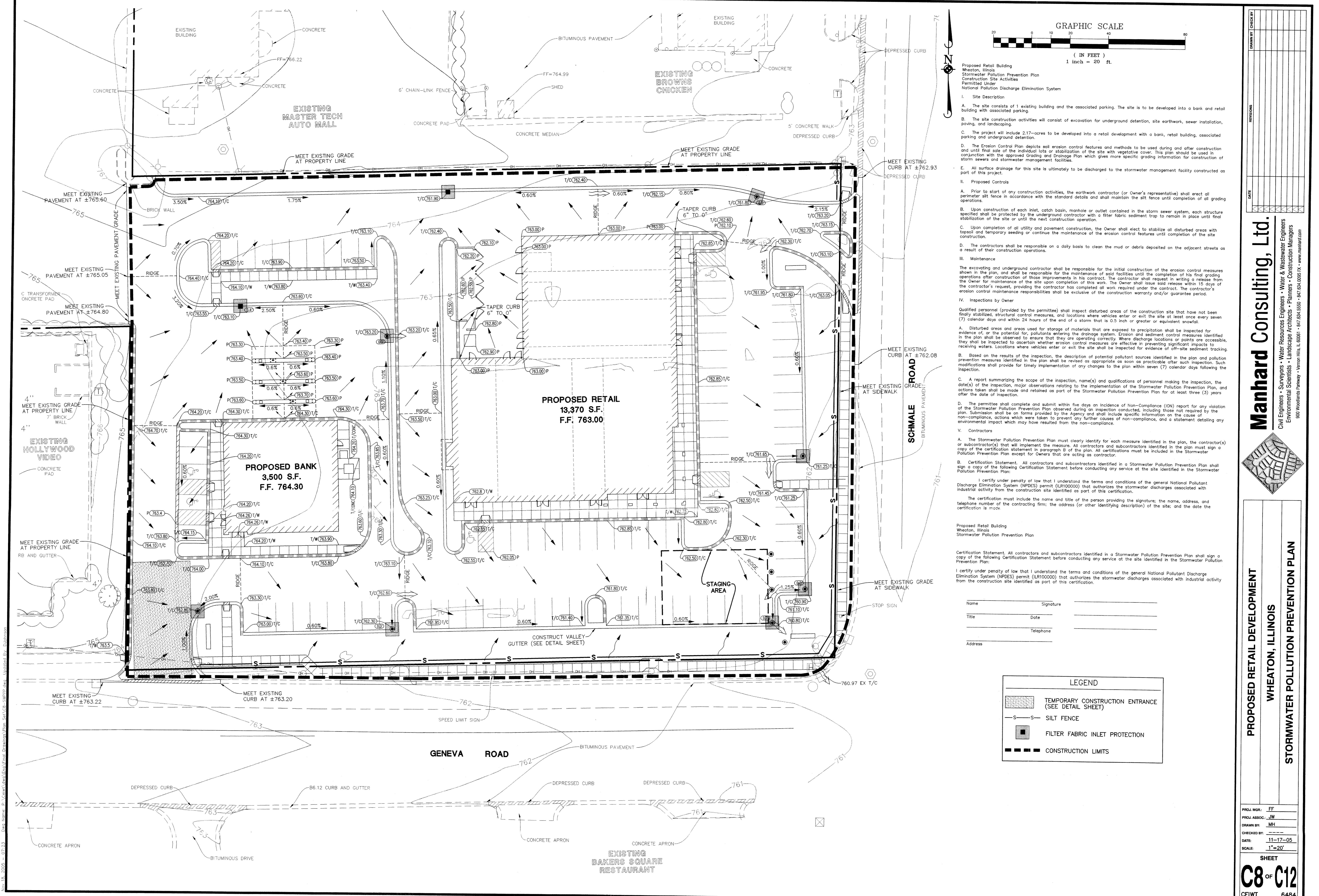
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PROPOSED RETAIL DEVELOPMENT  
WHEATON, ILLINOIS  
GRADING PLAN



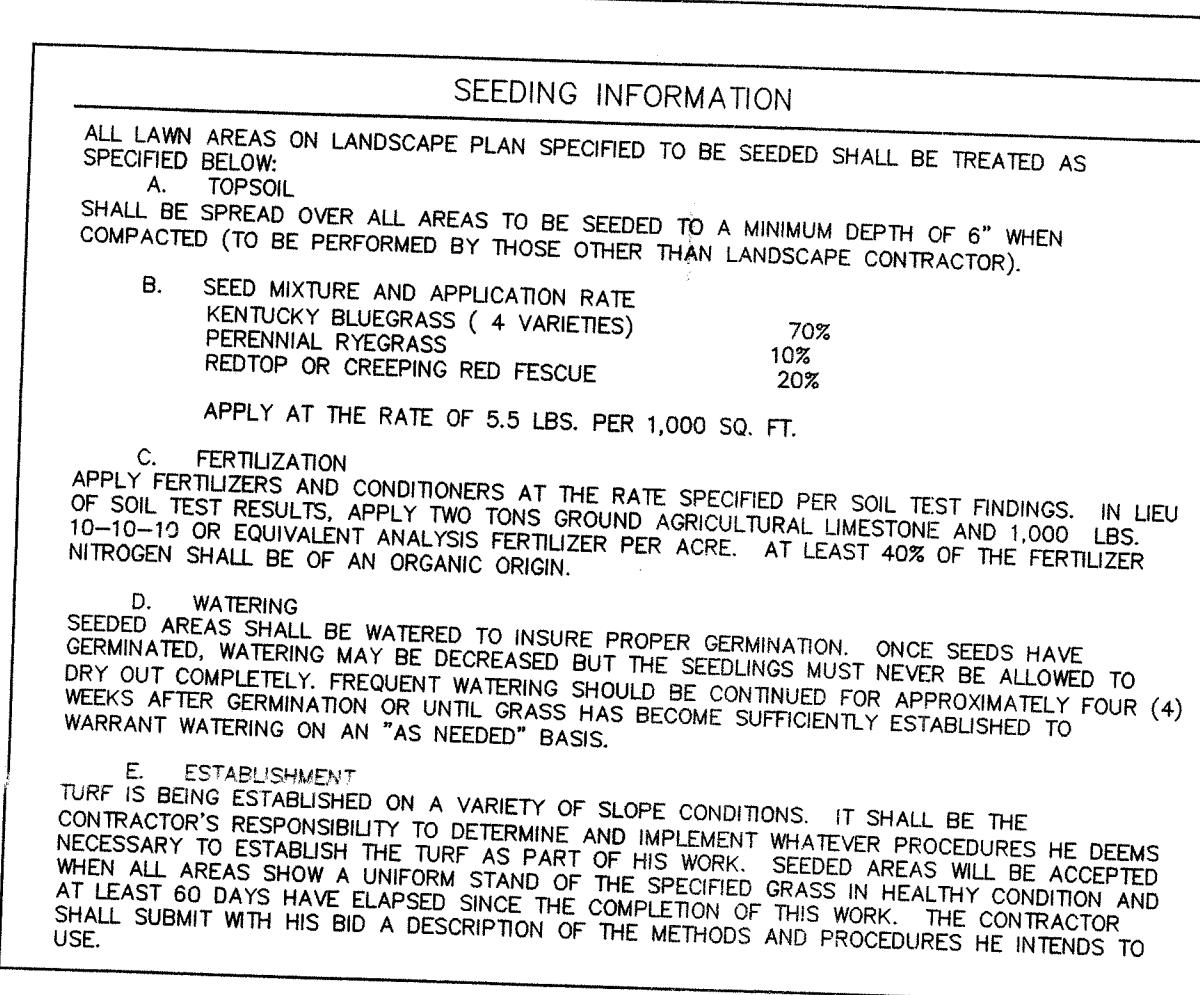
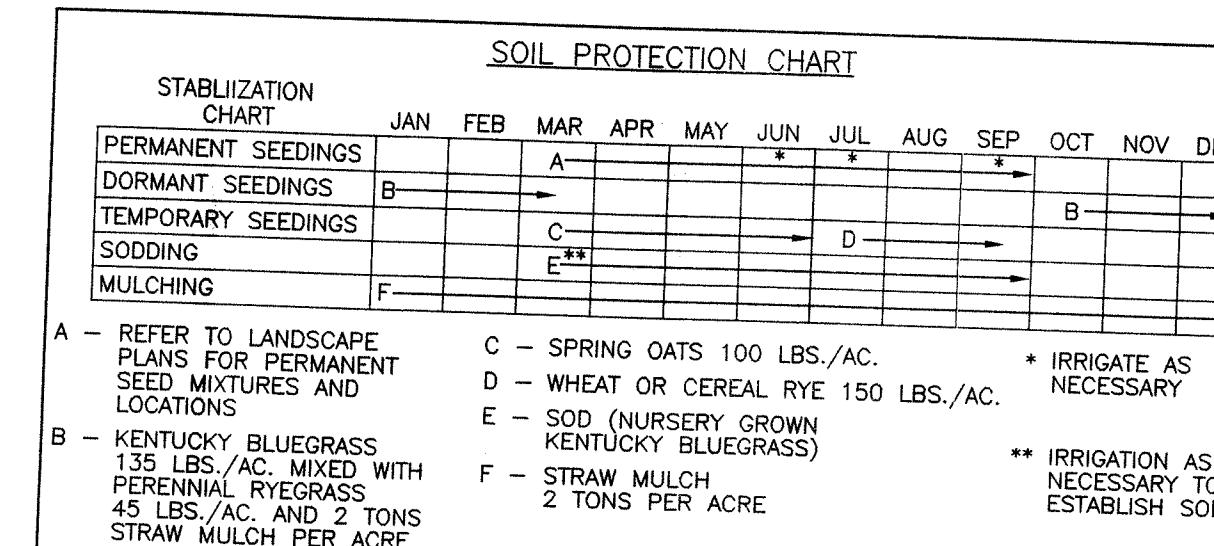




**LONG-TERM STORMWATER MAINTENANCE PLAN  
PROPOSED RETAIL DEVELOPMENT  
WHEATON, ILLINOIS  
October 21, 2005**

ITEM	INSPECTION FREQUENCY	CONCERNS	REPAIR WORK
1. Storm Inlets/Manholes	Fall/Spring	Clogging with Leaves/ Siltation at Invert	Remove Leaves and Debris/ Remove Silt From Manhole
2. Storm Lines	Fall/Spring	Siltation/Debris	Visually Inspect Pipes and Remove Siltation/Debris
3. Swales/Ditches	Yearly	Trash/Debris/ Ponded Water	Remove Trash and Debris/ Regrade to Achieve Positive Drainage
4. Outlet Control Structures	Monthly	Clogged Restrictor/ Reduced Discharge	Inspect Restrictor/Remove Debris Clogging Restrictor/Monitor Discharge During High Water
5. Underground Detention Basin	*Yearly	Sediment accumulation in detention basin	Inspection and Removal of Sedimentation

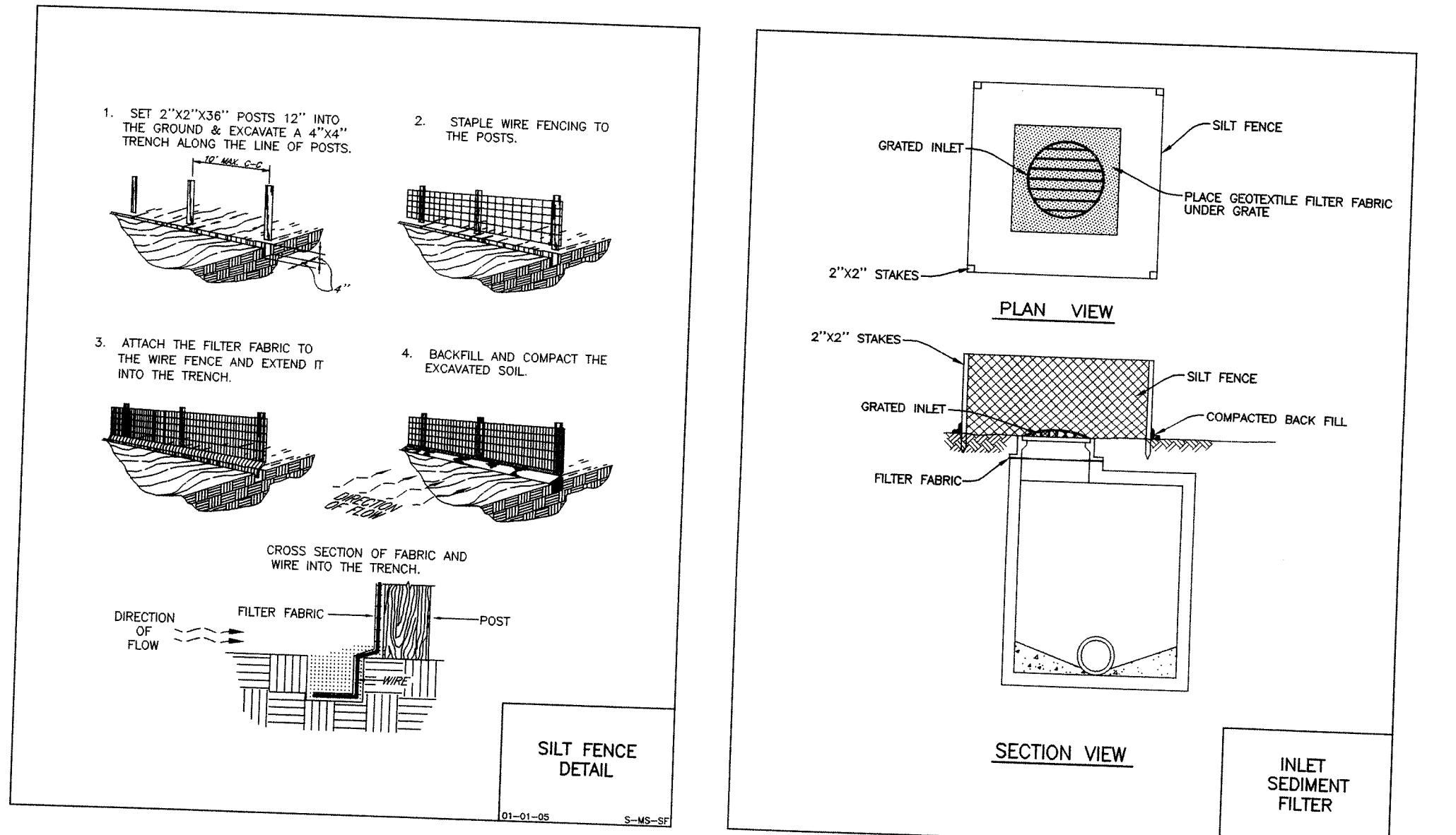
\* Note : To be inspected annually until it can be determined how fast it fills with sediment. The basin must be cleaned when the average sediment reaches 2 inches representing a loss of approx. 5% of total volume.



## SOIL EROSION AND SEDIMENTATION CONTROL GENERAL NOTES:

**EROSION CONTROL GENERAL NOTES:**

1. INSTALL ALL PERIMETER SILT FENCING PRIOR TO ANY CLEARING OR GRADING. ONSITE SEDIMENT CONTROL MEASURES AS SHOWN AND SPECIFIED BY THIS EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE CONSTRUCTED AND FUNCTIONAL PRIOR TO INITIATING CLEARING, GRADING, STRIPPING, EXCAVATION OR FILLING ACTIVITIES ON THE SITE.
2. STORM WATERS FALLING ON THE ENTIRE SITE SHALL BE DIVERTED INTO THE DETENTION BASIN, PRIOR TO BEGINNING MASS EXCAVATION, THE CONTRACTOR SHALL CONSTRUCT DITCHES, SWALES, SEDIMENTATION TRAPS AND SILTATION CONTROL MEASURES AS REQUIRED TO INTERCEPT SURFACE WATERS BEFORE THEY FLOW ONTO ADJACENT PROPERTY AND CONVEY THEM TO THE DETENTION BASIN.
