

MEMORANDUM

TO: The Honorable Mayor and City Council

FROM: Tracy L. Jones, AICP, Staff Planner 
Joseph E. Tebrugge, PE, Director of Engineering

DATE: February 17, 2026

SUBJECT: ZA #26-04/ PUD Amendment and Special Use/ Rice Lake Square Shopping Center/ Seven Brew

Request

Consideration of a request for a PUD Amendment to allow the construction and use of a one-story, 900 square foot coffee stand on a leased parcel of land in the Rice Lake Square Shopping Center parking lot between the former Houlihan's restaurant (at 321 Rice Lake Square) and Studio Movie Grill (at 301 Rice Lake Square). The property is zoned C-5 Planned Commercial District.

The applicant is further requesting a special use permit to Article 20.3 of the Wheaton Zoning Ordinance to allow sales or service directly to customers in vehicles.

Planning and Zoning Board Recommendation

On Tuesday, January 27, 2026, the Planning and Zoning Board held a public hearing on this application and recommended approval of the PUD Amendment and special use request, with a 6-1 vote, subject to the following conditions:

1. The building parapet wall shall be raised to fully screen the rooftop mechanical units;
2. No queueing from the subject property shall be allowed to occur onto the East Loop Road right-of-way and all queueing must be contained on-site at the subject property. Staff shall be provided by the applicant during all hours of operation to monitor the queue, direct traffic as needed in the shopping center, and manage the queueing throughout the shopping center parking lot to prevent the queue from extending onto East Loop Road at either the entrance north or south of the proposed development;
3. The preliminary engineering plan shall be subject to further staff review prior to the issuance of a site development permit;
4. The dual drive-thru lanes shall be reduced to one lane at the exit to minimize traffic congestion; and
5. Additional landscaping shall be added to the north and west sides of the site.

The dissenting Board member had concerns with how the proposed traffic from Seven Brew would impact Studio Movie Grill.

Public comments were received through email and testimony at the public hearing. All the residents that provided public comment were afraid the proposed Seven Brew would cause traffic congestion on the site and in the surrounding area.



WHEATON MAYOR PHILIP J. SUESS

CITY MANAGER MICHAEL DZUGAN

Background

Seven Brew was founded in Rogers, AR in 2017 and has more than 500 coffee stands nationwide. The store specializes in espresso-based drinks, chillers, teas, infused energy drinks, sodas and smoothies. Seven Brew is a drive-thru concept with a dual drive-thru configuration. The closest existing Seven Brew is located at 1203 Iroquois Avenue in Naperville.

The hours of operation are 5:30 a.m. to 10 p.m. weekdays and 5:30 a.m. to 11 p.m. weekends. Seven Brew operates with up to 5 employees at peak times. On average, each stand generates 750 orders per day, serving an estimated 1,125 customers daily.

Site Plan and Landscaping

The applicant is proposing to lease a parcel of land in the shopping center parking lot between the former Houlihan's restaurant (at 321 Rice Lake Square) and Studio Movie Grill (at 301 Rice Lake Square). The site plan shows dual drive-thru lanes, operating in a counterclockwise direction, that wrap around the building. The site has been designed to accommodate stacking for 44 vehicles on-site. Parking of 14 spaces, including one ADA space, is proposed just west of the building. Sixty (60) shopping center parking spaces would be sacrificed for this development. However, if this request is approved, the parking for the shopping center would still be compliant with six spaces per 1,000 sf of space. A dumpster enclosure is proposed on the north edge of the leased parcel.

New landscaping is planned along the west side of East Loop Road, around the proposed dumpster enclosure, on the east side of the building and along the exit drive from the leased parcel to the shopping center parking lot. The plan includes a mix of canopy and ornamental trees, deciduous and evergreen shrubs, perennials and ornamental grasses.

Floor Plan and Building Elevations

The building is designed with a covered employee entry in the middle of the structure with an access hall, service area, and bathroom to the south and a storage area and cooler to the north.

Per the building elevations, the building will be clad with fiber cement brick panel siding with finishes of shale brown and midnight. The building elevations also show blue metal panels and zinc grey metal coping trim. Two roof-top mechanical units are proposed. The building elevations show the units being screened by a metal screening panel in zinc grey. Article 3.4C.2 of the Wheaton Zoning Ordinance requires that any such units are fully screened by a building parapet wall equal in height to the units.

Engineering Department Comments

The subject site does not contain a floodplain or a wetland pursuant to the regulatory maps used for such determinations.

The proposed project is located in a current stormwater detention area and is displacing existing stormwater detention volume with the proposed construction. This stormwater detention volume is required to be compensated for, and it is proposed to be provided for in the proposed underground storage system. The proposed development also triggers the City of Wheaton requirement to provide detention for the project. The additional detention required for the project is also located in the proposed underground storage system.

The proposed development does not meet the trigger to provide a Best Management Practice (BMP) to reduce pollutants in their stormwater discharge.

The preliminary engineering plan shall be subject to further staff review prior to the issuance of a site development permit.

Traffic

The proposed development has provided a traffic report for the development by KLOA, Inc titled “Traffic Impact Study - Proposed 7 Brew Coffee Shop”. The proposed use of a Coffee Shop is one of, if not the highest driver of traffic queueing and congestion issues possible. The existing Seven Brew locations in Lake Zurich and Naperville are very busy locations. The location in Naperville, for example, has an on-site queue of only 23 vehicles provided, but the queue line based on traffic observations by KLOA in March and May of 2025 showed a maximum queue of 71 vehicles, which stretches down the adjoining side street and at times onto the adjoining major roadway. It should be noted that the time period that this queue length was observed does directly correlate to the same time period when there was only a total of 4 Chicagoland stores open. Since that time, three additional Chicagoland stores are now open and the maximum observed queue at the Naperville store has decreased to 55 vehicles per a KLOA report dated December of 2025. Seven Brew has continued their roll out into the Chicagoland market and have proposed additional locations which would decrease the pull into the proposed Wheaton location (See attached map of open locations, locations under construction, locations in permitting, and locations proposed but not through zoning). The nearest store that would affect this is a Bloomingdale location which is already under construction and expected to open in early March of 2026. A second store in Bloomingdale has also already made it through all zoning applications and is now in final permitting.

Throughout the pre-application process and the development of this Zoning Application, the applicant has listened to Staff concerns and has improved the proposed plan to currently show an available queueing “on-site” of 44 vehicles. The provided traffic report states that when the market stabilizes, it is estimated that the total queue at the Wheaton location will be a peak of 33 to 35 vehicles. Current Staff concern relates to the fact that there is no definitive timeline as to when the market could stabilize. Additionally, while there is large availability to queue vehicles throughout the existing shopping center parking lot, the question remains as to whether onsite staff will be able to manage a large queueing event and keep the queue off the adjoining East Loop Road. Any queueing on East Loop Road would significantly disrupt traffic flow and is deemed unacceptable by City Staff.

In order to safeguard against any queueing on East Loop Road during a high queue event, the applicant has provided a Drive Through Traffic Exhibit which routes traffic through the shopping center parking lot and provides an approximate additional queueing for 46 vehicles above the “on-site” queue of 44 vehicles. If managed by on-site Staff, the maximum available queue provided would be 90 vehicles, which is above the maximum observed at the Naperville store in the KLOA Traffic Impact Study for the proposed 7 Brew Coffee Shop.

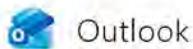
Based on the Traffic Reports provided and the Drive Through Traffic Exhibit, Staff believes that while there is the possibility of traffic congestion problems due to the new Seven Brew location in the Rice

Lake Square Shopping Center, adequate provisions have been made to safeguard against problems. However, Engineering Staff recommends and the Board concurs with the addition of the following condition:

"No vehicles from the subject property may queue onto the East Loop Road right-of-way at either the entrance north or south of the proposed development. The applicant will implement the Drive-Thru Overflow Plan, attached hereto and made a part hereof, whenever queueing exceeds the established thresholds. If queueing extends onto East Loop Road and the City incurs costs to clear the backup, the applicant will be responsible for all fines, fees, and direct costs incurred by the City."

Staff Recommendation

The applicant submitted a "Drive Thru Overflow Plan" as part of the application. Staff recommends revising the plan as part of the City Council's consideration of the authorizing ordinance. The revised plan should use a clear, tiered structure that outlines specific actions tied to defined queueing thresholds. For example, once the 44-vehicle queue shown in the current plan is exceeded, the plan should identify the steps to accommodate an additional 15 vehicles. If that additional 15-vehicle capacity is exceeded, the plan should then outline how to manage 10 more vehicles. The updated plan should also provide clear, step-by-step instructions for on-site staff, including when and where to place cones or other traffic control devices to establish and manage the approved queuing configuration. The staff recommends the City Council direct the city attorney to prepare an ordinance approving the PUD Amendment and Special Use subject to the recommendations above.



Outlook

Re: Public Comment Regarding Proposed 7 Brew

From Tracy Jones <TJones@wheaton.il.us>

Date Tue 1/20/2026 7:54 AM

To ~~David Schmitzler <schmitzler.david@gmail.com>~~; Jim Kozik <JKozik@wheaton.il.us>; _Planning Department <Planning@wheaton.il.us>

I'm in receipt of your email and will forward it to the planning and zoning board.

Tracy L. Jones, AICP

Staff Planner

City of Wheaton

www.wheaton.il.us

630.260.2080 desk

From: ~~David Schmitzler <schmitzler.david@gmail.com>~~

Sent: Monday, January 19, 2026 4:56 PM

To: Jim Kozik <JKozik@wheaton.il.us>; Tracy Jones <TJones@wheaton.il.us>; _Planning Department <Planning@wheaton.il.us>

Subject: Public Comment Regarding Proposed 7 Brew

You don't often get email from ~~schmitzler.david@gmail.com~~. [Learn why this is important](#)

 CAUTION: Be alert for phishing attempts! This email originated from outside of our organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Wheaton Zoning Board,

Please accept this email in lieu of my attendance at the upcoming meeting on January 27. I am unable to attend but am deeply concerned about the proposed 7 Brew placement at Studio Movie Grill parking lot. As a frequent customer of Costco in NE Naperville I regularly see the line of cars spilling out of 7 Brew onto the street. This has continued well past the grand opening and is indiscriminate of day or time. Similar spillage onto Loop could create serious safety issues and congestion.

The South segment of East Loop Road is already challenging:

- 1) When turning onto it from Butterfield, cars will often make prohibited left turns into the Shell; if they do not have clearance due to cars heading south waiting to turn onto Butterfield some will sometimes stop and wait, creating a backlog that can spill momentarily onto Butterfield.
- 2) Chick-Fil-A attracts significant traffic and cars exiting onto Loop often have difficulty turning left, particularly during periods of heavy traffic. Some pull out dangerously.

Adding the additional traffic from 7 Brew would exacerbate both of these challenges and create additional safety issues. Further, I am not sure the stoplight intersection at East Loop/Butterfield could support the additional traffic:

- 1) It is already nearly impossible to turn right onto Butterfield on red since both lanes can turn left.
- 2) During periods of heavy traffic cars waiting to turn onto Butterfield already stretches to the former Houlihan's.

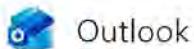
As a resident of Jahns Drive I know that the Wheaton Fire Department Station #2 regularly uses the Danada East neighborhood to cut across. Cars spilling from 7 Brew onto Loop or worse Jahns could create a public safety risk from delayed response times. The nearby Danada East neighborhood has many children (so many in fact that there are two buses for the elementary school) and speeding is already a concern here. The one mile Hawkins Circle loop attracts walkers living at Danada East, TGM Danada Apartments, as well as two other neighborhoods that have easy access via a sidewalk (but no street) attaching to Danada East. Similar to the fire department, cars will often use Danada East to cut across to South Loop if driving down Blanchard.

While I welcome business in South Wheaton, I respectfully ask that the zoning board seriously consider how traffic from the proposed 7 Brew would impact safety and livability of the nearby community. If the Naperville location is any indication it would be naive to believe that cars waiting would be limited to a designated area in their parking lot.

Thank you,

--

David Schnitzler



Outlook

Traffic and Public Safety Concerns Regarding Proposed 7 Brew Location on Loop Road

From Jeff Townsend <jeff.townsend@me.com>

Date Wed 1/14/2026 9:42 PM

To Tracy Jones <TJones@wheaton.il.us>

Cc _City Council <_CityCouncil@wheaton.il.us>

[You don't often get email from jeff.townsend@me.com. Learn why this is important at <https://aka.ms/LearnAboutSenderIdentification>]

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Dear Members of the Wheaton Planning and Zoning Board,

I am writing to express my concerns regarding the proposed 7 Brew Coffee location on the west side of Loop Road, in the Studio Movie Grill parking lot.

I want to begin by saying that I am always supportive of new businesses coming into Wheaton and appreciate efforts to promote economic growth in our community. However, the 7 Brew concept brings with it extreme traffic concerns that I believe warrant serious consideration before approval.

The existing 7 Brew location in Naperville, across from Costco, has experienced significant traffic congestion. At times, the drive-through line has stretched long enough to result in waits of up to 90 minutes. This level of traffic volume raises red flags when considering a similar use in a much more constrained and sensitive area like Loop Road.

Loop Road currently serves as a key cut-through to Butterfield Road for the Wheaton Fire Department and other emergency responders. If traffic from a 7 Brew drive-through were to back up onto Loop Road, it could negatively impact emergency response times and pose a public safety risk.

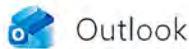
Additionally, the proposed site is directly across the street from Chick-fil-A, a location that is already heavily trafficked, particularly by teenagers. Introducing a 7 Brew directly across from this site would only multiply congestion in an area that is already under strain during peak hours.

Taken together — the documented traffic patterns at other 7 Brew locations, the importance of Loop Road for emergency access, and the existing congestion created by nearby businesses — I am very concerned that this proposal could create ongoing traffic and safety issues for residents, businesses, and first responders.

I respectfully ask the Board to carefully evaluate these concerns as part of your review process. Thank you for your time and for your continued service to the City of Wheaton.

Sincerely,

Jeff Townsend
174 Hawkins Circle
[REDACTED]
[REDACTED] 512.655.0000



Outlook

RE: 7 Brews proposal 900 feet from our New Coffee Shop . Traffic will be a issue

From Jesse Moffitt jesse@summermoon.com

Date Thu 1/22/2026 7:32 PM

To Tracy Jones <TJones@wheaton.il.us>

Cc Emily Moffitt <emily@summermoon.com>; Joseph Tebrugge <JTebrugge@wheaton.il.us>; Geoff Gerbasi <geoff@glazerv.com>; Sean O'Grady <sean@glazerv.com>; Jason Sorce <jason.sorce@peakgroupllc.com>

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Tracy,

Thanks. We would just like the community to know that a Great Coffee Shop is already in the works just 900 feet away. It is a proven model that has great customer reviews winning Best of The Fox year after year in Crystal Lake IL and consistently achieves 4.8 or higher stars on Google. (Not many shops ever achieve this)



Summer Moon Coffee

4.8 ★★★★★ 568 Google reviews :

\$1–10 · Coffee shop

If that can be shared during tonight's meeting that is all we ask. The Traffic snarls that I believe will happen in the Rice Lake / Danada East centers will be inconvenient for the community in my opinion but will not directly affect our store. Consumers will have the choice of what they want.

Appreciate your time.

