

**ORDINANCE NO. F-1034****AN ORDINANCE AMENDING THE TEXT  
OF THE WHEATON ZONING ORDINANCE – ARTICLES 23 AND 15.2, SIGNS**

**WHEREAS**, the City of Wheaton, Illinois ("City"), has determined it to be in the best interests of the City and its residents to consider certain amendments to the text of the City Zoning Ordinance; and

**WHEREAS**, pursuant to notice as required by the Illinois Municipal Code and the City Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on November 9, 2004 which was continued from time to time and concluded on March 8, 2005, to consider a certain text amendment pertaining to signs; and the Wheaton Planning and Zoning Board has recommended approval of the text amendment.

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

**Section 1:** The Wheaton Zoning Ordinance text is amended by amending Articles 23 and 15.2 in the following manner:

The following section shall be added as Article 23.7.1f:

**"23.7.1f Electronic Message Board Signs.**

A Special Use Permit shall be required for all Electronic Message Board signs.

Additionally, the following standards shall apply to all Electronic Message Board signs:

- (1) Electronic Message Board Signs shall be located only along the following rights-of-way:

Butterfield Road, east of West Loop Road and west of Leask Lane;  
Butterfield Road, west of Wiesbrook Road;  
Geneva Road east of West Street and west of Hallmark Court;  
Geneva Road east of Gary Avenue and west of Farwell Street;  
Main Street, north of Wakeman Avenue and south of Cole Street;  
Naperville Road, north of Butterfield Road and south of Blanchard Street;  
Roosevelt Road east of Chase Street;  
Roosevelt Road, east of Shaffner Road and west of Fapp Circle.

- (2) Electronic Message Board Signs shall be allowed only for non-office commercial, school, park or church uses; and

- (3) The sign area of an Electronic Message Board Sign must be included as part of the total square footage of a permitted ground sign, and shall not exceed 50 percent of the total square footage of a permitted ground sign; and

- (4) Electronic Message Board messages shall be constant and not variable, with the message changes limited to no less than every 4 seconds; and
- (5) When an Electronic Message Board message changes, the prior message shall disappear simultaneously with the appearance of the new message; and
- (6) Electronic Message Board Signs shall not cause illumination in excess of 0.05 foot candles at any property line in or adjoining a residential use; and
- (7) Existing non-conforming Electronic Message Board signs must be brought into conformance with standards 4, 5 and 6 of this section no later than October 18, 2005; and
- (8) Electronic Message Board Signs existing prior to October 18, 2005 and not in conformance with standards 1, 2, and 3 of this section shall not be subject to Article 23.5.4 of the City of Wheaton Zoning Ordinance."

Article 23.5.4b and 23.5.4c shall be replaced with the following text:

**23.5.4 Non-Conforming Signs.**

- b. Maintenance or replacement of parts designed to be changed which do not require any permit or the replacement of a sign face(s) shall not be considered an alteration of an existing non-conforming wall or ground sign requiring conformance with this Article; provided such change does not increase the surface area, height, or cause any other structural change.
- c. Non-conforming ground and wall signs must be brought into conformance with this Article at the time of an application for site plan and architectural approval, or in the event of a change in use."

Articles 23.7.1b and 23.7.1c shall be replaced with the following text:

**23.7 Permanent Signs.**

1.b. One (1) monument identification sign

- (1) The monument sign, including the sign face, base and structure, shall not exceed seven feet (7') in height above ground level, and the total sign structure including the land berm, if provided thereunder, shall not exceed eleven feet (11') above the adjacent parking lot grade.
- (2) Each side of the monument sign face shall not exceed forty-eight (48) square feet.
- (3) The monument sign, excluding the sign face, shall be constructed with material generally similar to the material used for the exterior walls of the building identified thereon, which may or may not be masonry or stone,

and shall have a maximum surface area equal to the allowable sign face size.

c. (1) Notwithstanding the regulations of this Article, all ground signs other than temporary signs and project identification signs located along the following rights-of-way must be monument signs:

Blanchard Road, south of Hawkins Circle;  
Butterfield Road;  
County Farm Road, north of Roosevelt Road and south of Manchester Road;  
East Danada Loop Road;  
Fapp Circle;  
Main Street, north of Prairie Avenue and south of Geneva Road;  
Naperville Road, south of Longfellow Drive;  
Roosevelt Road, east of Sunnyside Avenue and west of Chase Street;  
Roosevelt Road, west of Hazelton Road;  
West Danada Loop Road

(2) Notwithstanding the regulations of this Article, all ground signs other than temporary signs and project identification signs must be monument signs and shall not exceed 24 square feet per sign face whenever a zoning lot meets all of the following criteria:

- a. Is located in the R-6, R-7, C-3, or O-R zoning district; and
- b. Is less than one acre in area; and
- c. Is contiguous to property in the R-1, R-2, R-3, R-4, or R-5 district; and
- d. Abuts the right-of-way line of one or more of the following arterial streets:

Geneva Road  
Roosevelt Road  
Main Street (north of Roosevelt Road)  
Naperville Road."

In conjunction with the changes above, Article 15.2, Office and Research District, shall be amended to remove the existing monument sign requirements:

#### 15.2 Bulk Regulations

The following bulk regulations A through G. apply, whenever a lot:

1. Is less than one acre in area, or has a depth of less than 180 feet, or both; and
2. Is contiguous to property in the R-1, R-2, R-3, R-4, or R-5 districts; and
3. Abuts the right-of-way line of one or more of the following arterial streets:

Geneva Road  
Roosevelt Road  
Main Street  
Naperville Road

- A. A maximum floor area of 10,000 square feet in any one building;
- B. A maximum building height of 35 feet or 2 1/2 stories, whichever is less;
- C. A maximum building lot coverage of 33 1/3 percent;
- D. A minimum of 30% of the lot shall be landscaped. This 30% may include setback areas and interior parking lot landscaping;
- E. Scaling of building mass to replicate a residential structure through the use of varied horizontal wall dimensions, varied roof heights, placement of windows and doors, etc.; and
- F. Minimum yards for a building and lot as required by Article VI of this code."

**Section 2:** In all other respects, the Wheaton Zoning Ordinance is ratified and remains in full force and effect.

**Section 3:** All ordinances or parts of ordinance in conflict with these provisions are repealed.

**Section 4:** This ordinance shall become effective form and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.

**ATTEST:**

ATTEST:  
Erin M. Consalvo  
City Clerk

  
Mayor Jim Cason

### Roll Call Vote

Ayes:

Councilman Johnson  
Mayor Carr  
Councilman Mork  
Councilman Mouhelis  
Councilman Bolds  
Councilwoman Cottrell

Navy:

None

Absent : Councilwoman Johnson

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Motion Carried Unanimously

Passed: April 18, 2005  
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