3. DISTURBED AREAS SHALL BE STABILIZED BY SEEDING WITHIN SEVEN (7) DAYS OF COMPLETION OF DISTURBANCE AND GRASS SOWN AS NECESSARY TO RE-ESTABLISH VEGETATION FOR CONTROL OF SILTATION AND SOIL EROSION.
4. TEMPORARY SEED MIXTURE SHALL BE APPLIED AT 64 LBS/ACRE.
5. FILTER FABRIC SHALL BE INSTALLED UNDER THE GRATING OF EACH DRAINAGE STRUCTURE. FABRIC SHALL BE CUT LARGE ENOUGH SUCH THAT ENTIRE GRATE IS COVERED WITH 24" MIN. OVERHANG TO COLLECT SEDIMENT.
6. TOPSOIL STOCKPILES SHALL BE SEDED WITHIN SEVEN (7) CALENDAR DAYS OF COMPLETION FOR EROSION CONTROL. ALL SOIL STORAGE PILES SHALL BE PROTECTED FROM EROSION WITH SILT FENCE ON THE DOWN SLOPE SIDE OF THE PILES.
7. WATER PUMPED DURING CONSTRUCTION OPERATION SHALL BE FILTERED.
8. DUST CONTROL SHALL BE PERFORMED ON A DAILY BASIS USING WATER DISPERSED FROM TRUCK MOUNTED TANK WITH STANDARD DISCHARGE HEADER TO PROVIDE A UNIFORM RATE OF APPLICATION WHERE REQUIRED.
9. TEMPORARY GRAVEL CONSTRUCTION ENTRANCES SHALL BE MAINTAINED, ADJUSTED, OR RELOCATED AS NECESSARY TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC ROADWAYS. ANY SEDIMENT REACHING A PUBLIC ROAD SHALL BE REMOVED BY SHOVELING OR STREET CLEANING BEFORE THE END OF EACH WORKING DAY.
10. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED TO ASSURE EFFECTIVE PERFORMANCE.
11. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY THE MUNICIPALITY AS CONSTRUCTION PROGRESSES.
12. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH ALL JURISDICTIONAL GOVERNMENTAL AGENCY REQUIREMENTS WITHIN 30 DAYS OF FINAL STABILIZATION.
13. OVERLAND FLOW SHALL BE DIRECTED TO THE RETENTION BASIN PRIOR TO LEAVING THE SITE.
14. ALL EROSION AND SEDIMENTATION CONTROL SHALL BE IN ACCORDANCE WITH THE MUNICIPALITIES EROSION AND SEDIMENTATION CONTROL ORDINANCES.