Jesse



Jesse Moffitt

Store Owner

Crystal Lake and Wheaton IL

224.688.2817

From: Tracy Jones <Tracy.Jones@wheaton.il.us>

Sent: Wednesday, January 14, 2026 8:43 AM

To: Jesse Moffitt <jesse.moffitt@summermooncoffee.com>

Cc: Emily Moffitt <emily.summermooncoffee.com>; Joseph Tebrugge <JTebrugge@wheaton.il.us>; Geoff Gerbasi <geoff.gerbasi@glazebrook.com>; Sean O'Grady <sean.o.grady@glazebrook.com>; Jason Sorce <jason.sorce@packagroupllc.com>

Subject: Re: 7 Brews proposal 900 feet from our New Coffee Shop . Traffic will be a issue

Hi Jesse -

When I draft the staff report for 7-Brew, I'll mention your new location in the background section (given your proximity to the proposed location). We have required 7-Brew to submit a full traffic study. There will be a lot of discussion about traffic at their public hearing on 1/27. If you would like to provide comments/ concerns, you can either provide public comment at the public hearing or submit an email to me prior to the hearing date.

Reagrds,
Tracy

Tracy L. Jones, AICP

Staff Planner

City of Wheaton

www.wheaton.il.us

630.260.2080 desk

From: Jesse Moffitt <jesse.moffitt@summermooncoffee.com>

Sent: Tuesday, January 13, 2026 7:54 PM

To: Tracy Jones <Tracy.Jones@wheaton.il.us>

Cc: Emily Moffitt <emily.summermooncoffee.com>; Joseph Tebrugge <JTebrugge@wheaton.il.us>; Geoff Gerbasi <geoff.gerbasi@glazebrook.com>; Sean O'Grady <sean.o.grady@glazebrook.com>; Jason Sorce <jason.sorce@packagroupllc.com>

Subject: 7 Brews proposal 900 feet from our New Coffee Shop . Traffic will be a issue

  **CAUTION:** Be alert for phishing attempts! This email originated from outside of our organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Tracy,

Not sure if this is a question you can answer but I noticed that 7-Brews is proposing a site less than 900 feet from our new location.

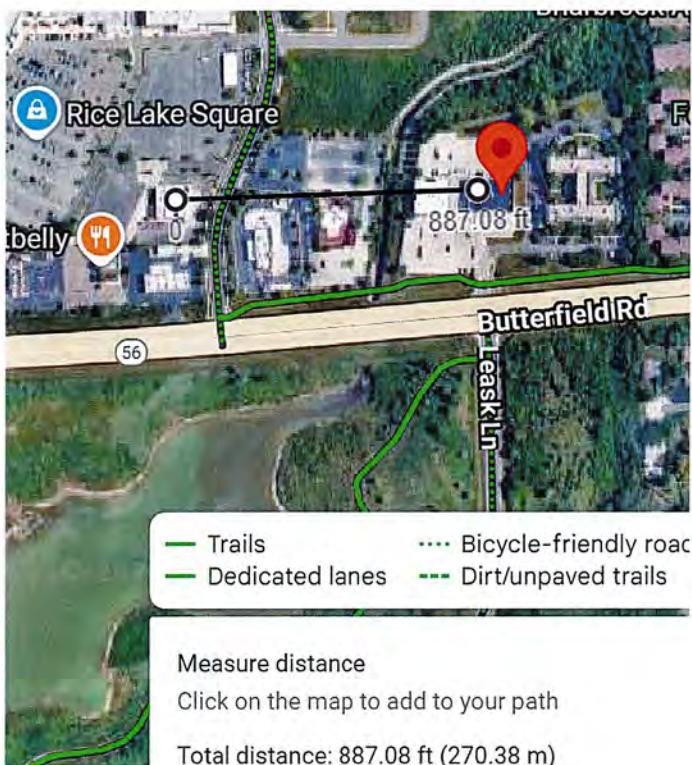
<https://www.dailyherald.com/20260108/news/7-brew-proposed-for-wheaton-near-movie-theater/>

A couple of things:

Wheaton doesn't even really know about us yet and we are working hard for a grand opening end of February early March. (that might change some opinions about another coffee shop a few hundred yards away)

As careful as Wheaton was to avoid traffic issues with our shop we know that the community is not ready for a 7-Brews with the traffic nightmare they generate. Visiting shops around the suburbs is evident this could be an issue.

Do you have any suggestions how we might get our name out in the community but also voice concern?



Much appreciated.

Jesse and Emily Moffitt

~~224-088-2817~~
Summer Moon Coffee
811 Butterfield Road
Wheaton IL 60189

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REPORT OF THE WHEATON PLANNING & ZONING BOARD
TO THE
MAYOR OF WHEATON AND CITY COUNCIL

ZA #26-04/ PUD Amendment and Special Use/ Rice Lake Square Shopping Center/ Seven Brew

Pursuant to notice duly published on January 9, 2026, and letters mailed to neighboring property owners on January 7, 2026, Chair Aranas called to order the January 27, 2026 public hearing requesting an amendment to a special use permit for a planned unit development to allow the construction and use of a one-story, 900 square foot coffee stand on a leased parcel of land in the Rice Lake Square Shopping Center parking lot between the former Houlihan's restaurant (at 321 Rice Lake Square) and Studio Movie Grill (at 301 Rice Lake Square).

Emails from David Schnitzler, Jeff Townsend, Jesse Moffitt were received and incorporated into the record.

Chris George, 2710 South 48th Street, Springdale, Arkansas was sworn in. Mr. George stated that he was a real estate developer for Seven Brew. He stated that they are proposing to lease a parcel of land in the shopping center parking lot between the former Houlihan's restaurant (at 321 Rice Lake Square) and Studio Movie Grill (at 301 Rice Lake Square). The site plan shows dual drive-thru lanes, operating in a counterclockwise direction, that wrap around the building. The site has been designed to accommodate stacking for 44 vehicles on-site. Parking of 14 spaces, including one ADA space, is proposed just west of the building. Sixty (60) shopping center parking spaces would be sacrificed for this development. However, if this request is approved, the parking for the shopping center would still be compliant with six spaces per 1,000 sf of space. A dumpster enclosure is proposed on the north edge of the leased parcel.

Mr. George stated that new landscaping is planned along the west side of East Loop Road, around the proposed dumpster enclosure, on the east side of the building and along the exit drive from the leased parcel to the shopping center parking lot. The plan includes a mix of canopy and ornamental trees, deciduous and evergreen shrubs, perennials and ornamental grasses.

Mr. George stated that the building will be clad with fiber cement panel siding with finishes of canyon brick in shale brown and modern brick in midnight. The building elevations also show blue metal panels and zinc grey metal coping trim. Two roof-top mechanical units are proposed. The building elevations show the units being screened by a metal screening panel in zinc grey.

Staff Planner Jones stated that Article 3.4C.2 of the Wheaton Zoning Ordinance requires that any such units are fully screened by a building parapet wall equal in height to the units.

Mr. George stated that they are agreeable to a condition that the building parapet wall be raised to fully screen the rooftop mechanical units.

Brendan May, 9575 W. Higgins Road, Suite 400, Rosemont was sworn in. Mr. May stated that he was a traffic engineer for KLOA. He stated that they provided a traffic report for the proposed development titled "Traffic Impact Study - Proposed 7 Brew Coffee Shop". The proposed use of a Coffee Shop is one of, if not the highest driver of traffic queueing and congestion issues possible. The existing Seven Brew locations in Lake Zurich and Naperville are very busy locations. The location in Naperville, for example, has an on-site queue of only 23 vehicles provided, but the queue line based on traffic observations by KLOA in March and May of 2025 showed a maximum queue of 71 vehicles, which stretches down the adjoining side street and at times onto the adjoining major roadway.

Mr. May stated that the time period that this queue length was observed directly correlates to the same time period when there was only a total of 4 Chicagoland stores open. Since that time, three additional Chicagoland stores are now open and the maximum observed queue at the Naperville store has decreased to 55 vehicles per a KLOA report dated December of 2025. Seven Brew has continued their roll out into the Chicagoland market and have proposed additional locations which would decrease the pull into the proposed Wheaton location. The nearest store that would affect this is a Bloomingdale location which is already under construction and expected to open in early March of 2026. A second store in Bloomingdale has also already made it through all zoning approvals and is now in final permitting.

Director Tebrugge stated that throughout the pre-application process and the development of this zoning application, the applicant has listened to Staff concerns and has improved the proposed plan to currently show an available queueing "on-site" of 44 vehicles. The provided traffic report states that when the market stabilizes, it is estimated that the total queue at the Wheaton location will be a peak of 33 to 35 vehicles. Current Staff concern relates to the fact that there is no definitive timeline as to when the market could stabilize. Additionally, while there is large availability to queue vehicles throughout the existing shopping center parking lot, the question remains as to whether onsite staff will be able to manage a large queueing event and keep the queue off the adjoining East Loop Road. Any queueing on East Loop Road would significantly disrupt traffic flow and is deemed unacceptable by City Staff.

Mr. May stated that in order to safeguard against any queueing on East Loop Road during a high queue event, they have provided a Drive Through Traffic Exhibit which routes traffic through the shopping center parking lot and provides an additional queueing for 46 vehicles above the "on-site" queue of 44 vehicles. If managed by on-site Staff, the maximum available queue provided would be 90 vehicles, which is above the maximum observed at the Naperville store in the KLOA Traffic Impact Study for the proposed 7 Brew Coffee Shop.

Director Tebrugge stated that based on the Traffic Reports provided and the Drive Through Traffic Exhibit, Staff believes that while there is the possibility of traffic congestion problems due to the new Seven Brew location in the Rice Lake Square Shopping Center, adequate provisions have been made to safeguard against problems. However, Engineering Staff recommends the addition of the following condition:

"No queueing from the subject property shall be allowed to occur onto the East Loop Road right-of-way and all queueing must be contained on-site at the subject property. Staff shall be provided by the applicant during all hours of operation to monitor the queue, direct traffic as needed in the shopping center and manage the queueing throughout the shopping center parking lot to prevent the queue from extending onto East Loop Road at either the entrance north or south of the proposed development."

Mr. George stated that they are agreeable to a condition that no queueing shall occur on East Loop Road.

Laura Campbell, 156 Hawkins Circle, Wheaton was sworn in. Ms. Campbell stated that she was a neighboring property owner and she was concerned with the proposed traffic that a Seven Brew would bring to the Rice Lake Square shopping center.

Jeff Townsend, 174 Hawkins Circle, Wheaton was sworn in. Mr. Townsend stated that he was a neighboring property owner and he was concerned with the proposed traffic that a Seven Brew would bring to the Rice Lake Square shopping center. He questioned if traffic backed up onto East Loop Road, how it would be enforced.

Mr. George stated that if this happened, they would be in conflict with the conditions of their special use permit and they would have to come back to the Board for another public hearing.

Melissa Guido, 1142 Oxford Lane, Wheaton was sworn in. Ms. Guido stated that she was a neighboring property owner and she was concerned with the proposed traffic that a Seven Brew would bring to the Rice Lake Square shopping center.

The Board discussed the request and decided to add two additional conditions to the ones drafted by staff. The Board felt that the dual drive-thru lanes shall be reduced to one lane at the exit to minimize traffic congestion and landscaping shall be added to the north and west sides of the site.

Mr. Dabovich moved and then Mr. Gudmundson seconded the motion to close the public hearing. On a voice vote, all voted aye.

Mr. Plunkett moved and then Mr. Spittler seconded the motion to waive their regular rules and vote tonight. On a voice vote, all voted aye.

Recommendation

Mr. Dabovich moved and then Mr. Blume seconded the motion to recommend approval of ZA # 26-04, requesting an amendment to a special use permit for a planned unit development to allow the construction and use of a one-story, 900 square foot coffee stand on a leased parcel of land in the Rice Lake Square Shopping Center parking lot between the former Houlihan's restaurant (at 321 Rice Lake Square) and Studio Movie Grill (at 301 Rice Lake Square), subject to the following conditions:

1. The building parapet wall shall be raised to fully screen the rooftop mechanical units;
2. No queueing from the subject property shall be allowed to occur onto the East Loop Road right-of-way and all queueing must be contained on-site at the subject property. Staff shall be provided by the applicant during all hours of operation to monitor the queue, direct traffic as needed in the shopping center, and manage the queueing throughout the shopping center parking lot to prevent the queue from extending onto East Loop Road at either the entrance north or south of the proposed development;
3. The preliminary engineering plan shall be subject to further staff review prior to the issuance of a site development permit;
4. The dual drive-thru lanes shall be reduced to one lane at the exit to minimize traffic congestion; and
5. Additional landscaping shall be added to the north and west sides of the site.

Roll Call Vote

Ayes: Nicole Aranas
Ben Blume
Chris Dabovich
Bob Gudmundson
Cecilia Horejs
Philip Spittler

Nays: Mark Plunkett

Absent: None

Motion Passed

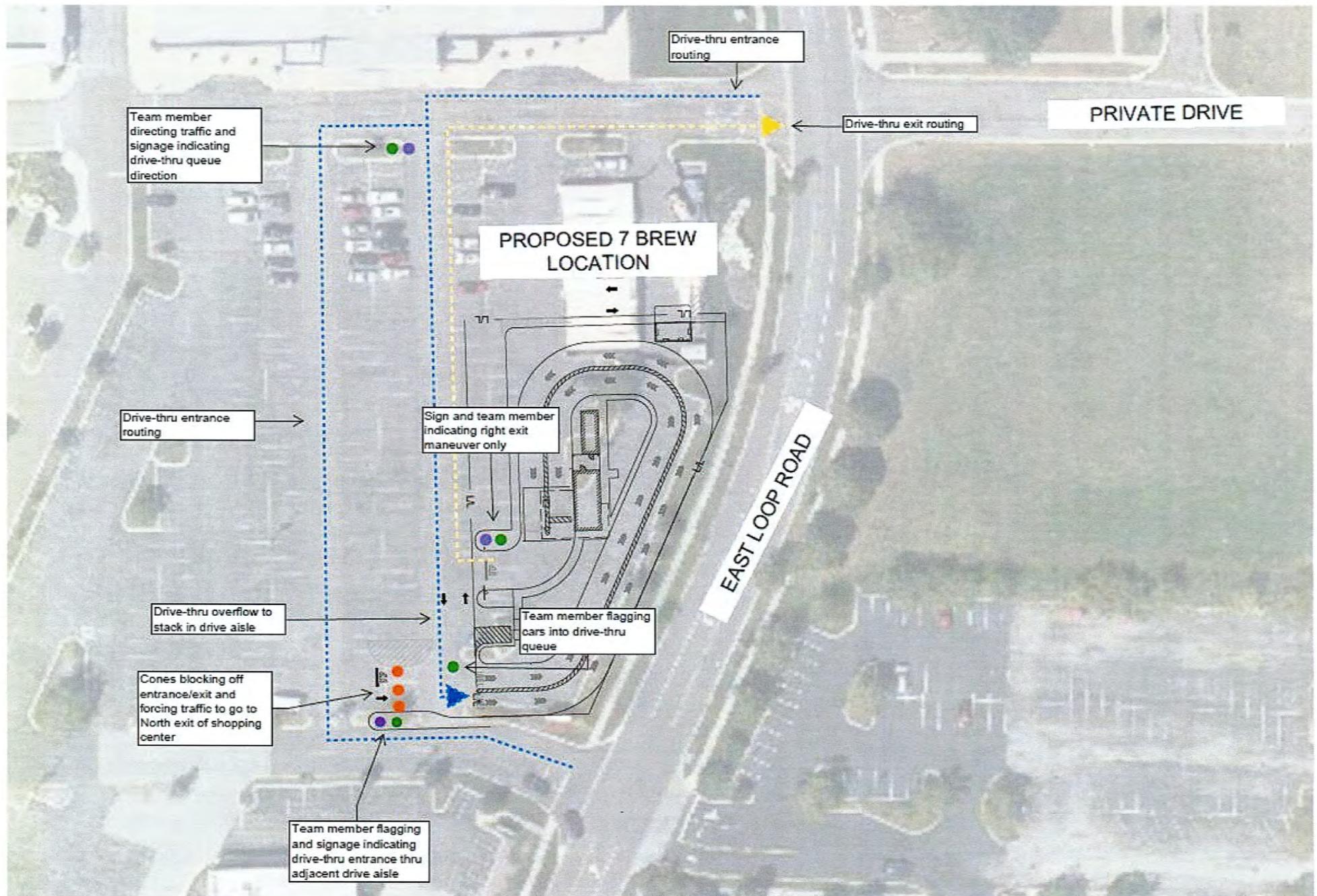
The dissenting Board member had concerns with how the proposed traffic from Seven Brew would impact Studio Movie Grill.

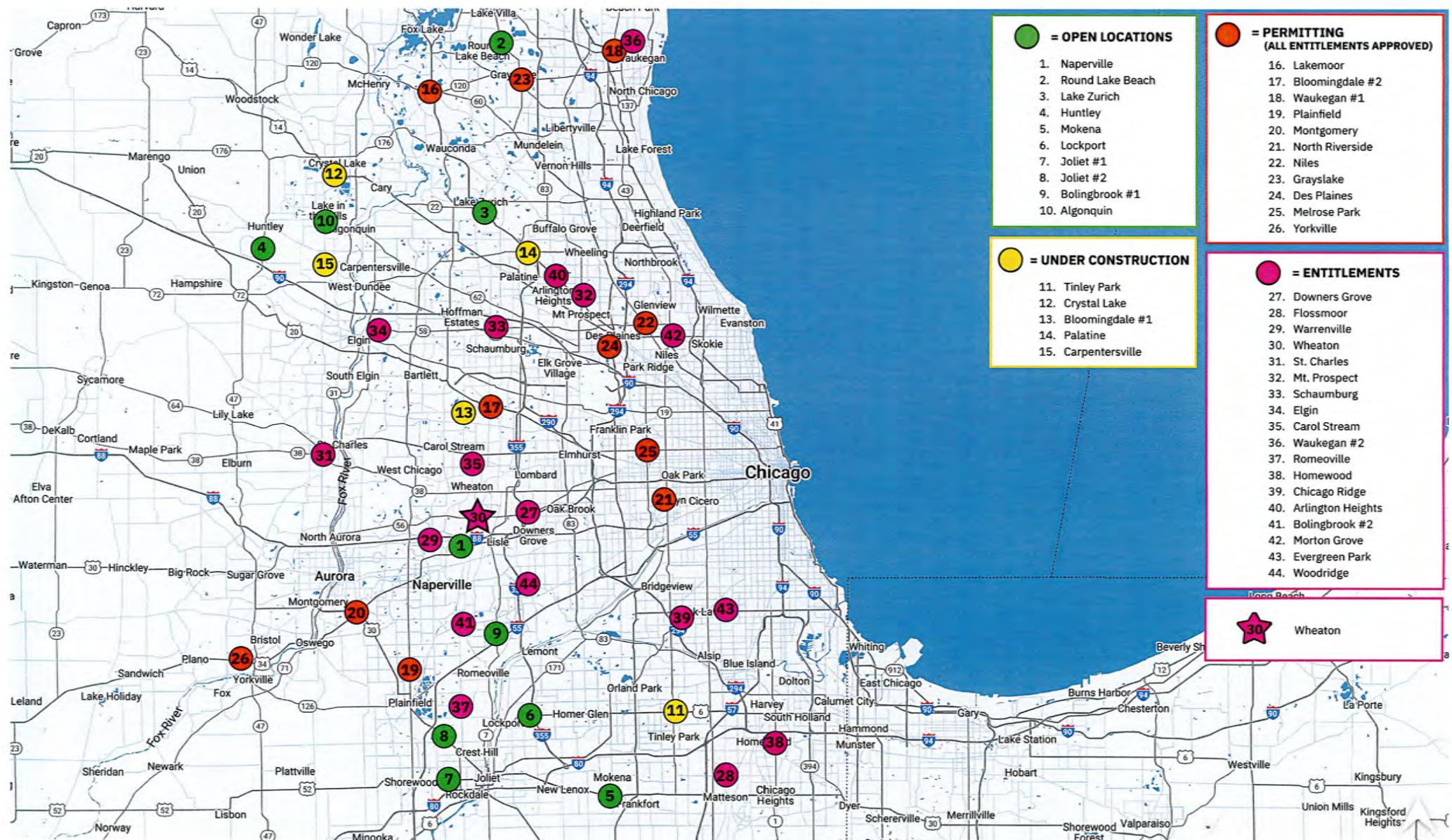
Nicole Aranas, Chair
Wheaton Planning and Zoning Board

Findings of Fact

1. A majority of the Board finds that the establishment, maintenance, and operation of the special use would not be detrimental to the public health, safety, morals, comfort, convenience, and general welfare.
2. A majority of the Board finds that the special use would not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, and not substantially diminish property values within the neighborhood.
3. A majority of the Board finds that the establishment of the special use would not impede the normal and orderly development and improvement of the surrounding property for uses already permitted.
4. A majority of the Board finds that adequate utilities, access ways, drainage, and other necessary facilities would be provided.
5. A majority of the Board finds that adequate measures would be taken to provide ingress and egress designed to minimize traffic congestion in the public streets.
6. A majority of the Board finds that the special use would comply with the objectives of the Wheaton Comprehensive Plan.
7. A majority of the Board finds that the special use would conform to the applicable requirements of the district in which it is located as well as any other applicable requirements of this ordinance.

DRIVE THRU OVERFLOW PLAN







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SITE DEVELOPMENT PLANS FOR

SEVEN 1/3 BREW.
COFFEE >>>
DRIVE THRU

WHEATON, IL
151 RICE LAKE SQ.
WHEATON, ILLINOIS 60189

MOSCOW



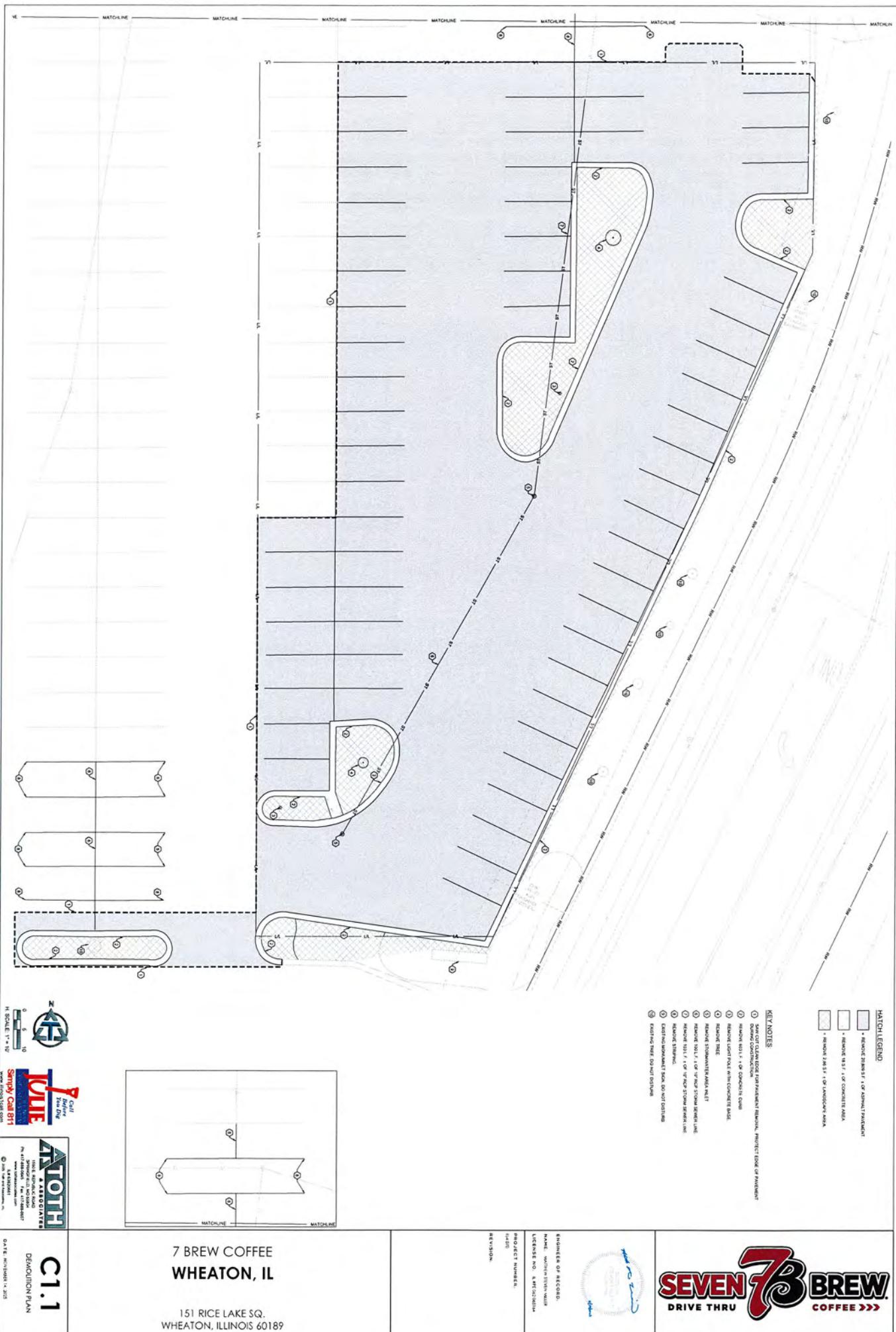
7 BREW COFFEE
WHEATON, IL

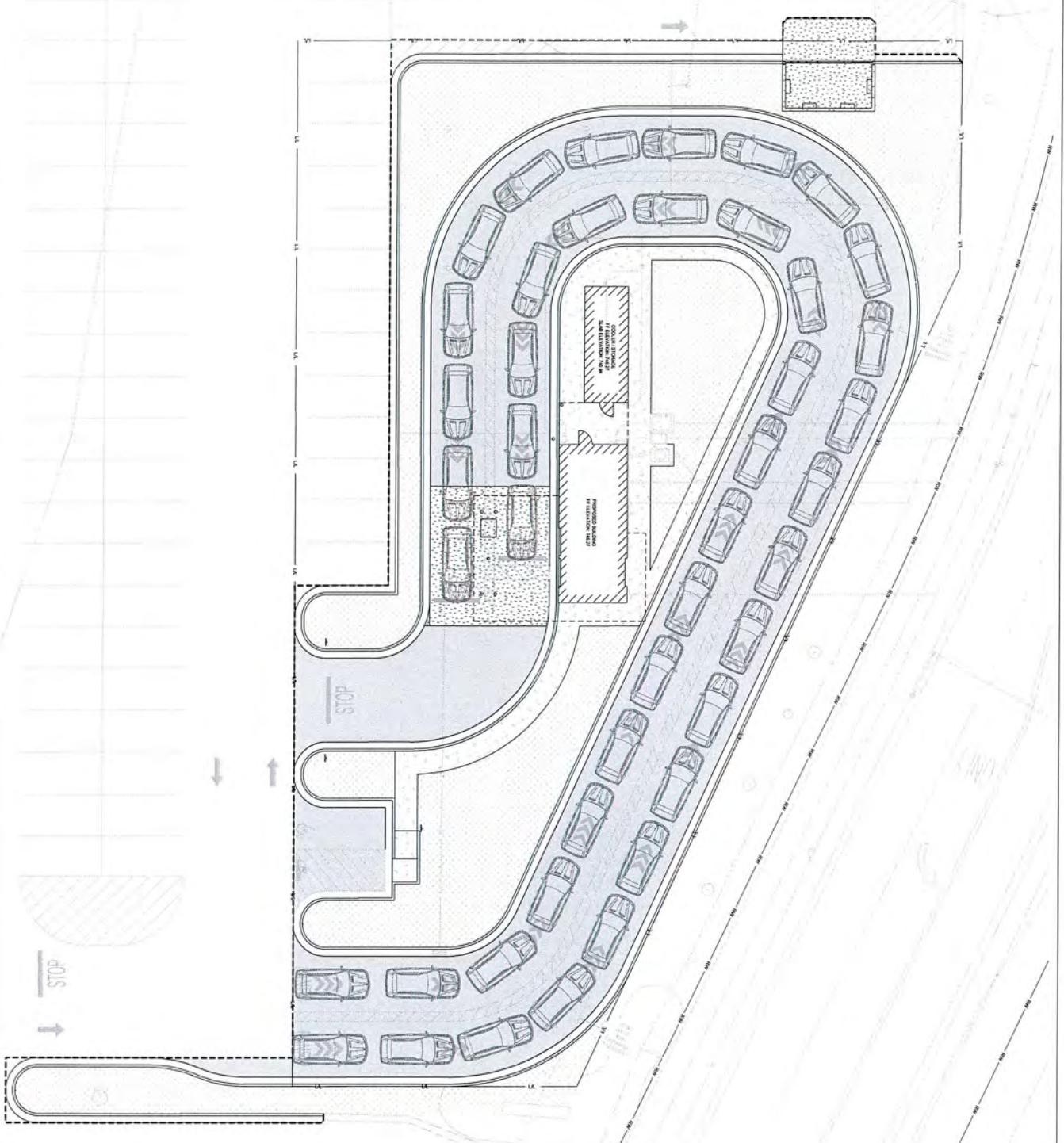
151 RICE LAKE SQ.
WHEATON, ILLINOIS 60189

The logo for Seven 7B Brew. It features the word "SEVEN" in a bold, black, sans-serif font. To the right of "SEVEN" is a large, stylized, red number "7" with a black outline. To the right of the "7" is the word "BREW" in a bold, black, sans-serif font. Below "SEVEN" and "BREW" is the word "DRIVE THRU" in a smaller, black, sans-serif font. To the right of "BREW" is a red arrow pointing to the right with the words "COFFEE >>>" in red text next to it.

COVER SHEET

DATE: NOVEMBER 14, 2001





H. SCALE: 1" x 10"

The logo for TH Associates, featuring the letters 'TH' in a large, bold, blue serif font. To the left of 'TH' is the word 'ASSOCIATES' in a smaller, blue serif font, with a vertical line separating it from the 'TH'.