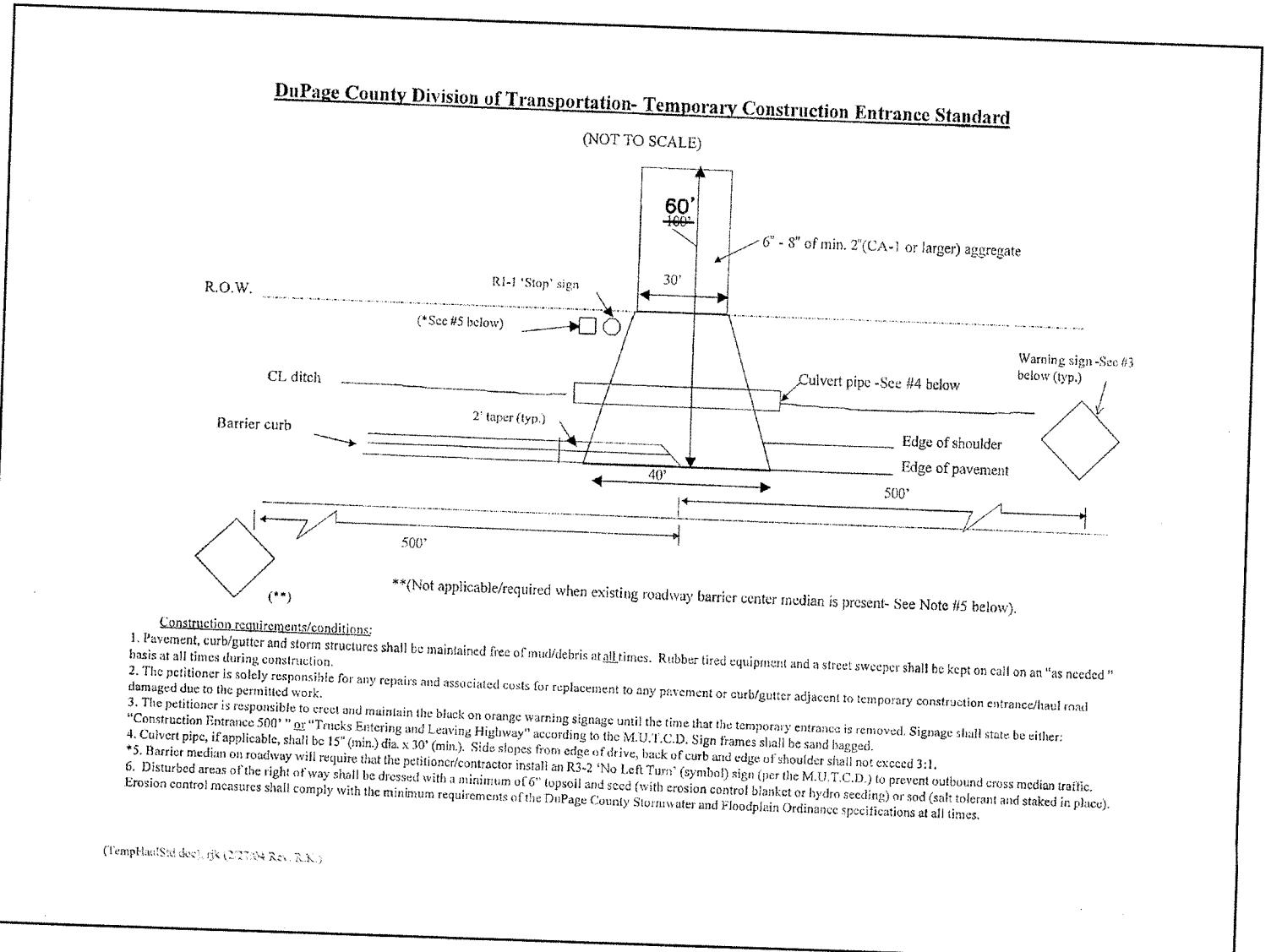
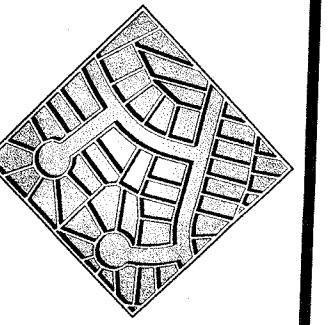


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# FOCUSSED RETAIL DEVELOPMENT WHEATON, ILLINOIS

# WHEATON, ILLINOIS



MGR.:	FF
ASSOC.:	JW
BY:	MH