NUMBER 14 2013
STACKING PLAN
C2.2

7 BREW COFFEE
WHEATON, IL

151 RICE LAKE SQ.
WHEATON, ILLINOIS 60189

PROJECT N

11

LICENSE

NAME _____

ENGINEER

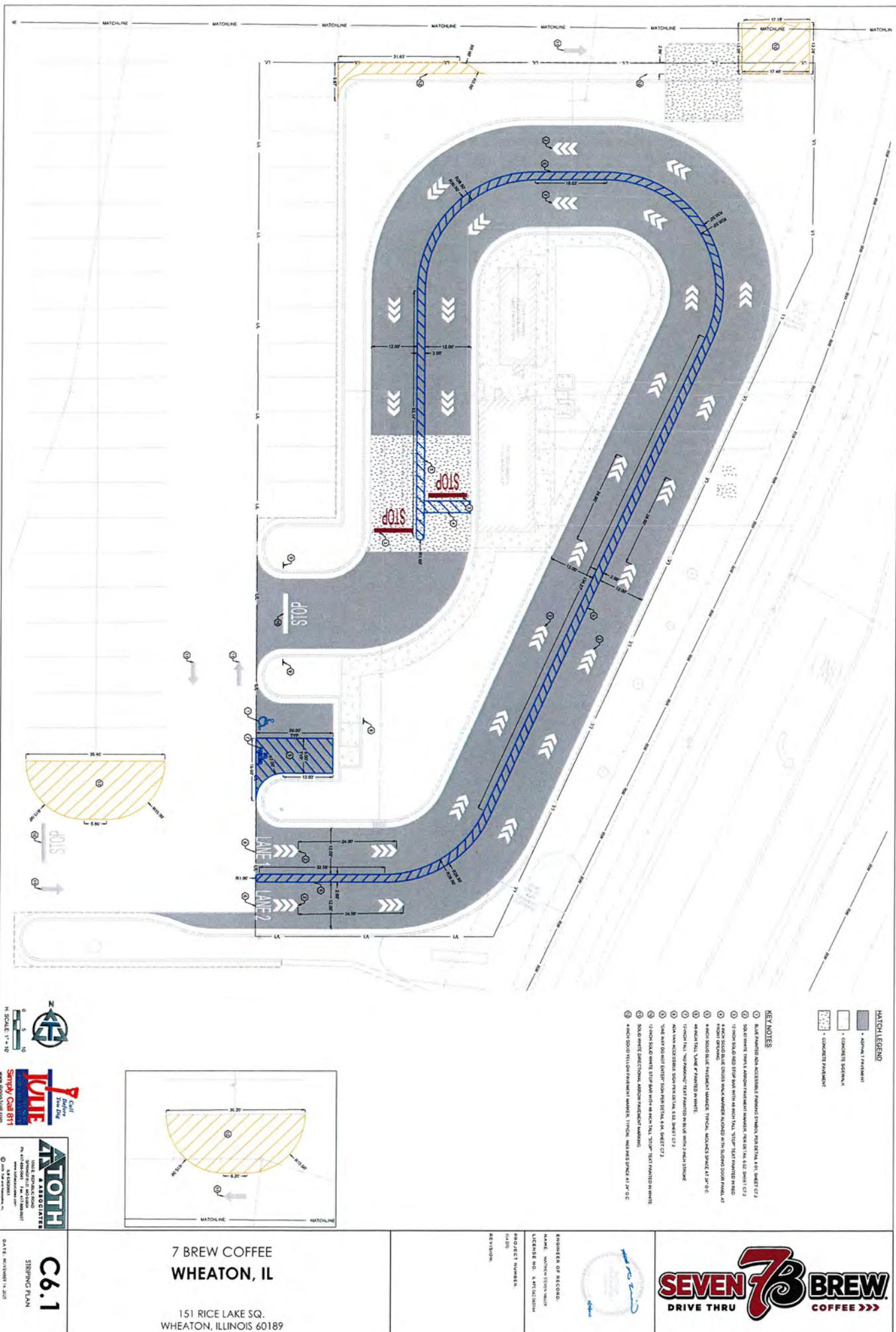
SEVEN 73 BREW
DRIVE THRU COFFEE >>>



7 BREW COFFEE
WHEATON, IL

151 RICE LAKE SQ.
WHEATON, ILLINOIS 60189

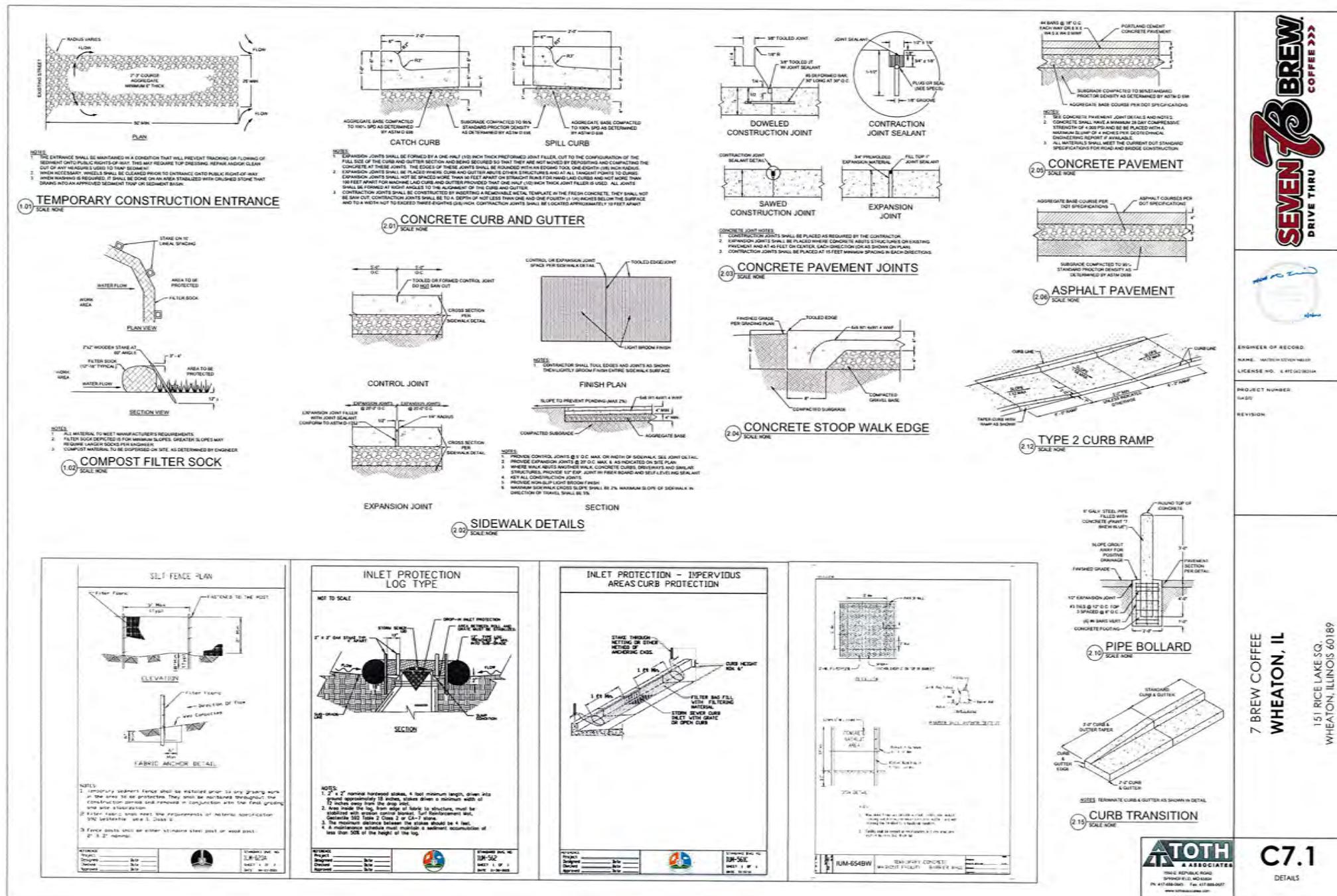
The logo for Seven 7B Brew. It features the word "SEVEN" in a bold, black, sans-serif font. To the right of "SEVEN" is a large, stylized number "7" and a lowercase "B" that are interconnected. To the right of "B" is the word "BREW" in a bold, black, sans-serif font. Below "SEVEN" and "BREW" is the word "DRIVE THRU" in a smaller, bold, black, sans-serif font. Below "BREW" is the word "COFFEE" followed by three black arrows pointing to the right.

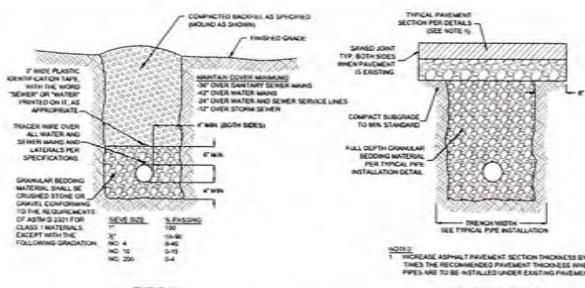


7 BREW COFFEE
WHEATON, IL

151 RICE LAKE SQ.
WHEATON, ILLINOIS 60189



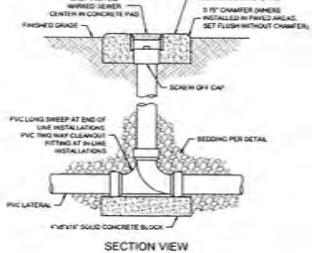




TYPICAL

4.01 PIPE INSTALLATION

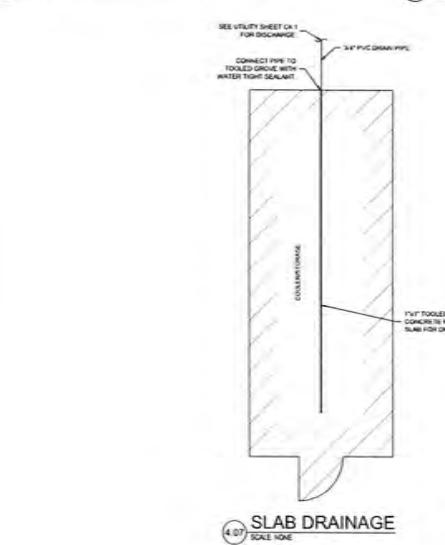
SCALE: 1/8"



SECTION VIEW

NOTES:
1. SIZE AND MATERIAL OF FITTINGS AND PIPE TO MATCH THAT OF LATERAL.
2. INSTALL CLEAVENTS AT ALL BENDS AND AT MAXIMUM 30' SPACINGS.

4.02 SANITARY SEWER CLEANOUT



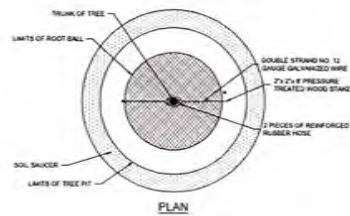
4.03 SLAB DRAINAGE

4.04 DOWNSPOUT CONNECTION

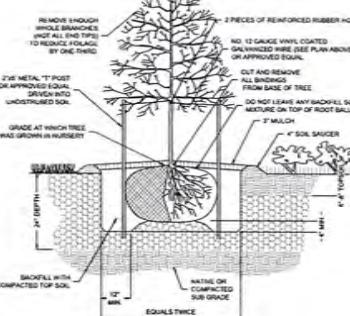
SCALE: 1/8"

UNDER PAVEMENT

NOTE: INCREASE ASPHALT PAVEMENT SECTION THICKNESS BY 1.5 TIMES THE THICKNESS OF THE PAVEMENT WHERE PIPES ARE TO BE INSTALLED UNDER EXISTING PAVEMENT.



PLAN



NOTES:
1. BACKFILL AROUND ROOT BALL IN 6"-LAYERs WATERING EACH LAYER UNTIL SETTLED TO AVOID AIR POCKETS.
2. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF TREE STABILIZATION AT THE END OF THE SECOND GROWING SEASON.

5.01 TREE PLANTING

SCALE: 1/8"



5.02 SHRUB PLANTING

SCALE: 1/8"

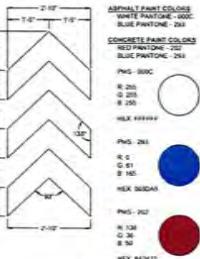


6.04 TYPICAL SIGN POST

SCALE: 1/8"

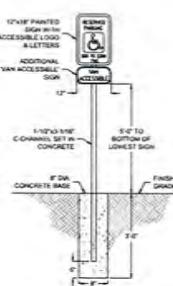
6.01 ADA ACCESSIBLE PARKING SYMBOL

SCALE: 1/8"



6.02 PARKING LOT STRIPING COLORS & PAINT

SCALE: 1/8"



6.03 ADA ACCESSIBLE SIGN

SCALE: 1/8"

ASPHALT PAINT COLORS
WATER PROOFING - 200
BLACK PAINT - 200
CONCRETE PAINT COLORS
WATER PROOFING - 200
BLACK PAINT - 200
PMG - 200
G 200
G 200
G 200
G 200
PMG - 200
W 200
G 200
G 200
HEX BANANAS
HEX BANANAS

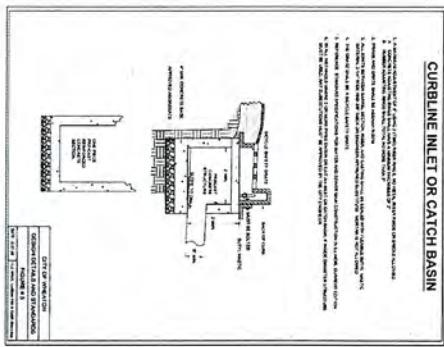
TRAFFIC PAINT TYPE
SPRAYER-ROLLER, PRO PAINT, SELF-AST. HOTLINE OR AN APPROVED EQUAL.

ENGINEER OF RECORD:
NAME: MATTHEW SEVEN-BREW
LICENSE NO: 100-00166104

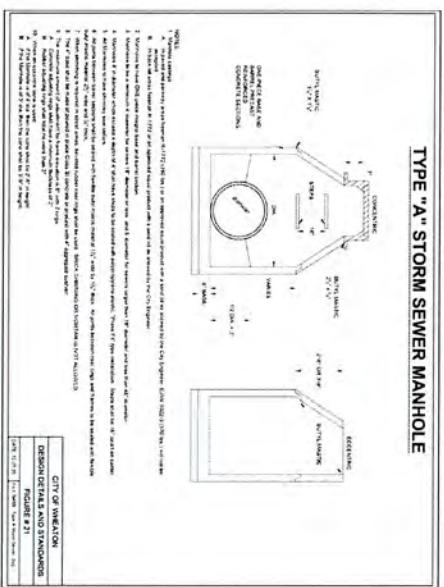
PROJECT NUMBER:
14-020

REVISION:

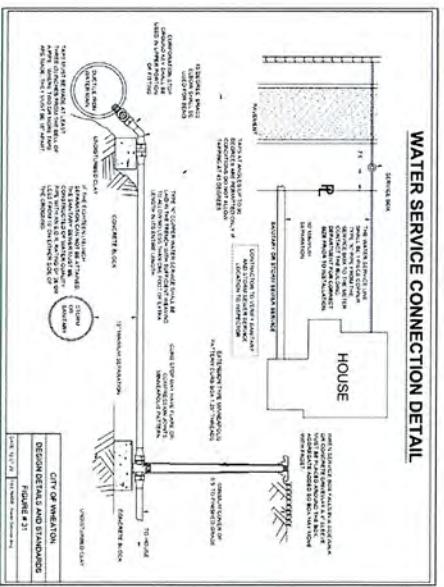
CURBLINE INLET OR CATCH BASIN



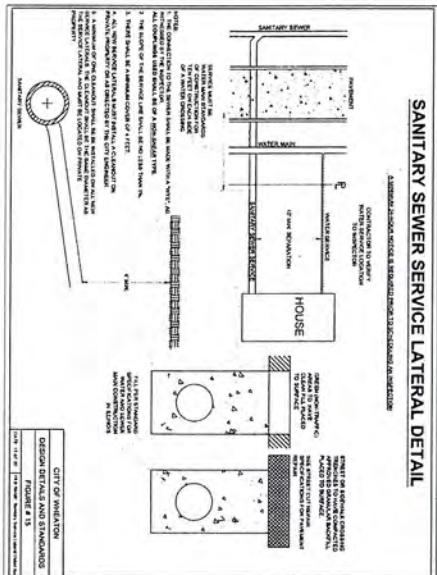
TYPE "A" STORM SEWER MANHOLE



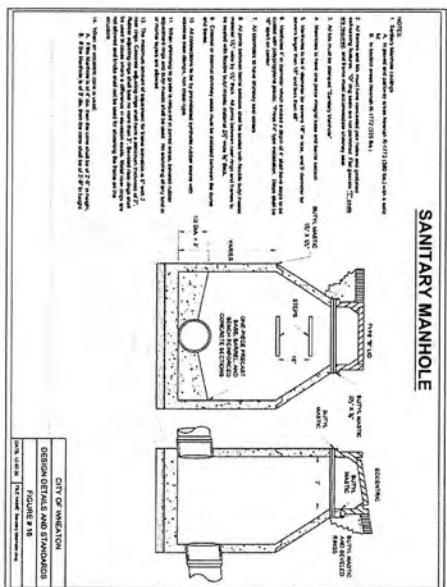
WATER SERVICE CONNECTION DETAIL



SANITARY SEWER SERVICE LATERAL DETAIL



SANITARY MANHOLE



C7.3

DETAILS

7 BREW COFFEE
WHEATON, IL

151 RICE LAKE SQ.
WHEATON, ILLINOIS 60189





DESIGN PROPOSAL

PROJECT ID:	0429283A
CLIENT:	SEVEN 7B BREW COFFEE
ADDRESS:	225 RICE LAKE SQUARE WHEATON, IL
DATE:	7/31/2025
CONTACT:	WLF/TMZ
DESIGNER:	JMC

Pattison



1.866.635.1110
pattisonid.com

Project ID
0429283A

SEVEN BREW COFFEE
225 RICE LAKE SQUARE
WHEATON, IL

Date: 7/31/25
Contact: WLF/TMZ
Designer: JMC

Sign Item

Scale:
Revision Notes

Information Required for Production

Customer Approval

Signature

MM/DD/YYYY

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SITE PLAN TBD

SITE PLAN

N.T.S.

Project ID
0429283A

SEVEN BREW COFFEE
225 RICE LAKE SQUARE
WHEATON, IL

Date: 7/31/25
Contact: WLF/TMZ
Designer: JMC

Sign Item

SITE PLAN

Scale: N.T.S.

Revision Notes

**Information Required
for Production**

Customer Approval

Signature _____

MM/DD/YYYY

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Project ID
0429283A

SEVEN BREW COFFEE
225 RICE LAKE SQUARE
WHEATON, IL

Date: 7/31/25
Contact: WLF/TMZ
Designer: JMC

Sign Item

FRONT ELEVATION

Scale: 3/16" = 1'-0"

Revision Notes

Information Required for Production

Customer Approval

Signature

MM/DD/YYYY

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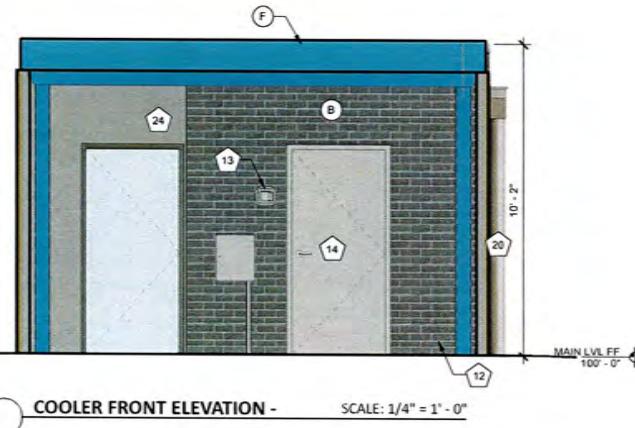
It is the Customer's responsibility to ensure that the sign installation location is suitable to access and support the installation of the signs being ordered. Notify Pattison ID immediately if further details are required.

Pattison

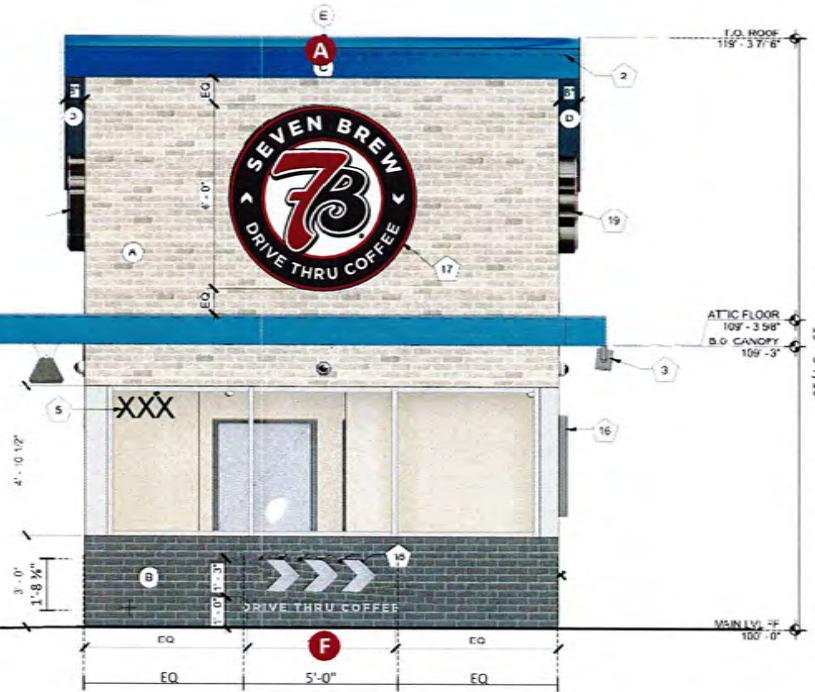


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COOLER FRONT ELEVATION - SCALE: 1/4" = 1'- 0"



FRONT ELEVATION - SCALE: 1/4" = 1'- 0"

Project ID
0429283A

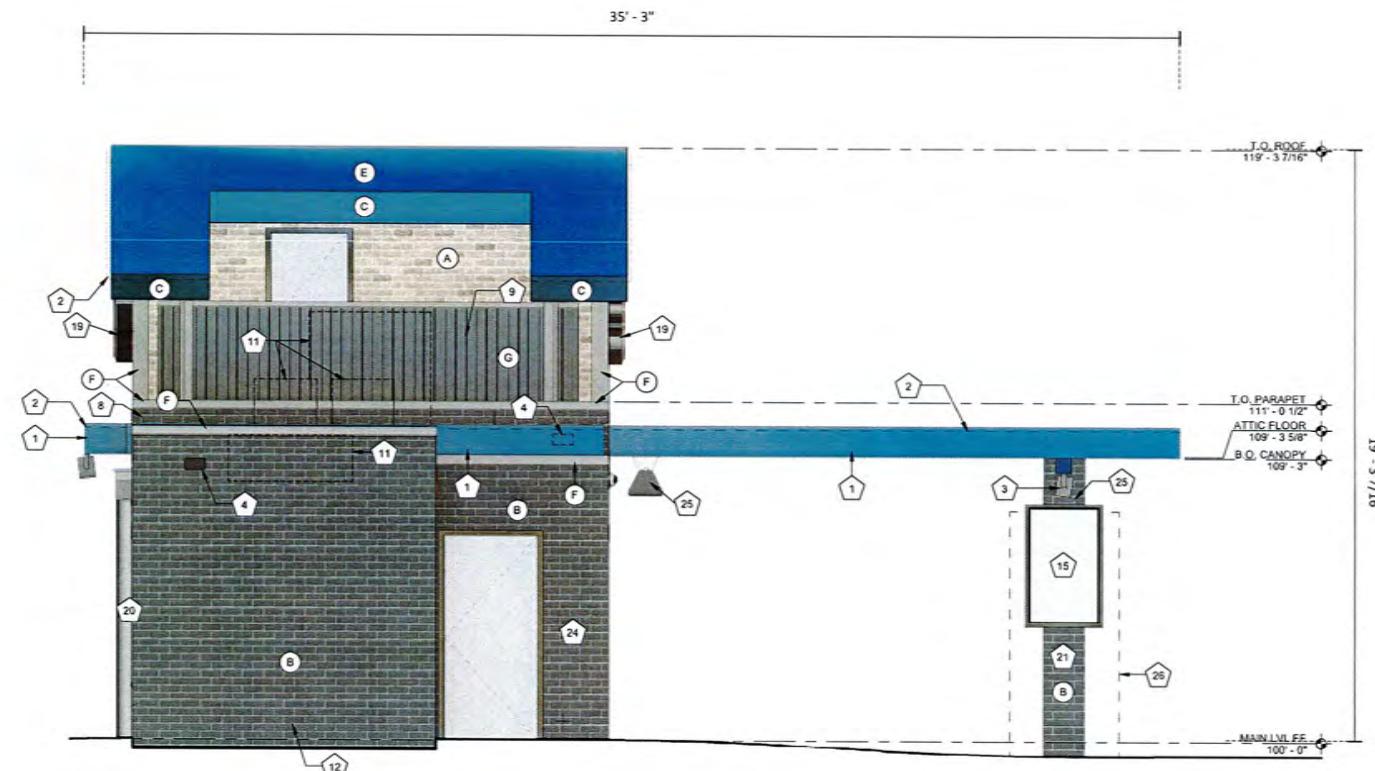
SEVEN BREW COFFEE
225 RICE LAKE SQUARE
WHEATON, IL

Date: 7/31/25
Contact: WLF/TMZ
Designer: JMC

Sign Item

Scale:

Revision Notes



Information Required
for Production

Customer Approval

Signature _____

MM/DD/YYYY

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Project ID
0429283A

SEVEN BREW COFFEE
225 RICE LAKE SQUARE
WHEATON, IL

Date: 7/31/25
Contact: WLF/TMZ
Designer: JMC

Sign Item

SIDE ELEVATION

Scale: 3/16" = 1'-0"

Revision Notes

**Information Required
for Production**

Customer Approval

Signature

MM/DD/YYYY

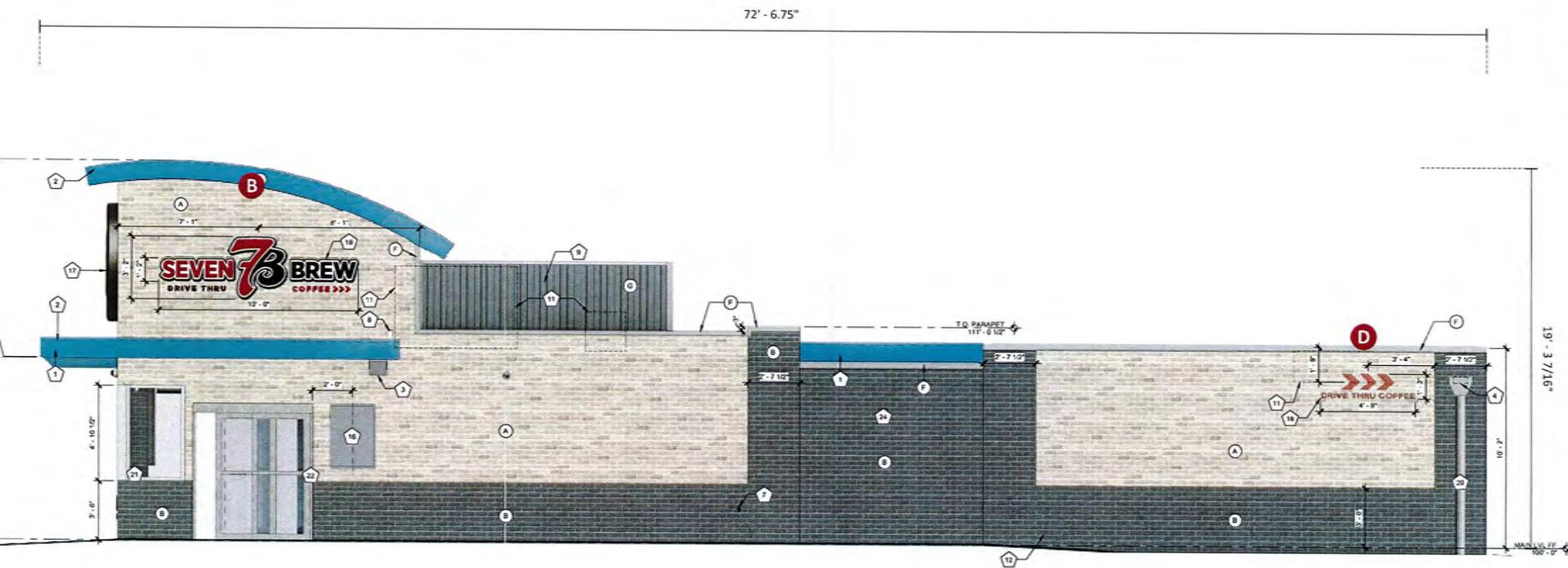
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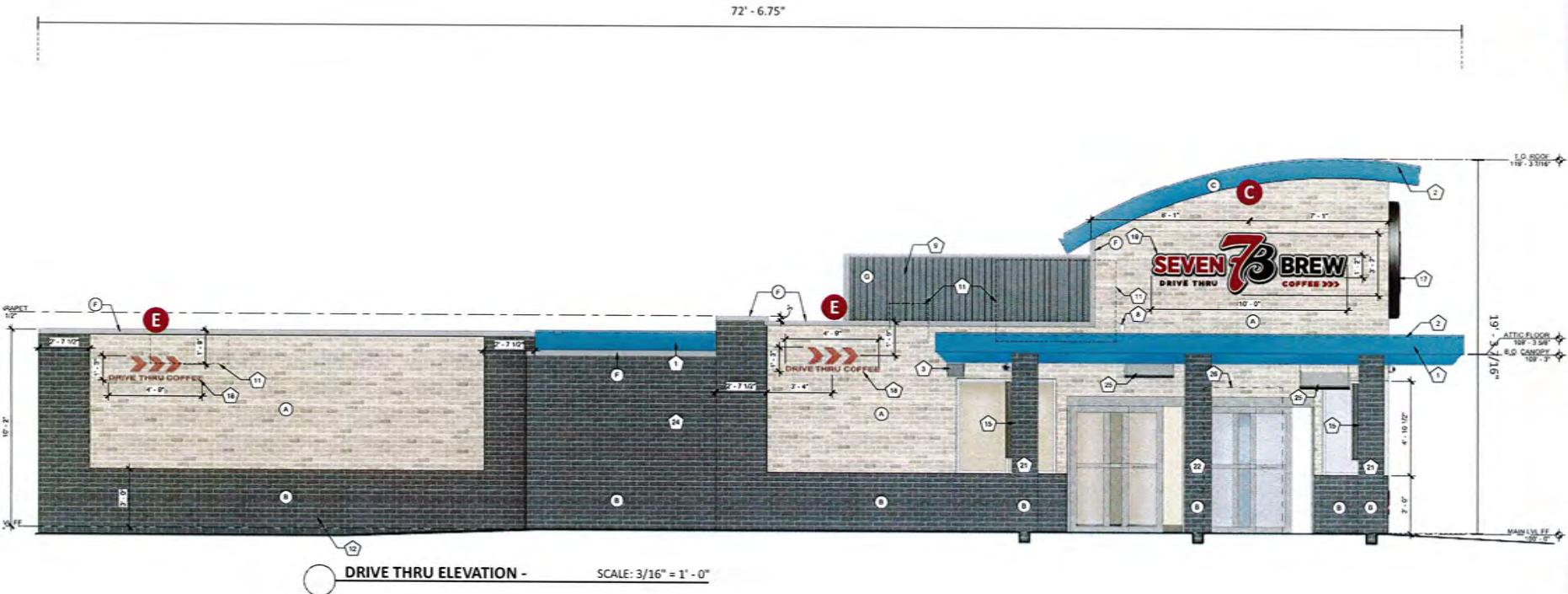
Project ID
0429283A

SEVEN BREW COFFEE
225 RICE LAKE SQUARE
WHEATON, IL

Date: 7/31/25
Contact: WLF/TMZ
Designer: JMC

Sign Item

Scale:
Revision Notes



Information Required for Production

Customer Approval

Signature
MM/DD/YYYY

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A S/F ILLUMINATED MEDALLION SIGN
ONE [1] REQUIRED - MANUFACTURE & INSTALL

SCALE: 3/4" = 1'-0"
28.27 Sq.Ft. CIRCLE



SIMULATED NIGHT VIEW

PERIMETER COPY, ARROWS & "7B"
TO BE EMBOSSED ADD'L 1/4"