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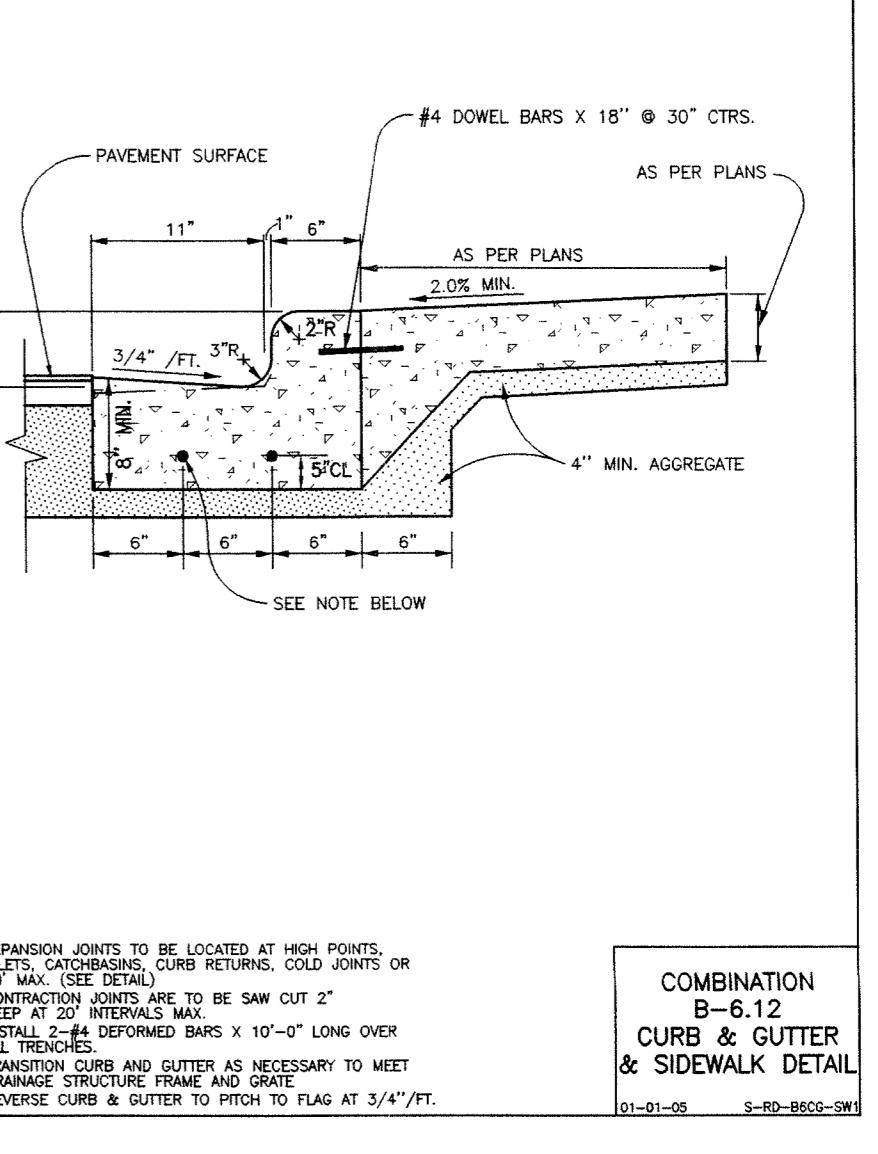
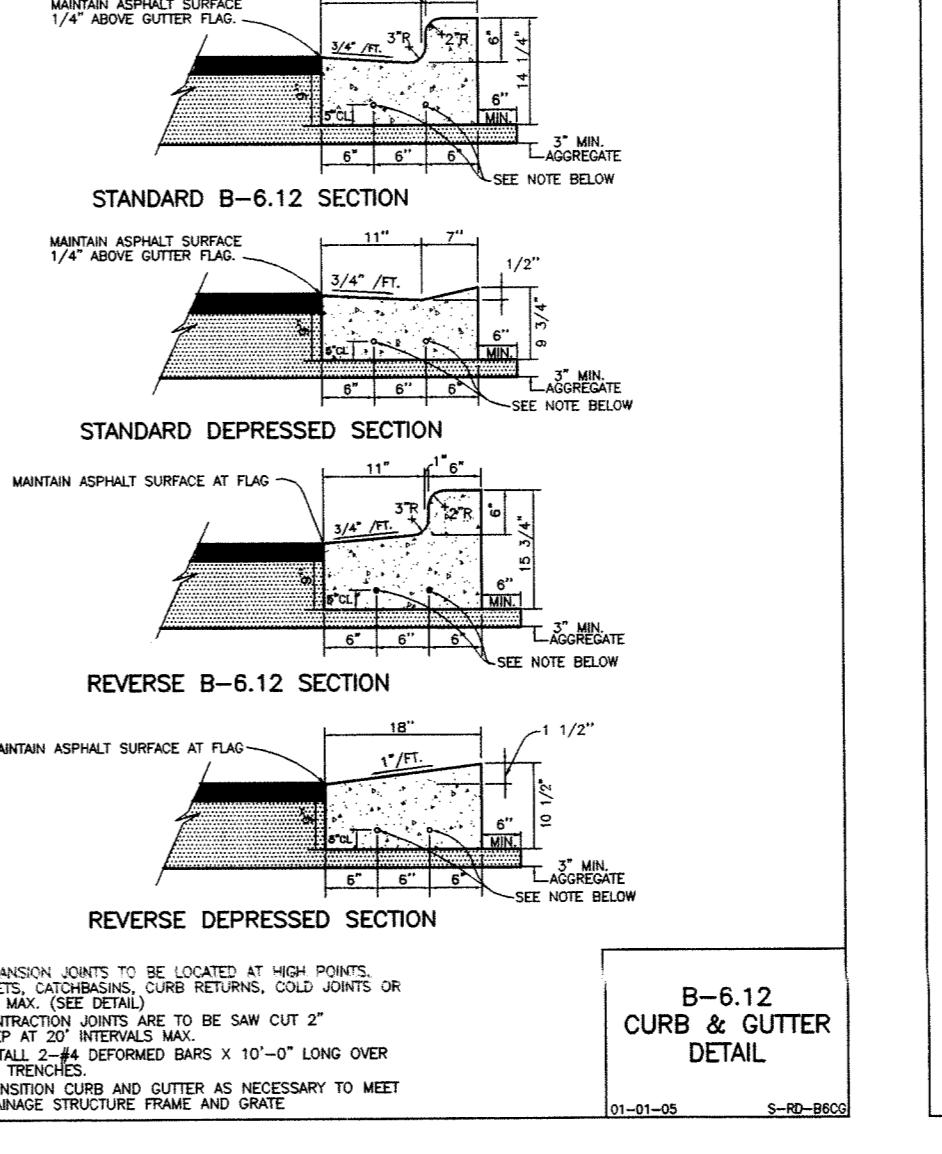
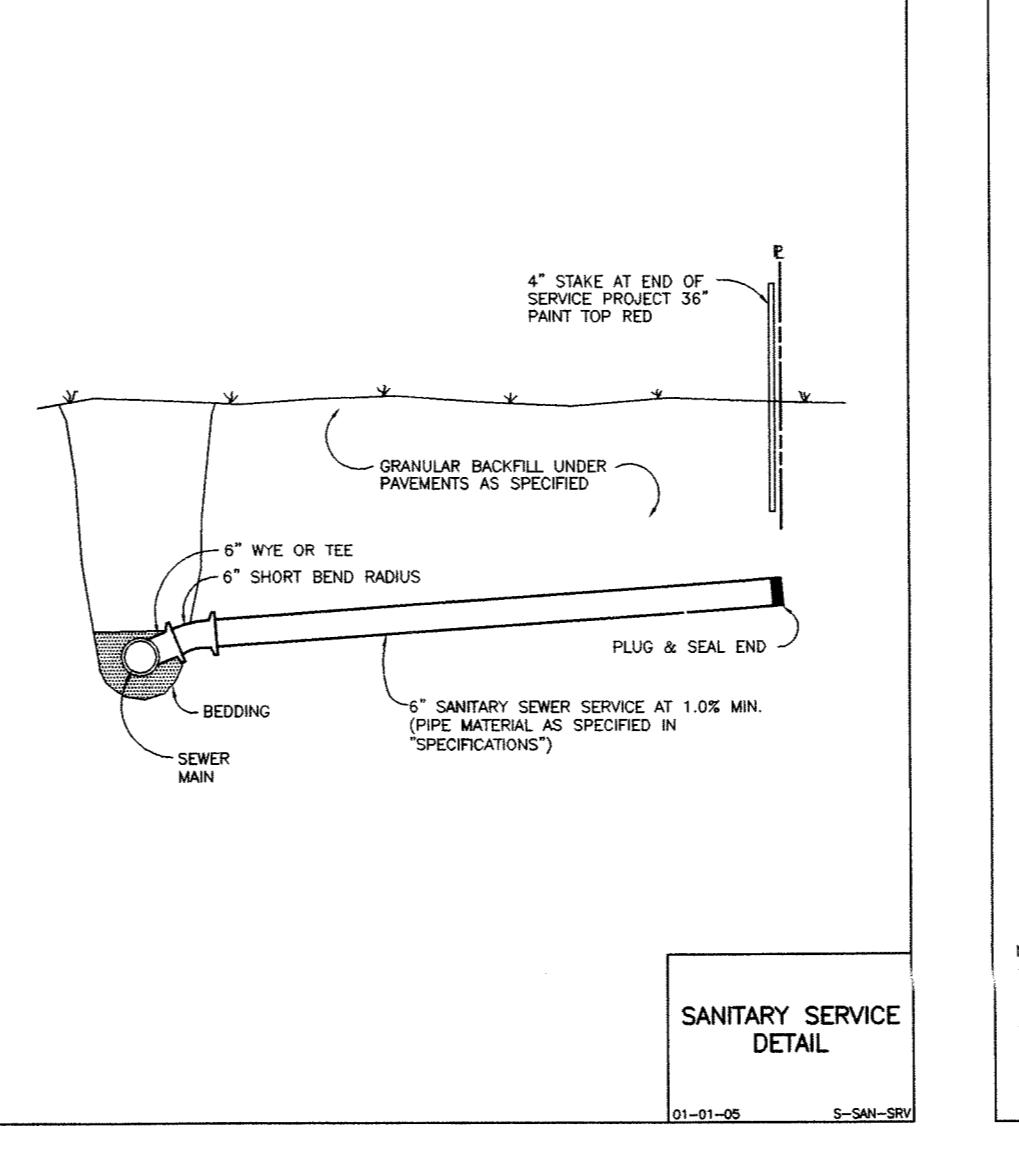
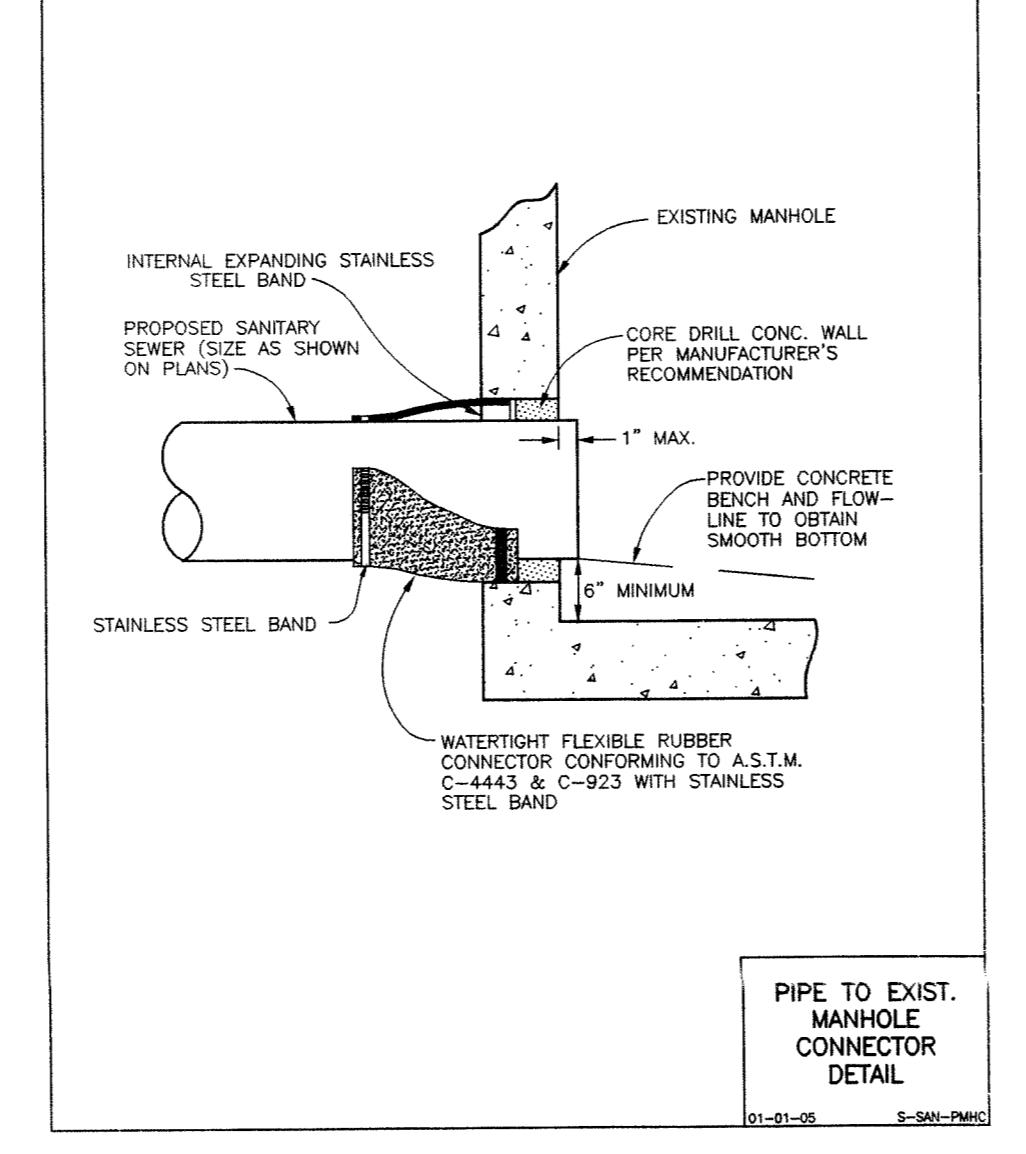
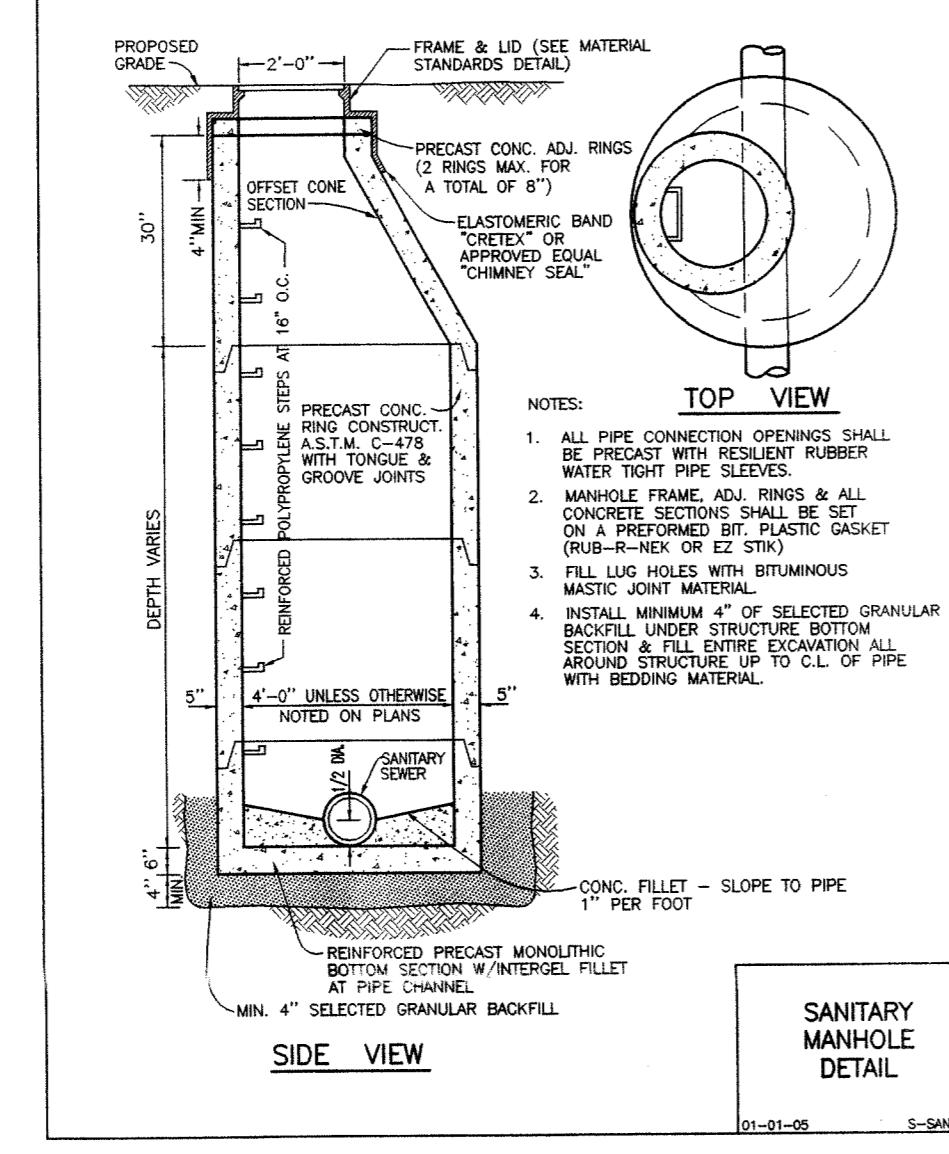
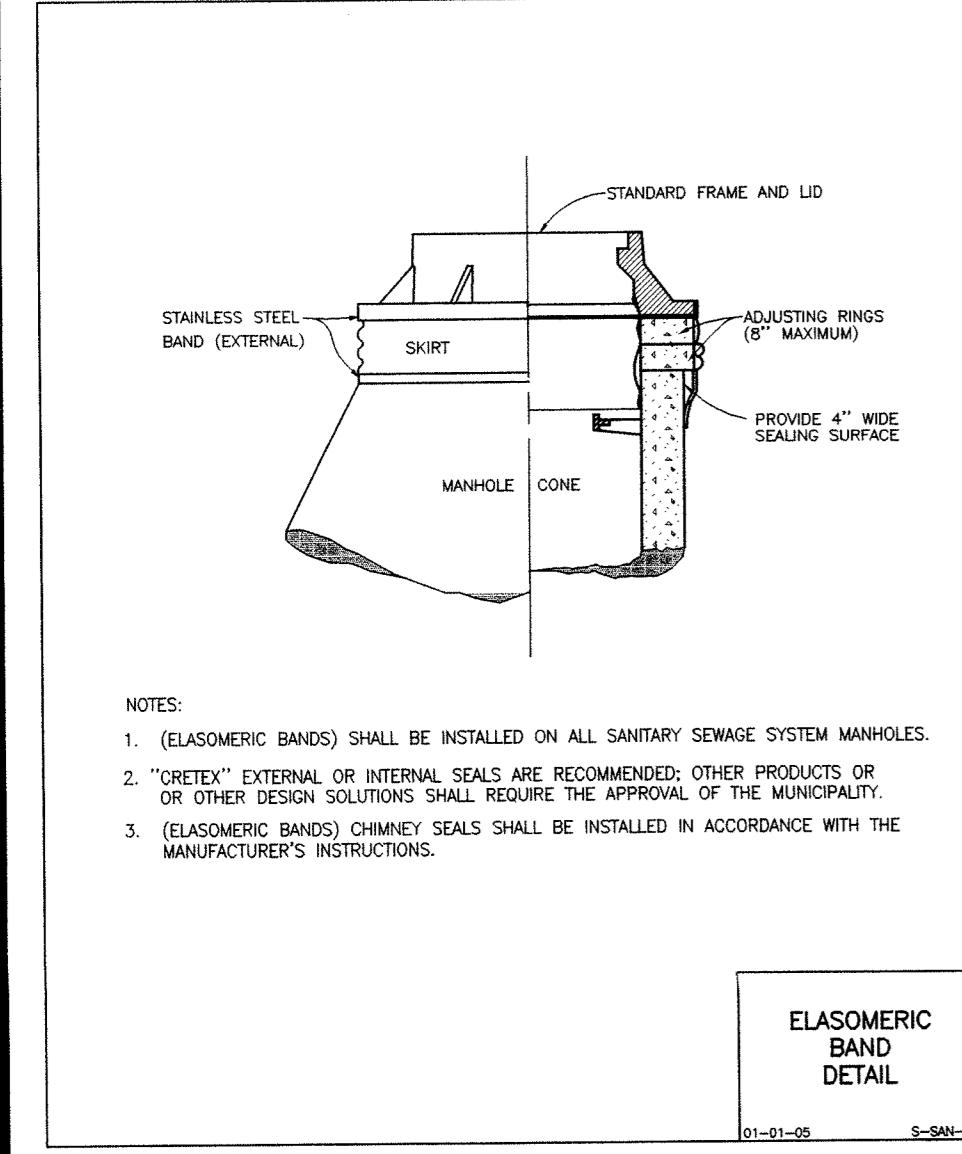
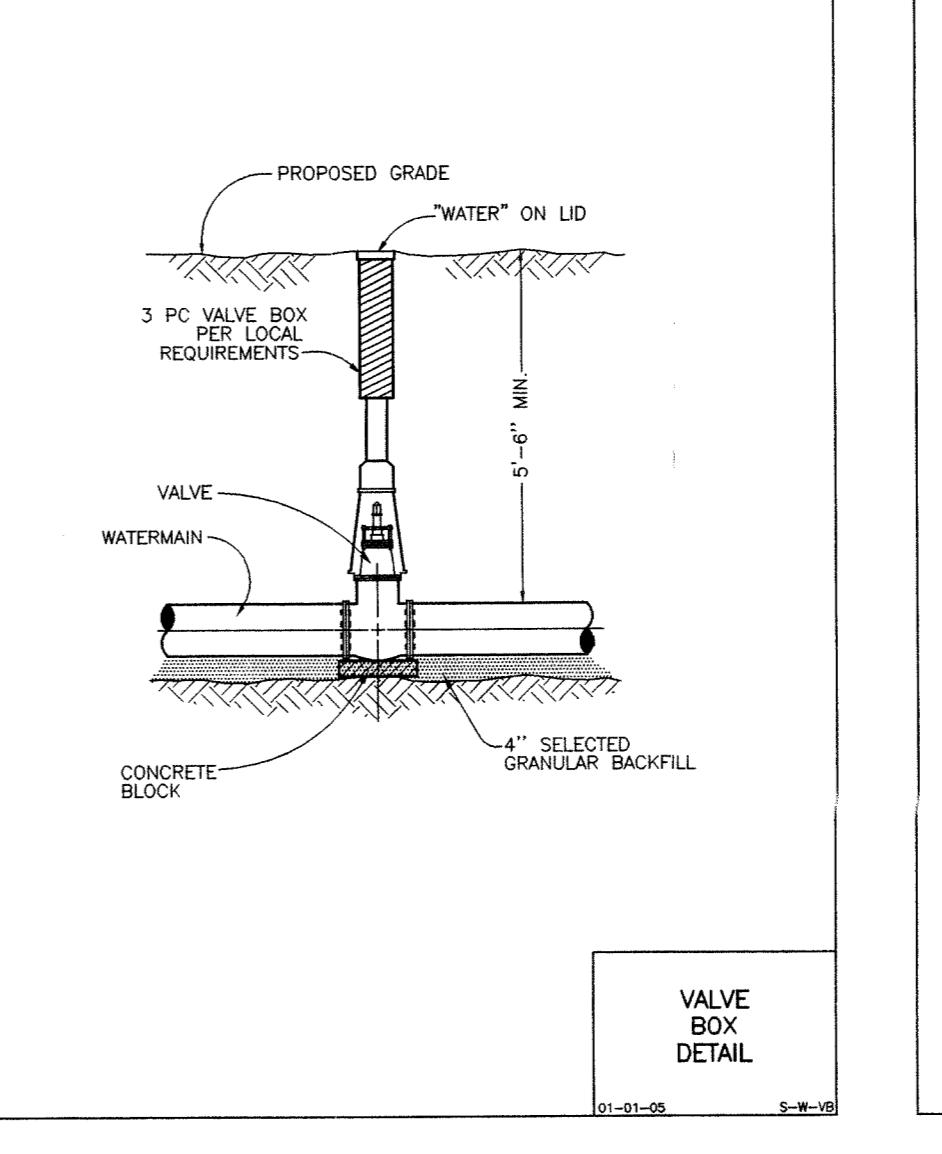
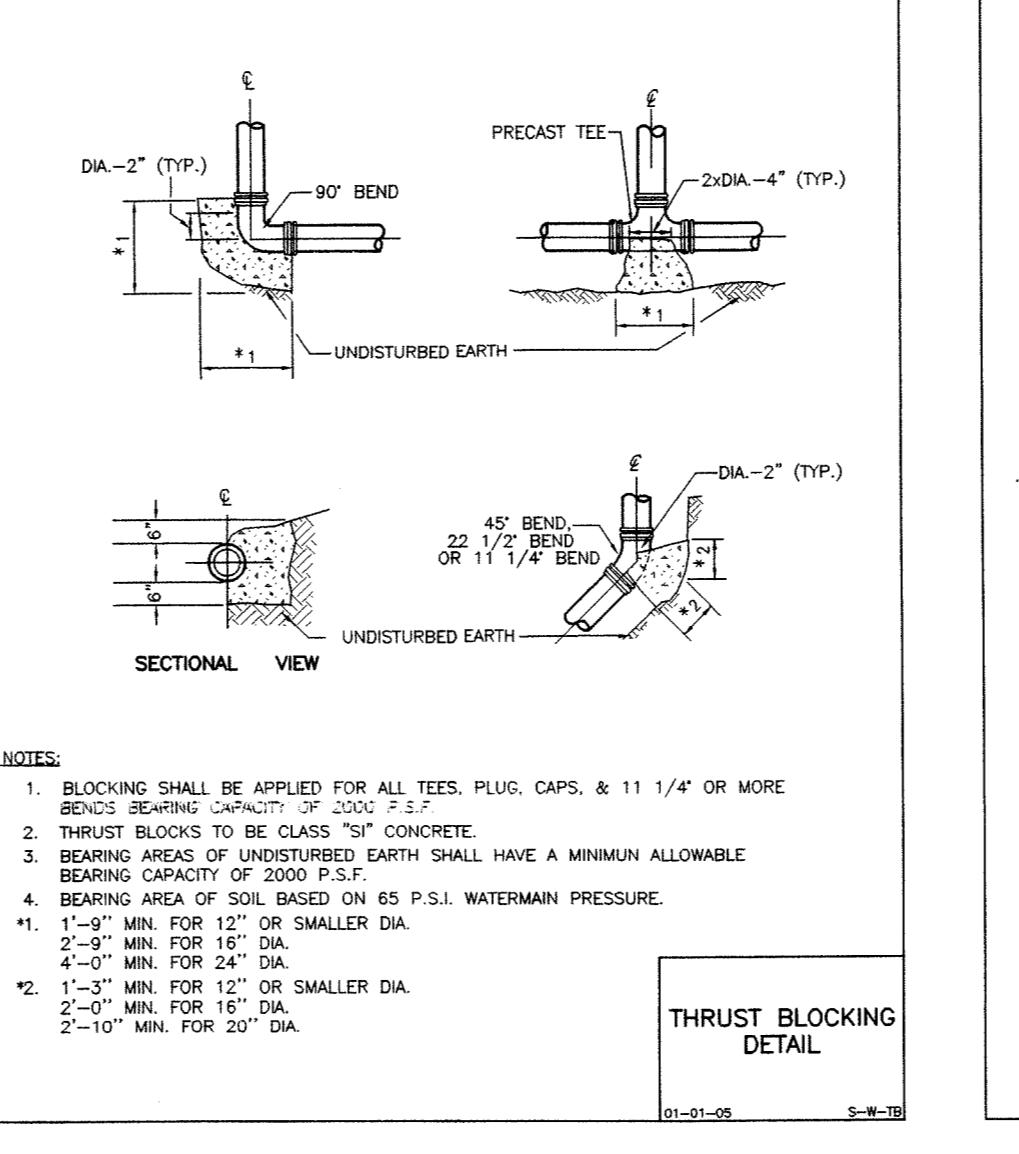
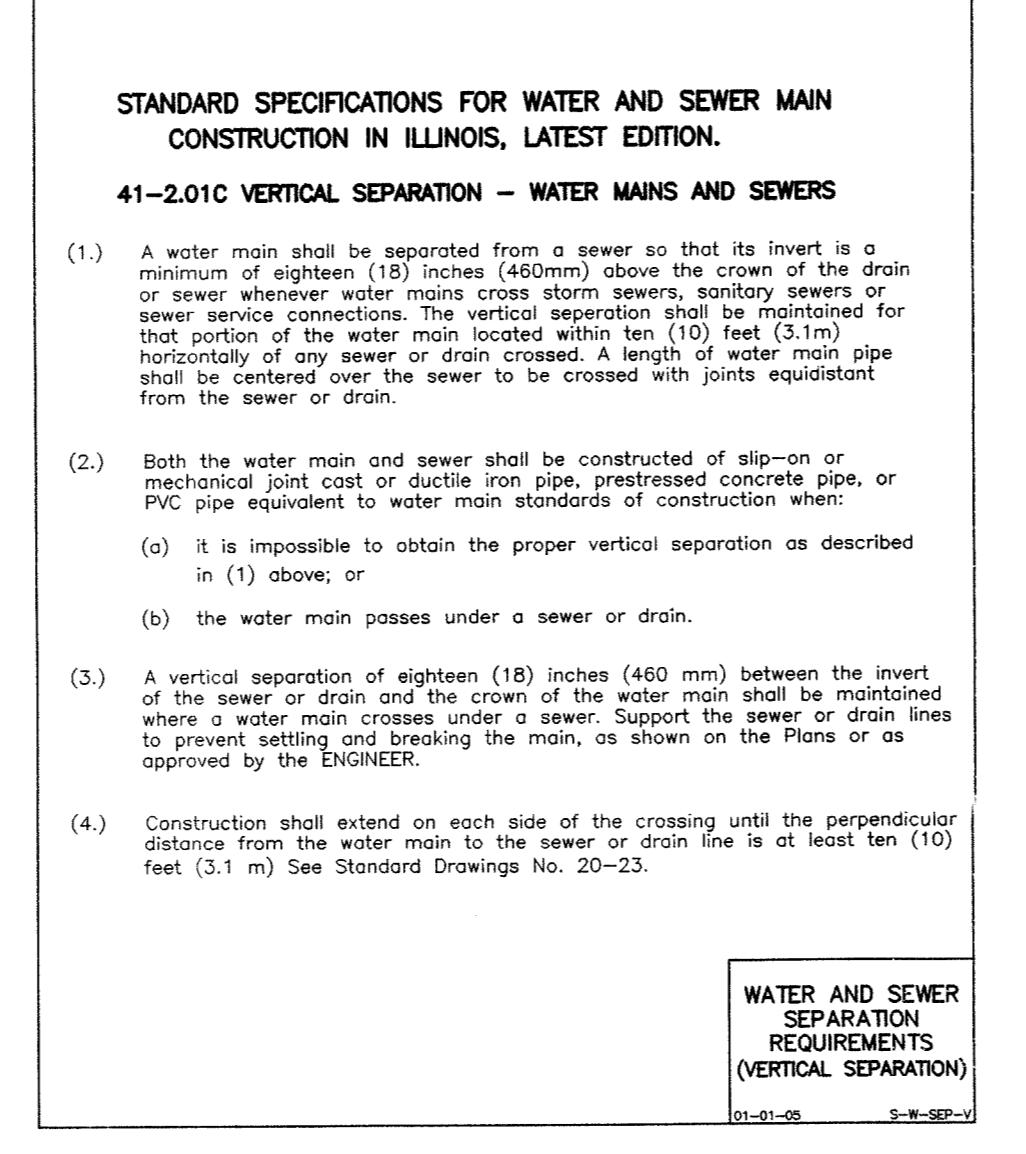
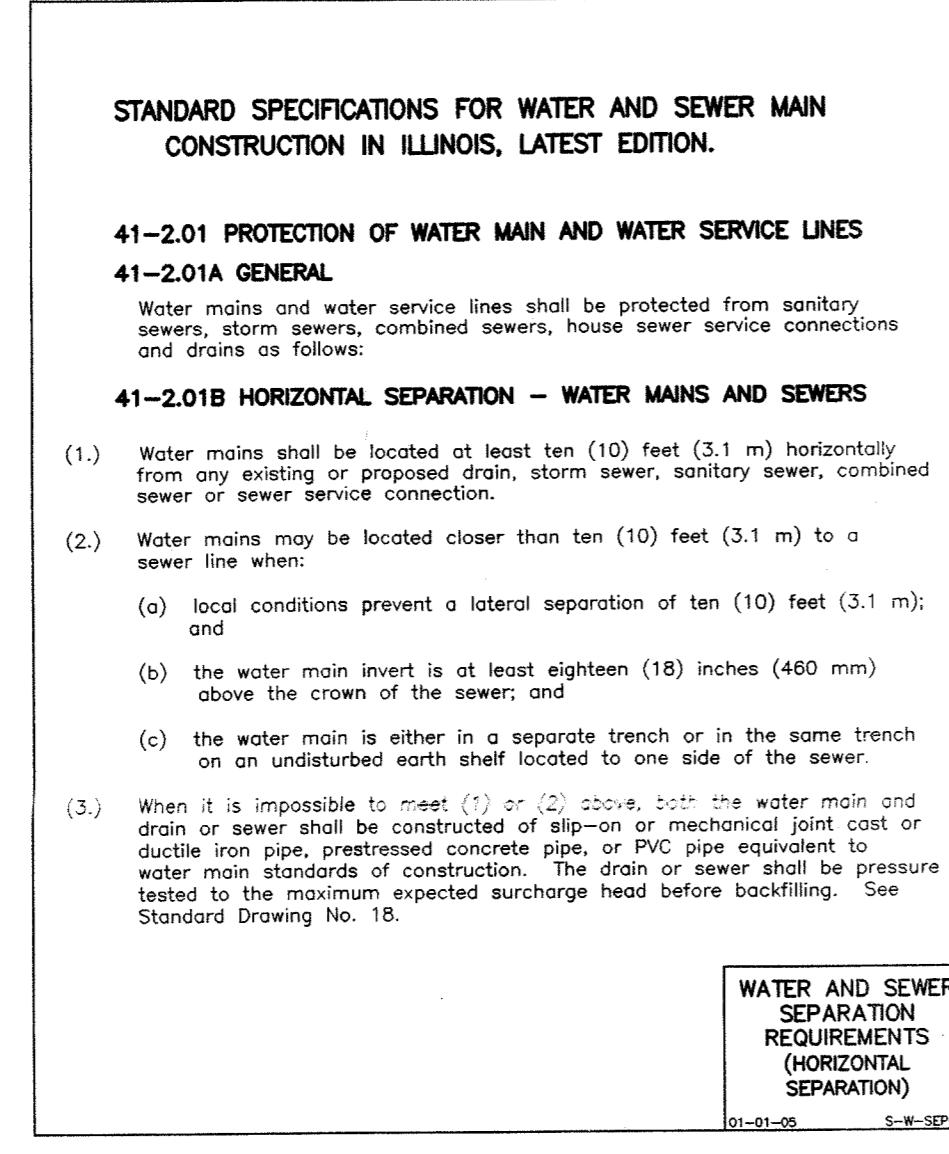
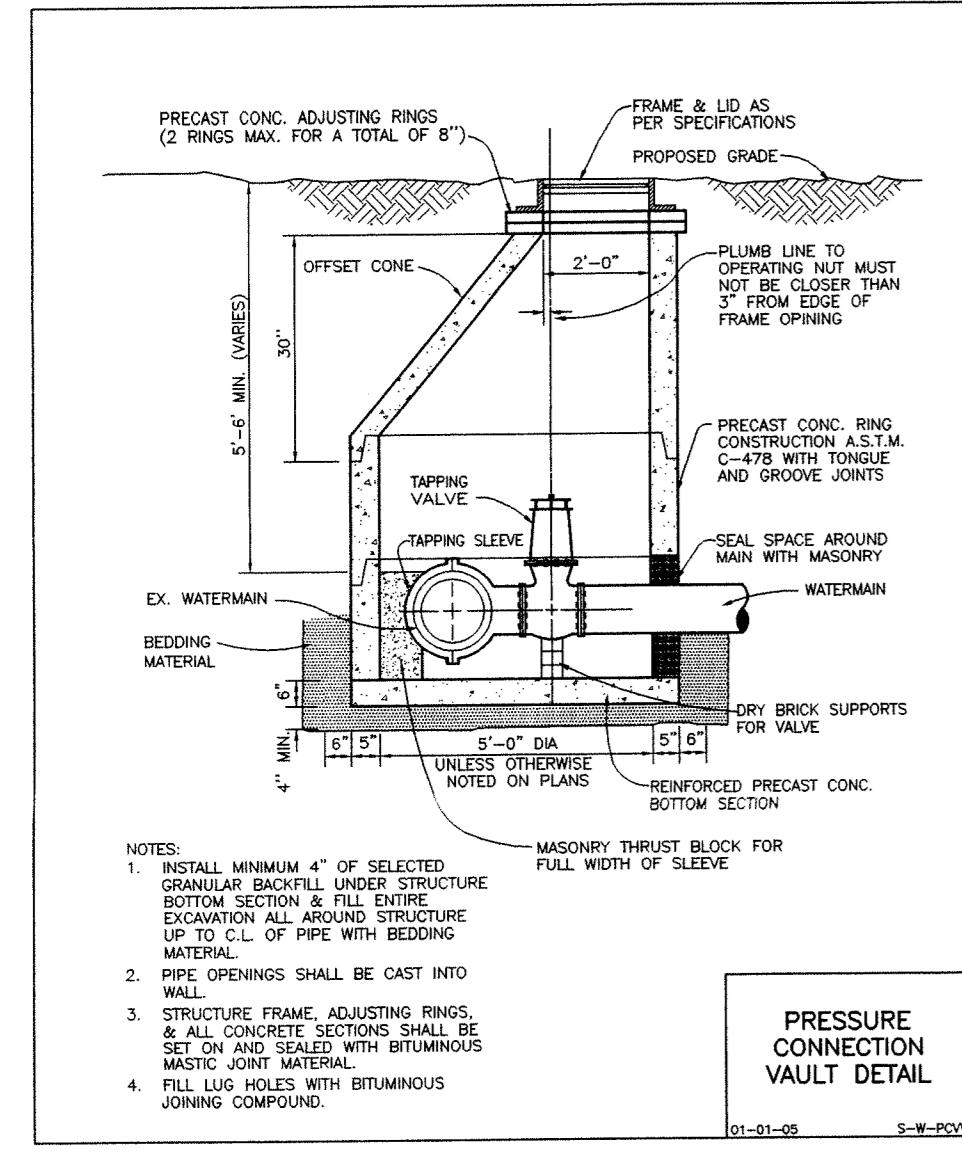
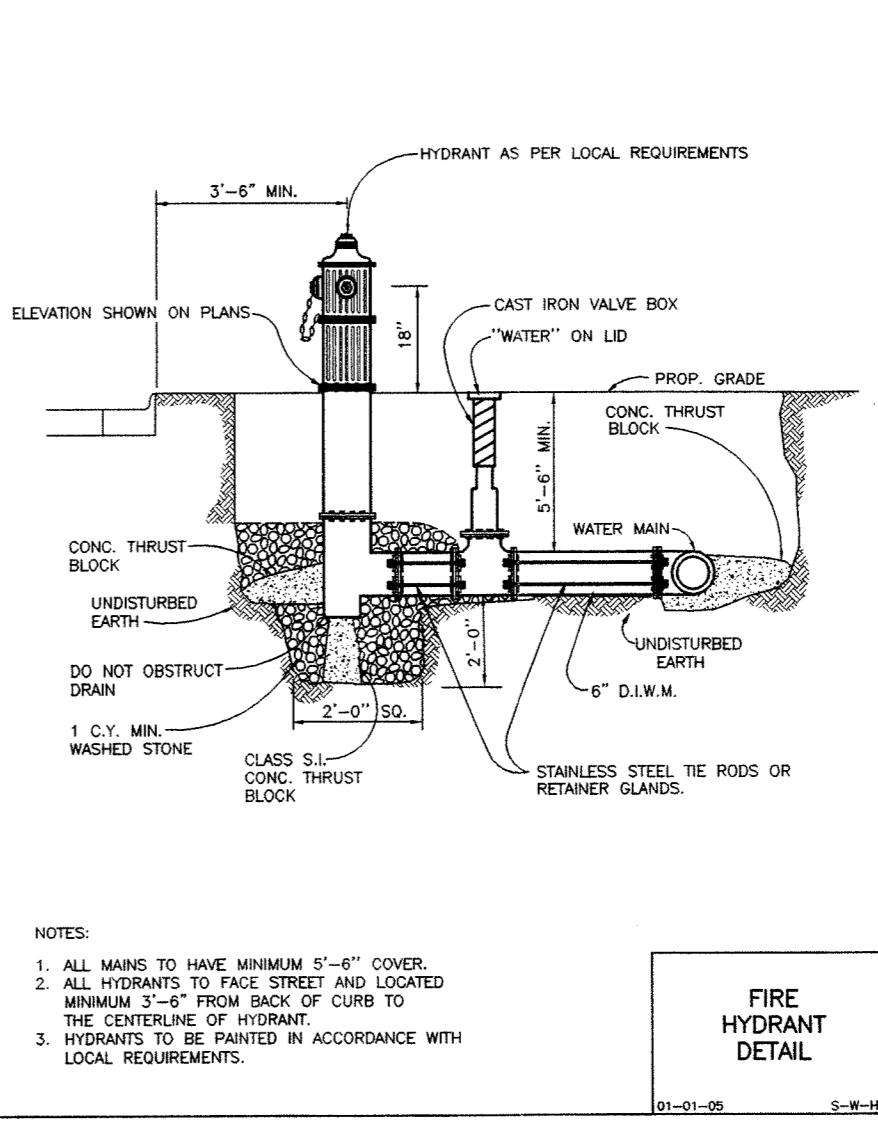