4" DEEP FABRICATED ALUMINUM SIGN CABINET -
RETURNS & BACKS PAINTED BLACK -
INTERIOR PAINTED LIGHT-ENHANCING WHITE

FORMED & EMBOSSED PAN POLYCARBONATE
FACES w/ TRANSLUCENT FILM GRAPHICS
(SEE COLOR KEY) - BLOCKOUT FILM AS REQ'D -
WHITE CIRCLE AREA TO BE DEBOSSED AROUND
"7B" LOGO & COPY

INTERNALLY-ILLUMINATED w/ 7100k WHITE GE
TETRAMAX LED's - REMOTE POWER SUPPLIES -
CUSTOMER TO PROVIDE POWER TO SIGN

TO BE FLUSH-MOUNTED TO FRONT FASCIA
w/ NON-CORROSIVE HARDWARE AS REQ'D -
BLOCKING TO BE PROVIDED BY GC PRIOR TO
INSTALLATION



END VIEW

**Information Required
for Production**

Customer Approval

Signature _____

MM/DD/YYYY

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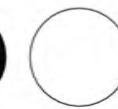
BRAND COLORS



PMS 202
C: 29.54%
M: 95.11%
Y: 74.72%
K: 29.59%



BLACK
C: 0%
M: 0%
Y: 0%
K: 100%



WHITE
C: 0%
M: 0%
Y: 0%
K: 0%

Pattison



1.866.635.1110
pattisonid.com

Project ID
0429283A

SEVEN BREW COFFEE
225 RICE LAKE SQUARE
WHEATON, IL

Date: 7/31/25
Contact: WLF/TMZ
Designer: JMC

Sign Item

A: LOGO MEDALLION

Scale: 3/4" = 1'-0"

Revision Notes



B C S/F ILLUMINATED SIGN

ONE [1] SET(S) REQUIRED - MANUFACTURE & STOCK:

5" DEEP ALUMINUM EMBOSSED-FACE, LED ILLUMINATED "SEVEN 7B BREW" WALL SIGN w/ RAISED VINYL GRAPHICS PER COLOR KEY -

1/2" DEEP FCO'S TO READ "DRIVE THRU" & "COFFEE>>>" PAINTED PER COLOR KEY - BACKS DRILLED & TAPPED FOR STUD-MOUNTING

SCALE: 3/4" = 1'-0"

32.08 Sq.Ft. EACH SET



SIMULATED NIGHT VIEW

"SEVEN 7B BREW":

4" DEEP SINGLE FACED ALUMINUM SIGN
CABINETS - RETURNS PAINTED BLACK -
INTERIOR PAINTED LIGHT-ENHANCING WHITE

FORMED & EMBOSSED PAN POLYCARBONATE
FACES W/ TRASNUCIENT FILM GRAPHICS (SEE COLOR KEY) -
BLOCK OUT VINYL AS REQ'D
CENTERS IN "B" ON LOGO TO BE DEBOSSED -
SEE EXAMPLE PHOTO BELOW

1/4" DIA. WEEP HOLES IN LOW POINTS OF
CABINETS w/ ALUMINUM LIGHT SCREENS @
EACH WEEP HOLE TO PREVENT LIGHT LEAKS

INTERNAL ILLUMINATED w/ 7100K WHITE GE
TETRAMAX LED's - REMOTE POWER SUPPLIES -
CUSTOMER TO PROVIDE POWER TO SIGN

120 - 277 VAC 20A 2-POLE SWITCH w/ BELL
MX1050 COVER

TO BE FLUSH MOUNTED TO FASCIA w/ NON-
CORROSIVE HARDWARE AS REQ'D

"DRIVE THRU" & "COFFEE>>>":
1/2" DEEP ALUMINUM FLAT CUT-OUT LETTERS
(SEE COLOR KEY) - TO BE STUD-MOUNTED FLUSH
TO FASCIA



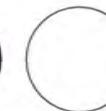
BRAND COLORS



PMS 202
C: 29.54%
M: 95.11%
Y: 74.72%
K: 29.59%



BLACK
C: 0%
M: 0%
Y: 0%
K: 100%



WHITE
C: 0%
M: 0%
Y: 0%
K: 0%

END VIEW

Customer Approval

Signature: _____

MM/DD/YYYY: _____

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Pattison ID.

It is the Customer's responsibility to ensure
that the sign installation location is suitable
to accept and support the installation of the
signs being ordered. Notify Pattison ID
immediately if further details are required.

Pattison



1.866.635.1110
pattisonid.com

Project ID
0429283A

SEVEN BREW COFFEE
225 RICE LAKE SQUARE
WHEATON, IL

Date: 7/31/25
Contact: WLF/TMZ
Designer: JMC

Sign Item

B,C: LOGO COPY
Scale: 3/4" = 1'-0"

Revision Notes

Information Required
for Production

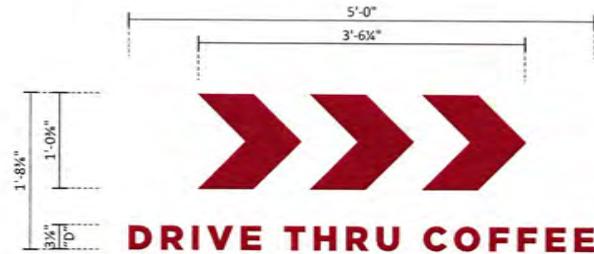
Project ID
0429283A

SEVEN BREW COFFEE
225 RICE LAKE SQUARE
WHEATON, IL

Date: 7/31/25
Contact: WLF/TMZ
Designer: JMC

Sign Item

Scale:
Revision Notes

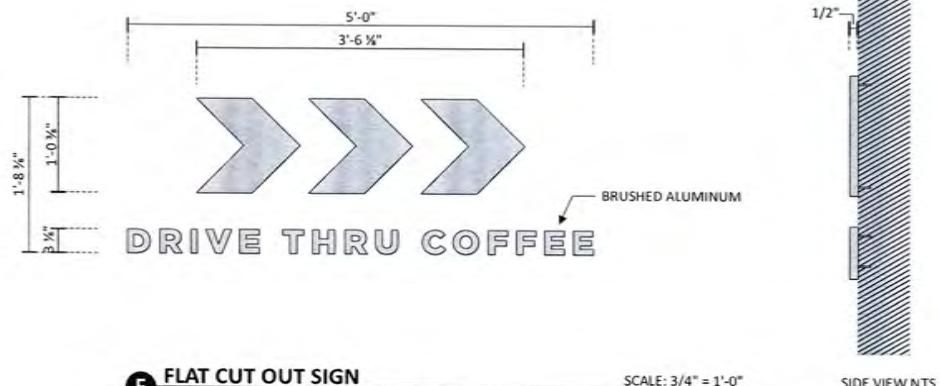


D E FLAT CUT-OUT SIGN
THREE [3] SET(S) REQUIRED - MANUFACTURE & STOCK:

1/2" DEEP FCO'S TO READ "DRIVE THRU COFFEE>>>" -
PAINTED TO MATCH PMS 202c BURGUNDY --
BACKS DRILLED & TAPPED FOR FLUSH STUD-MOUNTING -
NON-ILLUMINATED



SIDE VIEW N.T.S.



F FLAT CUT OUT SIGN
ONE [1] SET REQUIRED - MANUFACTURE & INSTALL

1/2" DEEP FCO'S TO READ "DRIVE THRU COFFEE>>>" PIN MOUNT
FLUSH TO WALL - BRUSHED ALUMINUM, HORIZONTAL GRAIN
NON ILLUMINATED

NOTE: EXACT SURVEY OF INSTALL AREA REQ'D PRIOR TO MANUFACTURE
EXACT PLACEMENT TO BE DETERMINED

BRAND COLORS



PMS 202
C: 29.54%
M: 95.11%
Y: 74.72%
K: 29.59%



BLACK
C: 0%
M: 0%
Y: 0%
K: 100%



WHITE
C: 0%
M: 63%
Y: 0%
K: 0%



PMS 293
C: 100%
M: 0%
Y: 0%
K: 35%



BRUSHED
ALUMINUM

Information Required
for Production

Customer Approval

Signature

MM/DD/YYYY

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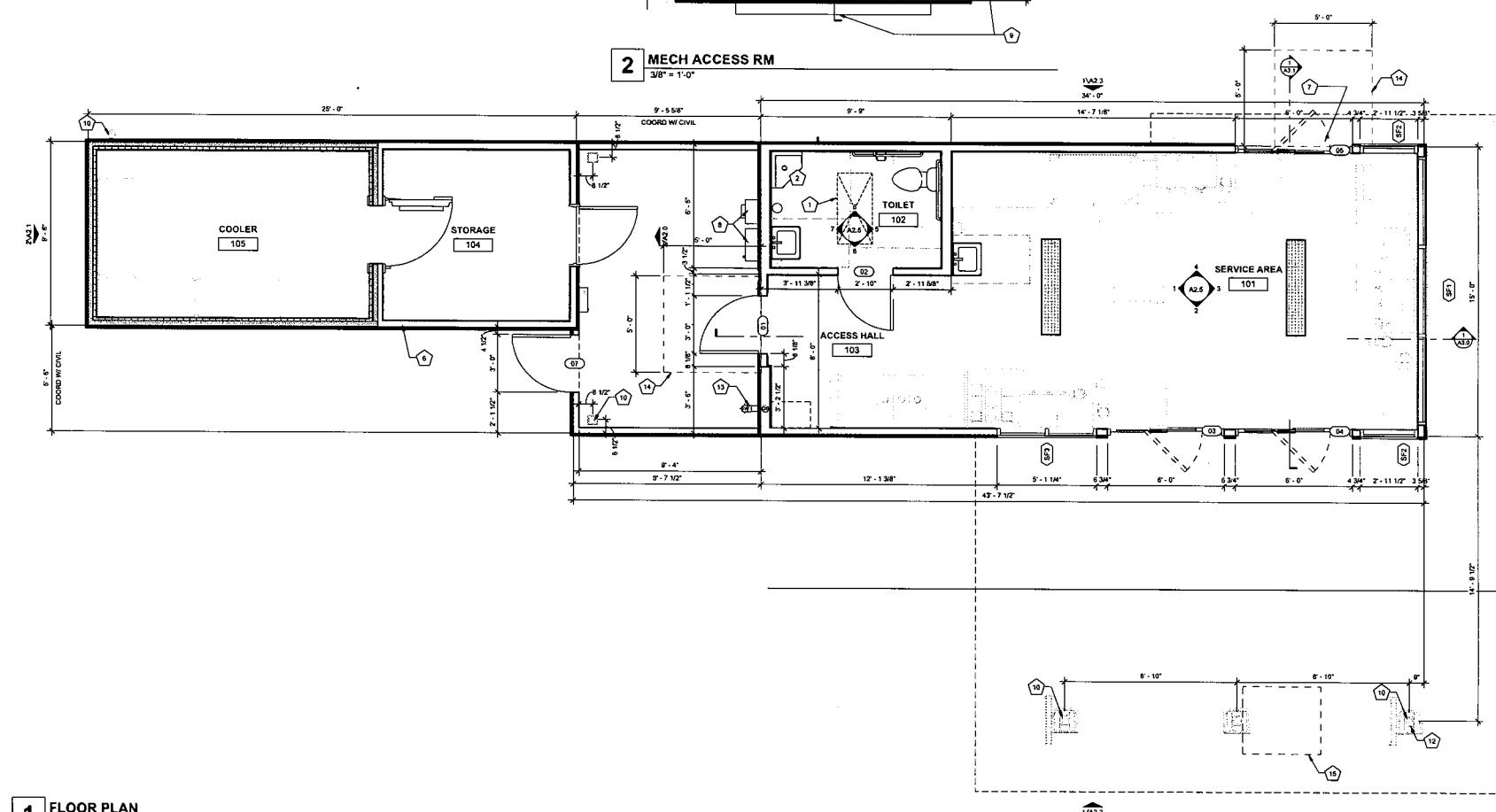
Pattison



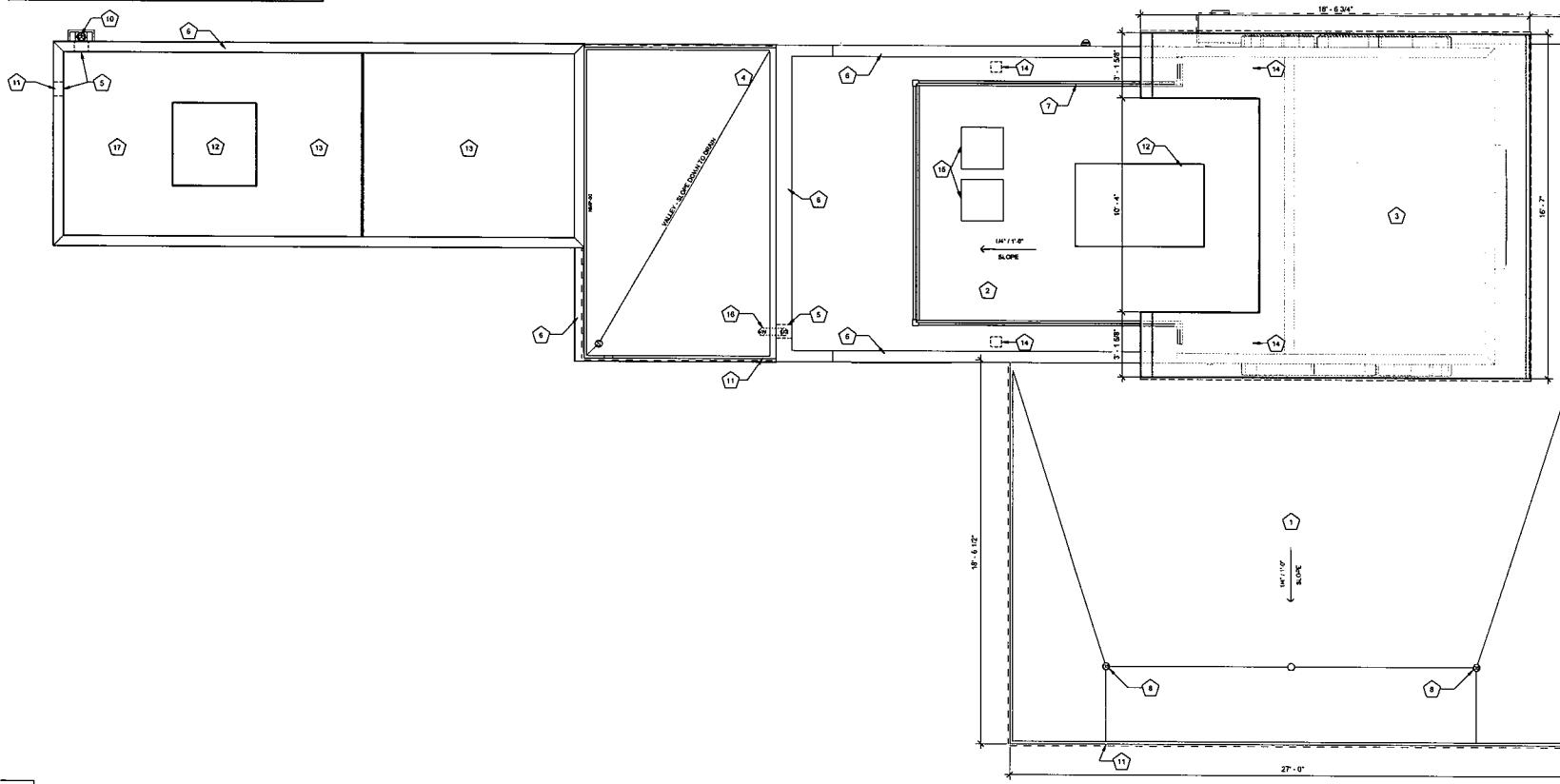
1.866.635.1110

pattisonid.com

FLOOR PLAN KEYNOTES	
MARK	DESCRIPTION
1	ACCESS DOOR FOR CRAWL SPACE ACCESS
2	MOP SINK, REF PLUMBING
3	MECH. ACCESS DOOR AND LADDER - SUPPLIED BY OWNER
4	STEP, CENTER ON DOOR
5	PREFABRICATED COMPLIANT MECHANICAL SERVICE GUARDRAIL PER IBC SECTION 1015 - EACH SIDE
6	PREFABRICATED COOLER BY NATIONAL MODULAR MANUFACTURING; COORD LOCATION & SPECS WITH CIVIL & STRUCT
7	AN AUTOMANUAL EGRESS CAPABLE
8	ELECTRICAL EQUIPMENT, PAINTED TO MATCH BUILDING; REF ELECTRICAL
9	STOREFRONT SIGNS - SUPPLIED AND INSTALLED BY SIGN CONTRACTOR
10	DOWNSPOUT CONNECTION TO STORMWATER SYSTEM; REF CIVIL
11	DOWNSPOUT SLIPPER TO GRADE; REF CIVIL
12	SITE CONTRACTOR TO COORDINATE CIVIL AND STRUCTURAL DRAWINGS TO ENSURE ALL CANOPY COLUMN FOUNDATION PLATES AND BOLTS ARE CONSTRUCTED IN A MANNER THAT CONCEALS THEIR CONNECTIONS COMPLETELY BELOW GRADE; TYP.
13	DOWNSPOUT OUTLET - STORMWATER CONNECTION; COORD W/ CIVIL
14	FROST-PROTECTED EGRESS FOUNDATION PAD
15	WARMING HUT



MARK	DESCRIPTION
1	PRE-ENGINEERED CANOPY W/ TPO ROOFING ON ROOF SHEATHING PER STRUCTURE. REF CANOPY SHOP DRAWINGS
2	TPO ROOFING ON ROOF SHEATHING PER STRUCTURE
3	CORRUGATED METAL METAL ROOF ON #15 FELT ON PLYWOOD ROOF SHEATHING
4	TPO ROOFING ON ROOF SHEATHING PER STRUCTURE BUILT-UP w/ CRICKET FRAMING
5	9" WIDE X 4" HIGH TPO ROOF SCUPPER WITH SHEET METAL UNDERLAYER
6	BRAKE METAL CAP; REF ELEVATIONS
7	3'-6" GUARDRAIL
8	ROOF DRAIN WITHIN STRUCTURAL COLUMN; CONNECT TO STORMWATER COLLECTION SYSTEM. REF CIVIL
9	ROOF DRAIN WITHIN STRUCTURAL COLUMN; SCUPPER BASE OF DOWNSPOUT TO GRADE, REF CIVIL
10	ROOF DRAIN; DOWNSPOUT TO BE GALVANIZED, PAINTED, STEEL; CONNECT TO STORMWATER COLLECTION SYSTEM. REF CIVIL
11	OVERFLOW TO GRADE
12	HVAC EQUIPMENT
13	ROOFING PER COOLER MANUF
14	WOODEN BUILDING PICK POINTS WITH ROOFING COLLAR RIB STRUCTURE
15	ICE MACHINE CONDENSERS, SITE CONTRACTOR TO DETERMINE FINAL LOCATION
16	CONNECT ABOVE-GRADE DOWNSPOUT OUTLET TO SUB-GRADE STORMWATER COLLECTION SYSTEM. REF CIVIL
17	COOLER MANUFACTURER TO PROVIDE FALL ARREST/RESTRAINT ANCHORAGE DEVICE IN COMPLIANCE WITH ANSI/AIASS Z359.1



1 ROOF PLAN

3/8" = 1.0"

7 BREW DRIVE THRU - WHEATON IL - RICE LAKE

WHOBREW, LLC

05/20/2025
Object no.:
23.43.25
Sheet contents:

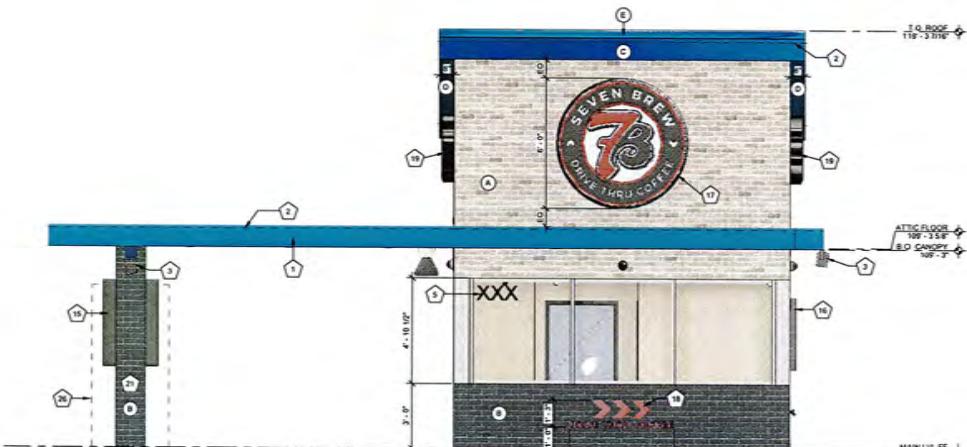
sheet no.:

A16

A1.6

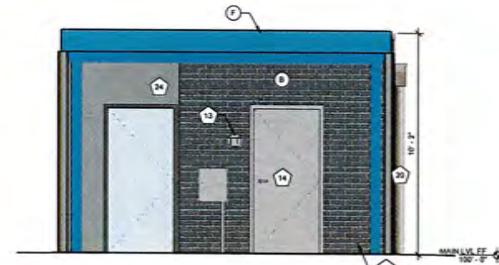
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1000



1 EXTERIOR ELEVATION - FRONT

3/8" = 1'-0"



2 COOLER ELEVATION - FRONT

3/8" = 1'-0"

EXTERIOR ELEVATION MATERIALS LEGEND

MARK	DESCRIPTION
A	ARCHITECTURAL CEMENT BOARD SIDING (BRK-2)
B	ARCHITECTURAL CEMENT BOARD SIDING (BRK-1)
C	BRK METAL FASCIA (MP-2)
D	SOFFIT PANELS (MP-2)
E	STANDING SEAM ROOF PANELS (MP-2)
F	METAL BRAKE CAP (MP-3)
G	SCREENING METAL PANEL (MP-1)

EXTERIOR ELEVATION KEYNOTES

MARK	DESCRIPTION
1	PRE-ENGINEERED ALUMINUM CANOPY BY OTHERS. REF STRUCTURAL
2	SURFACE-MOUNTED LED NEON FLEX LIGHTING AS INDICATED (SHOWN DASHED). TYP. REF ELECTRICAL
3	MONTEED SPEAKER SYSTEM. REF SYSTEMS PLAN
4	THROUGH-WALL ROOF SCUPPER. TYP
5	ADDRESS NUMBERS TO BE 8" TALL x 2" BRUSH STROKE
6	ELECTRICAL EQUIPMENT, PAINTED TO MATCH BUILDING. REF ELECTRICAL
7	FROST PROOF PLUSH HOSE BIB
8	EXTERIOR WEATHERPROOF OUTLET. REF ELECTRICAL
9	GUARDRAIL, 3'-6" ABOVE ATTIC FLOOR. CLAD W/ MP-1
10	KNOX BOX
11	OUTLINE OF MECHANICAL UNIT BEYOND
12	PREFABRICATED COOLER BY NATIONAL MODULAR MANUFACTURING. COORD LOCATION & SPECS WITH CIVIL & STRUCT
13	COOLER LOCK & CONTROLS
14	36" COOLER DOOR
15	SAMSUNG DIGITAL DISPLAYS. INSTALLED IN FIELD BY IT PROVIDER. CHASE FOR DATA CABLE INSTALLED AT BUILDING MANUFACTURING FACILITY
16	SURFACE-MOUNTED LIGHTED SIGN BOX
17	ROUND STOREFRONT SIGN. SUPPLIED AND INSTALLED BY SIGN CONTRACTOR
18	1/8" THICK ACRYLIC SIGNAGE APPLIED TO SIDING WITH VH DOUBLE SIDE EXPOSED
19	ILLUMINATED STOREFRONT SIGNAGE BY SIGN CONTRACTOR
20	EXPOSED DOWNSPOUT. GALVANIZED. PAINTED. CONNECT TO SUB-GRADE STORMWATER COLLECTION SYSTEM. REF CIVIL
21	STRUCTURAL CANOPY COLUMN W/ BRK-1 WRAP. RAINWATER DOWNSPOUT WITHIN. CONNECT BASE OF CANOPY COLUMN DOWNSPOUT TO STORMWATER MANAGEMENT SYSTEM. REF CIVIL
22	PAINTED STRUCTURAL CANOPY COLUMN. REF CIVIL
23	DOWNSPOUT OUTLET. CONNECT TO SUBGRADE STORMWATER CONNECTION. REF CIVIL
24	SITE CONSTRUCTED SCREEN WALL
25	CANOPY HEATER
26	WARMING HUT

7 BREW DRIVE THRU - WHEATON IL - RICE LAKE

WHOBREW, LLC

MAIN EFTN II - DFTF LAVE

sheet issue date:
05/20/2025

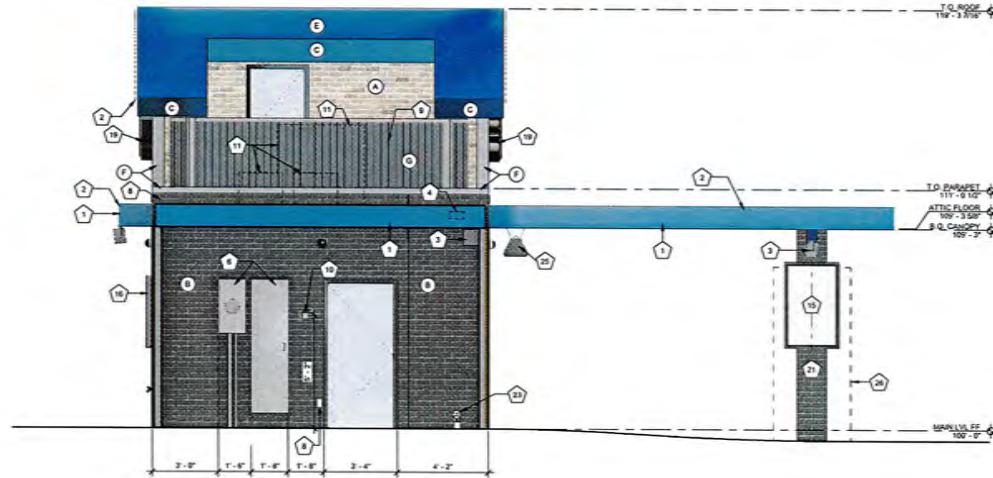
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23.43.25

sheet content:
EXTERIOR ELEVATION

sheet no.:

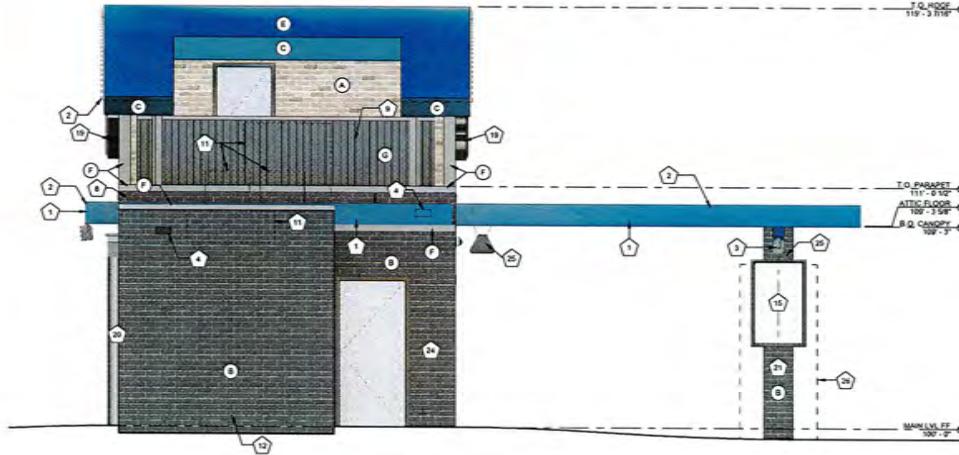
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1 EXTERIOR ELEVATION - BACK
3/8" = 1'-0"



2 EXTERIOR ELEVATION - BACK W/ COOLER
3/8" = 1'-0"

3/8" = 1'-0"