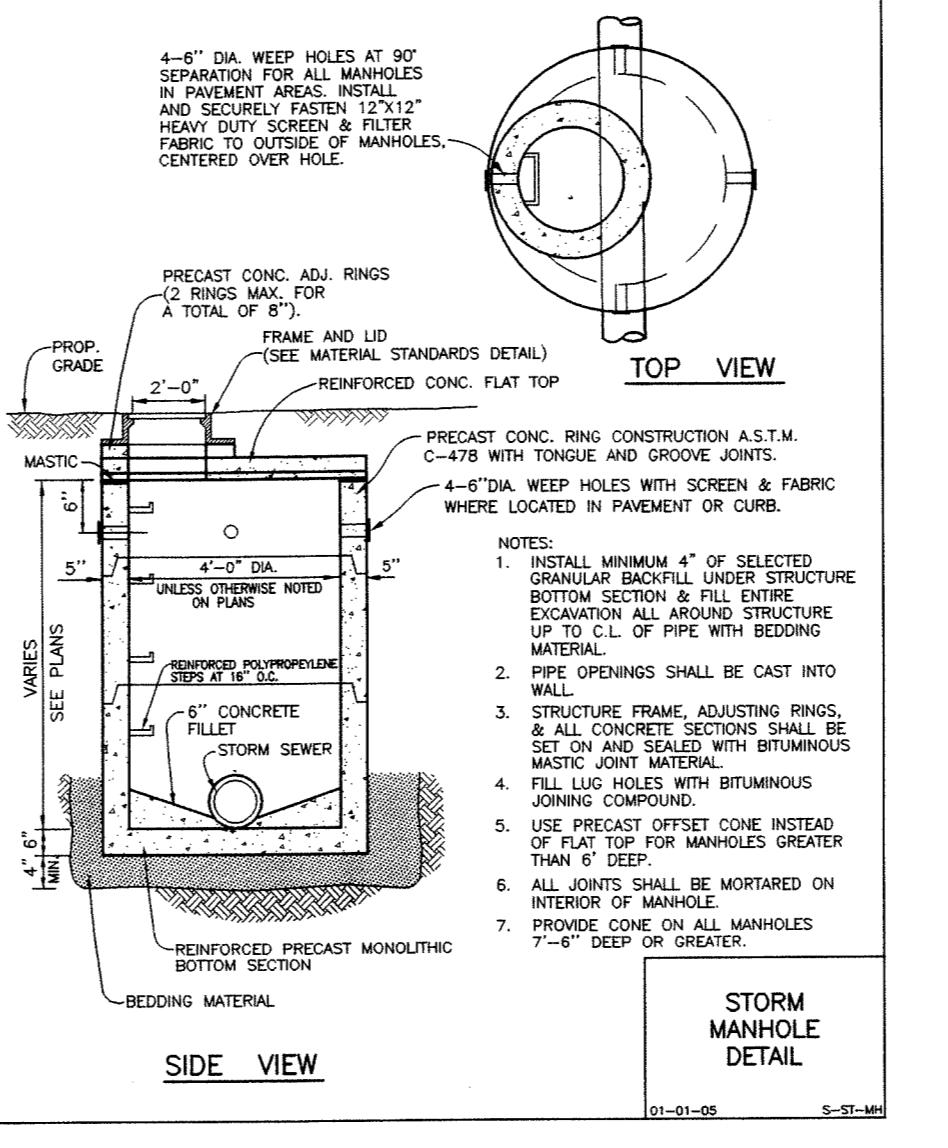
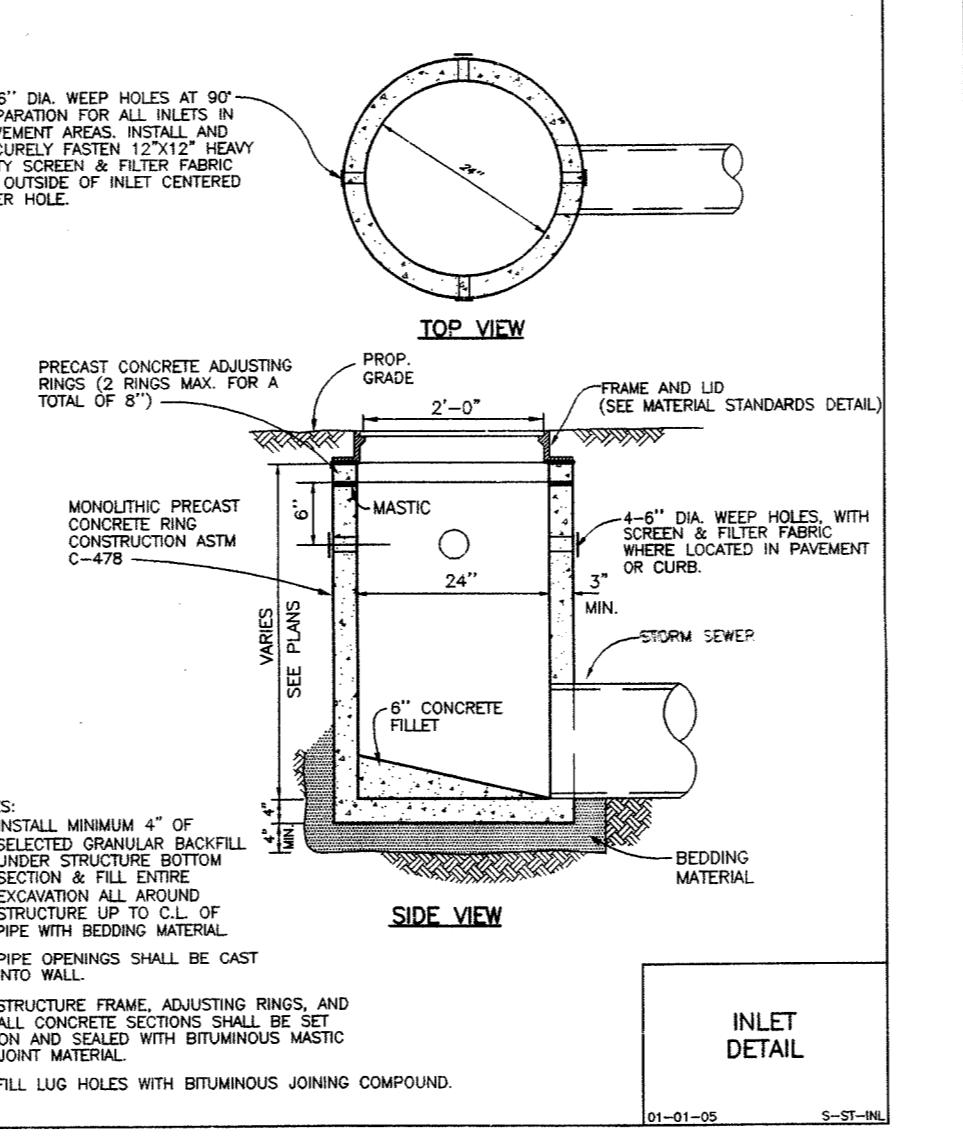
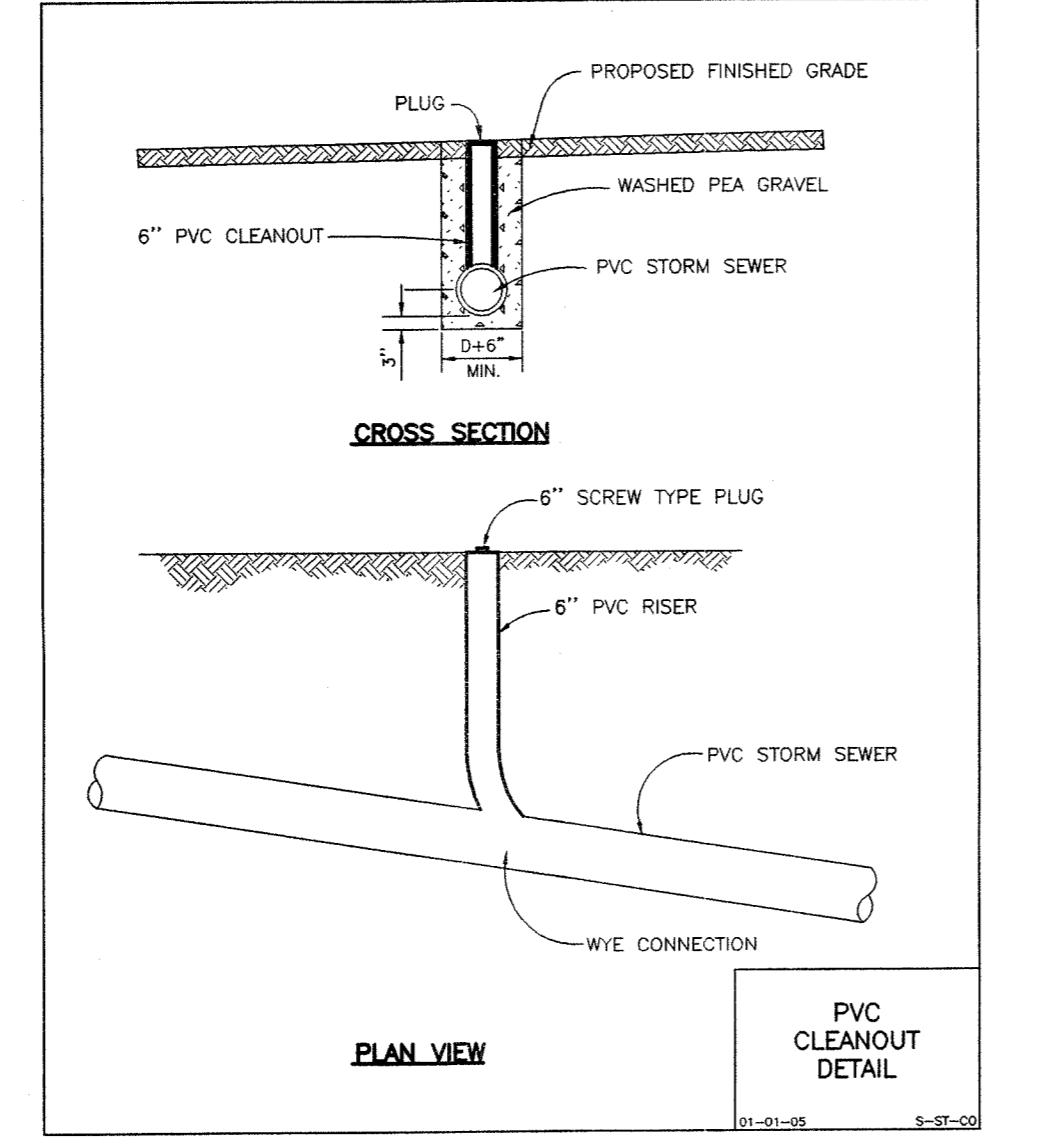
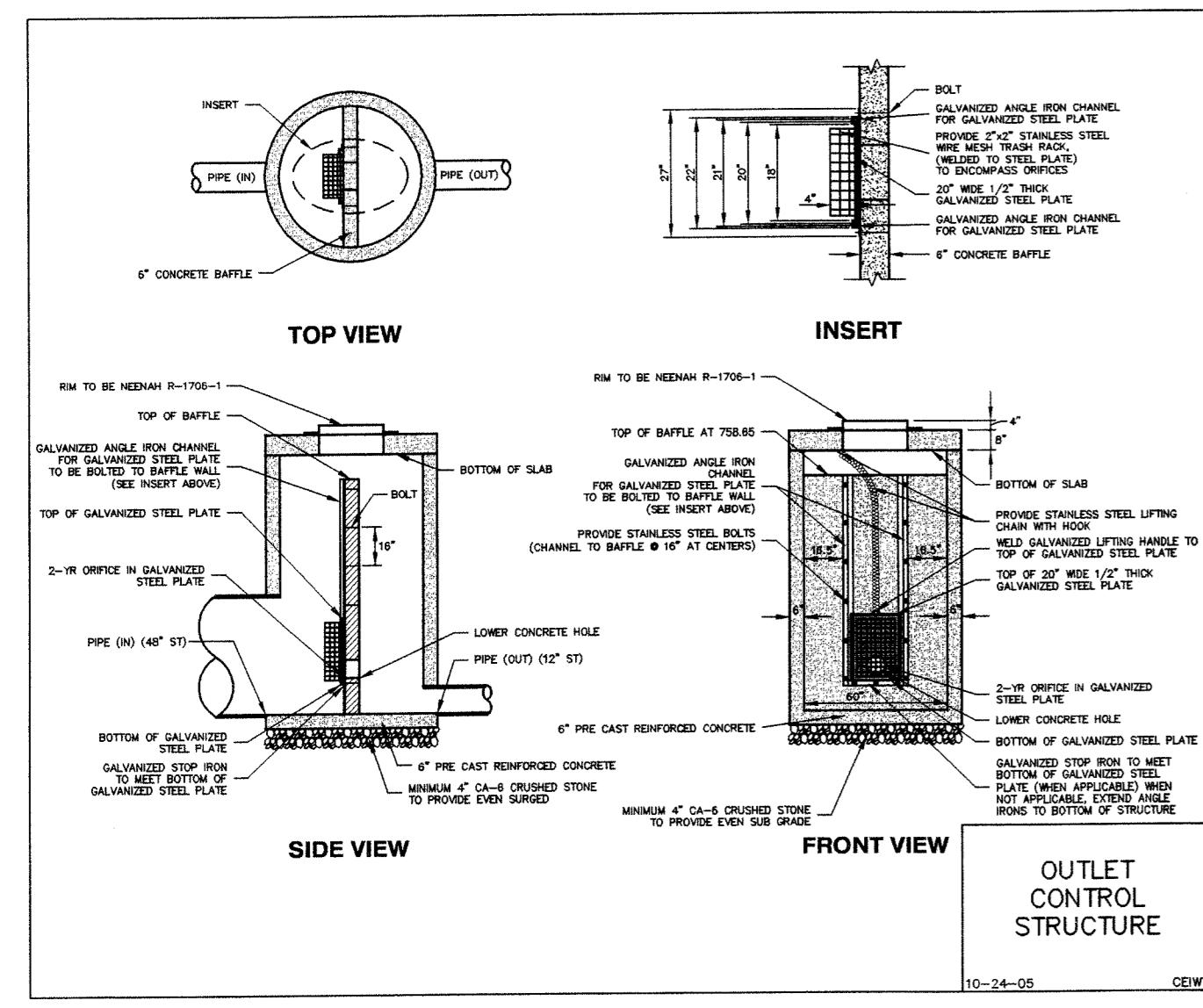
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## PROPOSED RETAIL DEVELOPMENT WHEATON, ILLINOIS CONSTRUCTION DETAILS

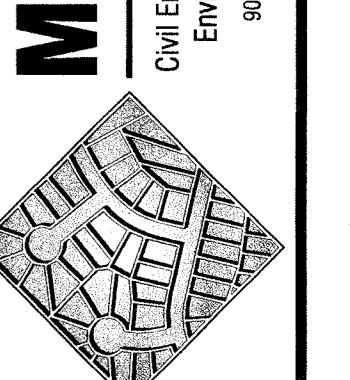
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DATE: 11-17-05  
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DRAWING NUMBER  
REVISIONS  
DATE

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**PROPOSED RETAIL DEVELOPMENT** **WHEATON, ILLINOIS**  
**CONSTRUCTION DETAILS**

PROJ. NO. **EE**  
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DRAWN BY **A.J.K.**  
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