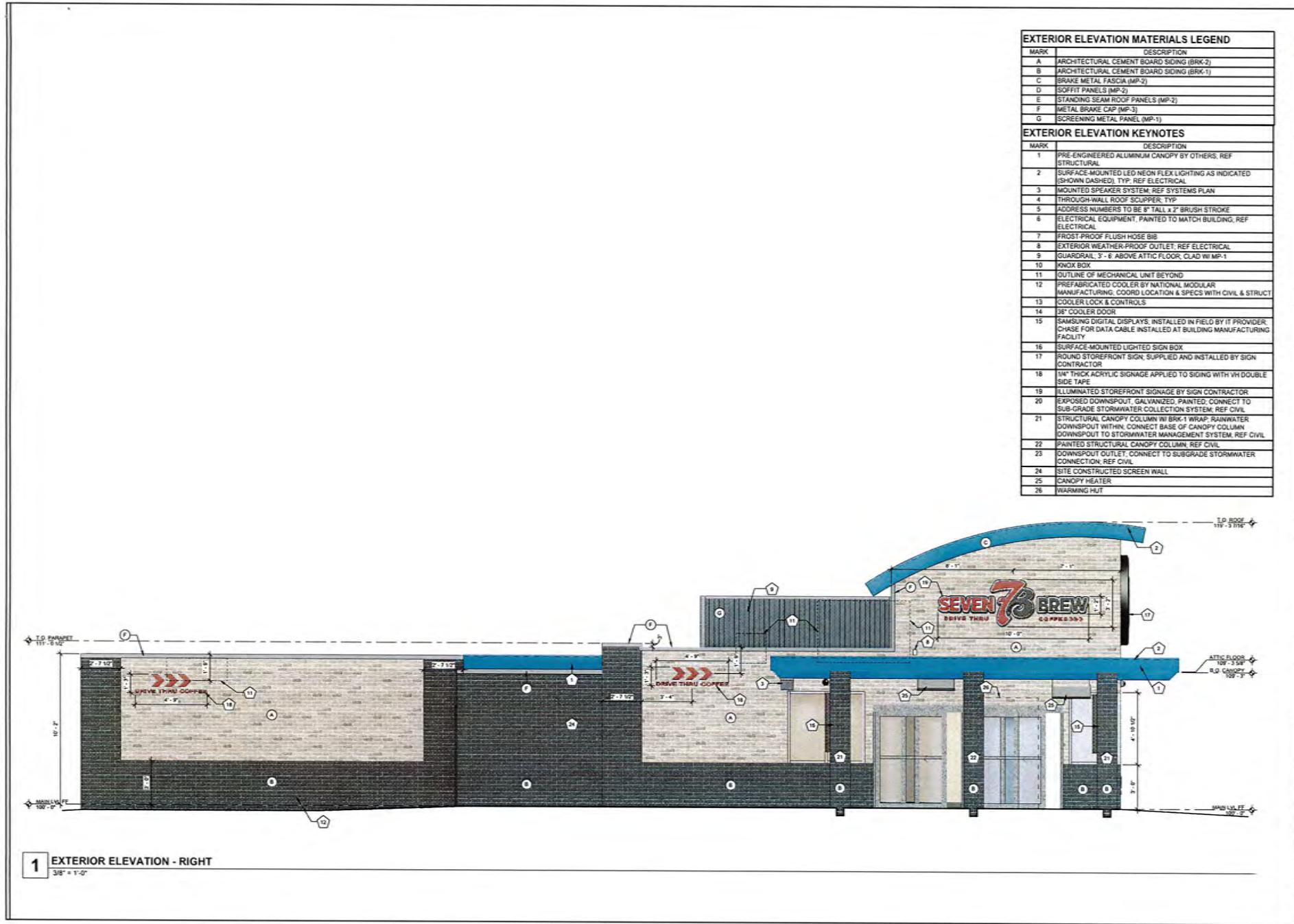


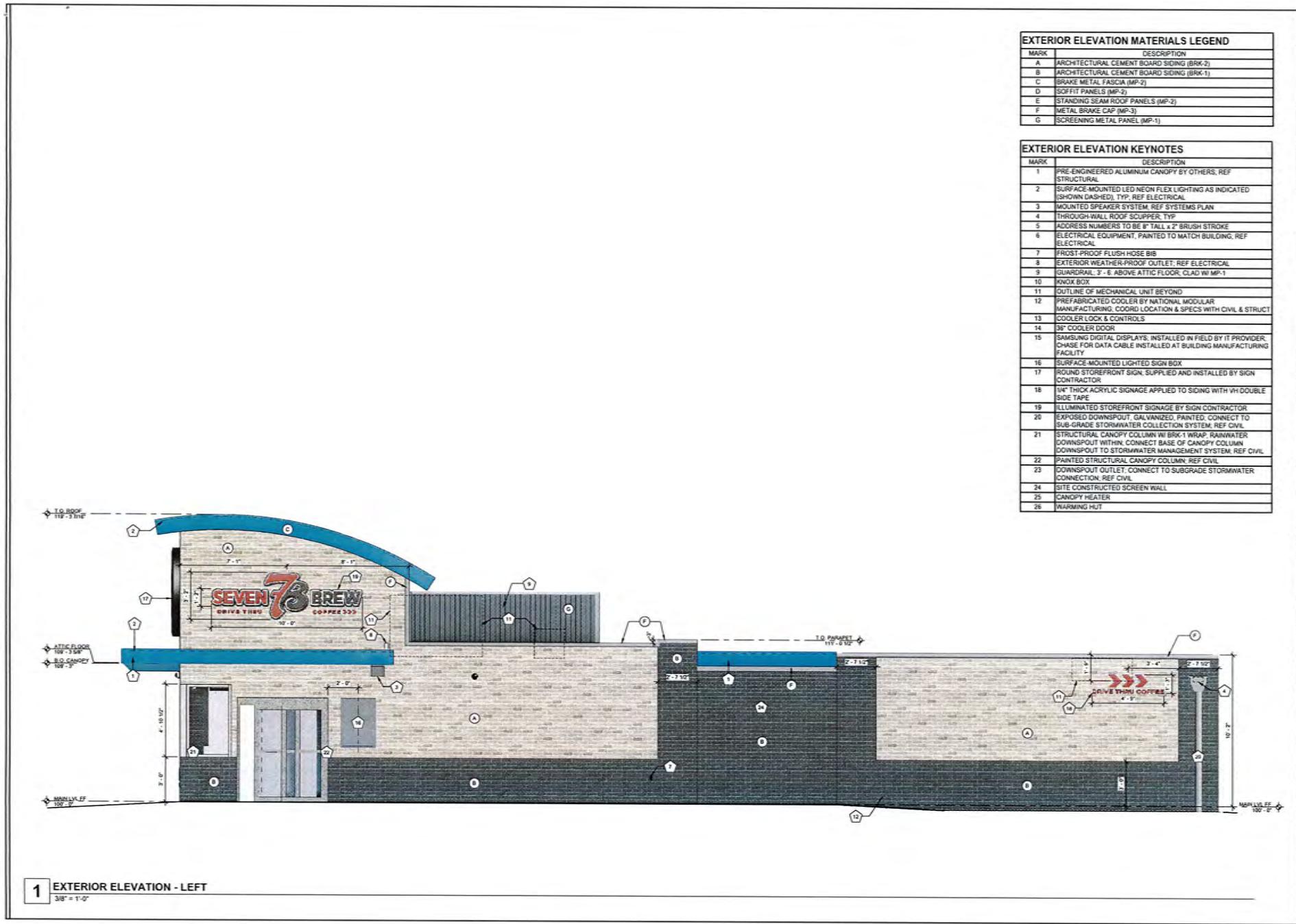
EXTERIOR ELEVATION MATERIALS LEGEND

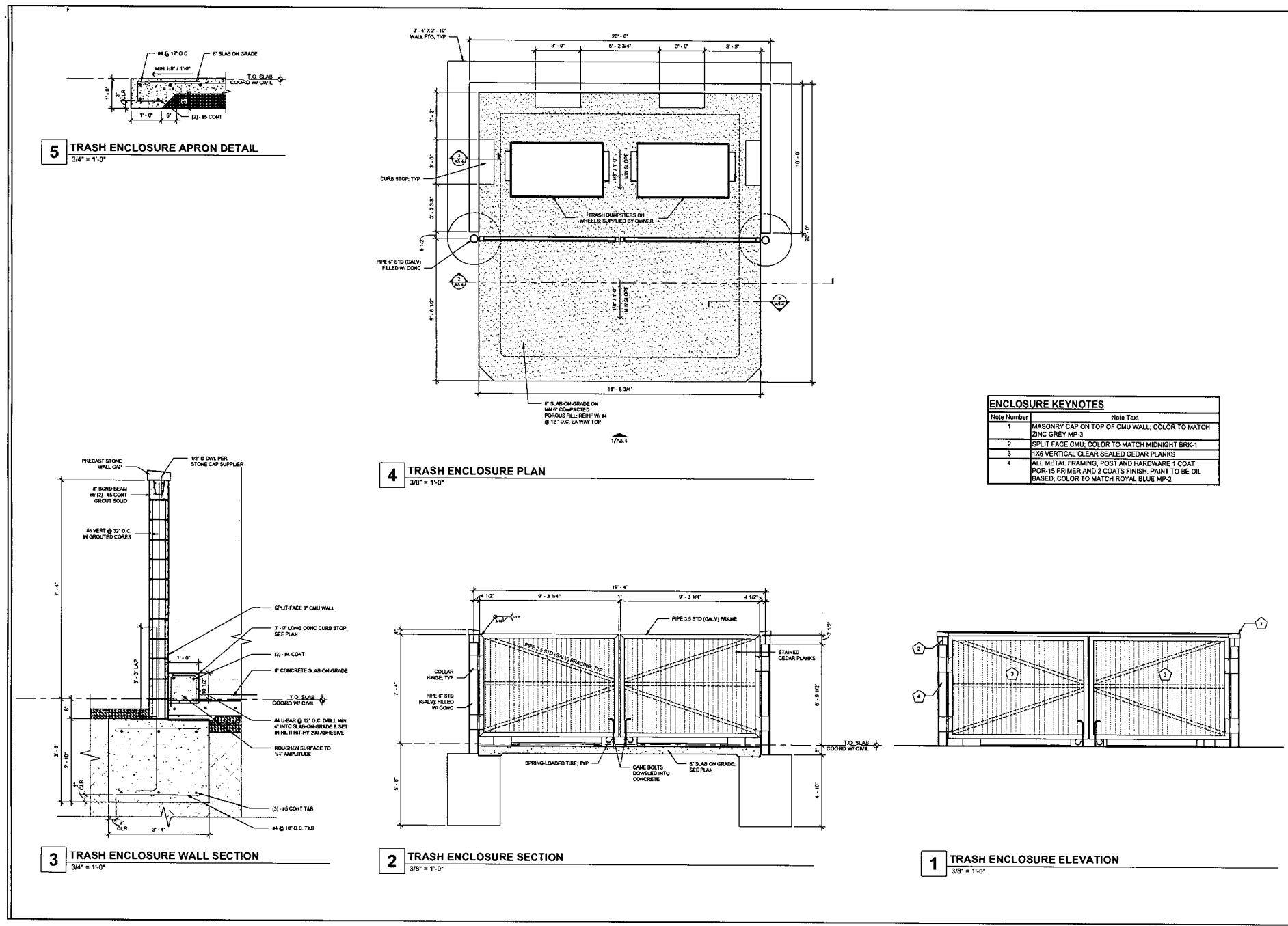
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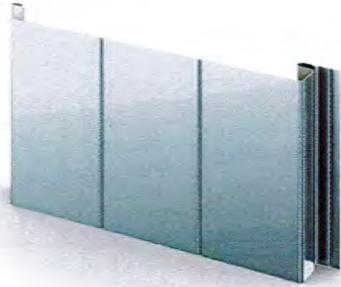
EXTERIOR ELEVATION KEYNOTES

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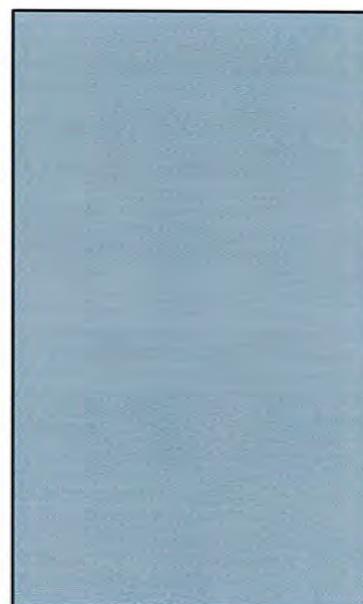
SCREENING METAL PANEL MP-1

BRAND: BERRIDGE
COLOR: ZINC GREY
FINISH: LOW SHEEN SMOOTH - REFLECTIVITY .39



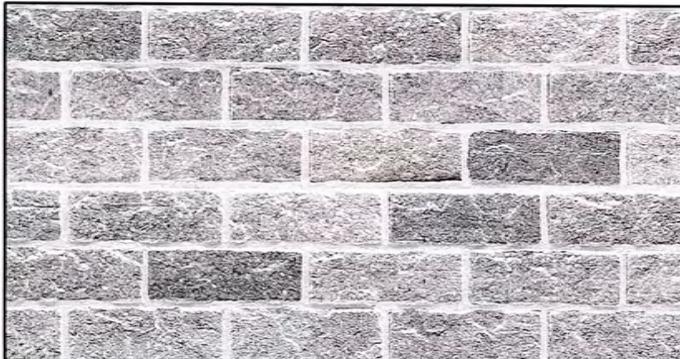
BLUE METAL PANEL MP-2

BRAND: BERRIDGE
COLOR: ROYAL BLUE
FINISH: LOW SHEEN SMOOTH - REFLECTIVITY .26



COPING TRIM METAL MP-3

BRAND: BERRIDGE
COLOR: ZINC GREY
FINISH: LOW SHEEN SMOOTH - REFLECTIVITY .39



FIBER-CEMENT PANEL SIDING - BRK-2

BRAND: NICHIA
COLOR: SHALE BROWN
FINISH: CANYON BRICK



FIBER-CEMENT PANEL SIDING - BRK-1

BRAND: NICHIA
COLOR: MIDNIGHT
FINISH: MODERN BRICK

23.43.25
7 BREW DRIVE THRU -
WHEATON IL - RICE
LAKE
05/20/2025

MATERIAL COLOR
BOARD



23.43.25
7 BREW DRIVE THRU -
WHEATON IL - RICE
LAKE
05/20/2025

RENDERINGS

January 27, 2026

Wheaton Planning and Zoning Board
303 West Wesley Street
Wheaton, IL 60187

RE: ZA #26-04/ PUD Amendment and Special Use/ Rice Lake Square Shopping Center/ Seven Brew

Dear Members of the Board:

Attached to this memorandum is an application requesting an amendment to a special use permit for a planned unit development to allow the construction and use of a one-story, 900 square foot coffee stand on a leased parcel of land in the Rice Lake Square Shopping Center parking lot between the former Houlihan's restaurant (at 321 Rice Lake Square) and Studio Movie Grill (at 301 Rice Lake Square). The property is zoned C-5 Planned Commercial District.

The application is further requesting a special use permit to Article 20.3 of the Wheaton Zoning Ordinance to allow sales or service directly to customers in vehicles.

The application has been submitted by Who Brew IL II LLC, 100 Powell Place, Suite 1320, Nashville, TN 37204 on behalf of the property owner, Core Rice Lake LLC, PO Box 1243, Northbrook, IL 60065.

Zoning Analysis

Proposal:

An application requesting an amendment to a special use permit for a planned unit development to allow the construction and use of a one-story, 900 square foot coffee stand on a leased parcel of land in the Rice Lake Square Shopping Center parking lot between the former Houlihan's restaurant (at 321 Rice Lake Square) and Studio Movie Grill (at 301 Rice Lake Square). The property is zoned C-5 Planned Commercial District.

The application is further requesting a special use permit to Article 20.3 of the Wheaton Zoning Ordinance to allow sales or service directly to customers in vehicles.

Applicant:

The application has been submitted by Who Brew IL II LLC, 100 Powell Place, Suite 1320, Nashville, TN 37204 on behalf of the property owner, Core Rice Lake LLC, PO Box 1243, Northbrook, IL 60065.

Subject Property:

Rice Lake Square Shopping Center, Wheaton, IL 60187

Zoning Classification:

C-5 Planned Commercial District



WHEATON MAYOR PHILIP J. SUESS

CITY MANAGER MICHAEL DZUGAN

CITY COUNCIL: ERICA BRAY-PARKER | LEAH BRICE | SCOTT BROWN | BRADLEY CLOUSING | LYNN ROBBINS | SCOTT WELLER

Surrounding Conditions: North: Commercial Properties/C-5 Planned Commercial District
East: Commercial Properties/C-5 Planned Commercial District
South: Commercial Properties/C-5 Planned Commercial District
West: Commercial Properties/C-5 Planned Commercial District

Planning Department Comments

Background

Seven Brew was founded in Rogers, AR in 2017 and has more than 500 coffee stands nationwide. The store specializes in espresso-based drinks, chillers, teas, infused energy drinks, sodas and smoothies. Seven Brew is a drive-thru concept with a dual drive-thru configuration. The closest existing Seven Brew is located at 1203 Iroquois Avenue in Naperville.

Hours of operation are 5:30 a.m. to 10 p.m. weekdays and 5:30 a.m. to 11 p.m. weekends. Seven Brew operates with up to 5 employees at peak times. On average, each stand generates 750 orders per day, serving an estimated 1,125 customers daily.

Site Plan and Landscaping

The applicant is proposing to lease a parcel of land in the shopping center parking lot between the former Houlihan's restaurant (at 321 Rice Lake Square) and Studio Movie Grill (at 301 Rice Lake Square). The site plan shows dual drive-thru lanes, operating in a counterclockwise direction, that wrap around the building. The site has been designed to accommodate stacking for 44 vehicles on-site. Parking of 14 spaces, including one ADA space, is proposed just west of the building. Sixty (60) shopping center parking spaces would be sacrificed for this development. However, if this request is approved, the parking for the shopping center would still be compliant with six spaces per 1,000 sf of space. A dumpster enclosure is proposed on the north edge of the leased parcel.

New landscaping is planned along the west side of East Loop Road, around the proposed dumpster enclosure, on the east side of the building and along the exit drive from the leased parcel to the shopping center parking lot. The plan includes a mix of canopy and ornamental trees, deciduous and evergreen shrubs, perennials and ornamental grasses.

Floor Plan and Building Elevations

The building is designed with a covered employee entry in the middle of the structure with an access hall, service area, and bathroom to the south and a storage area and cooler to the north.

Per the building elevations, the building will be clad with fiber cement panel siding with finishes of canyon brick in shale brown and modern brick in midnight. The building elevations also show blue metal panels and zinc grey metal coping trim. Two roof-top mechanical units are proposed. The building elevations show the units being screened by a metal screening panel in zinc grey. Article 3.4C.2 of the Wheaton Zoning Ordinance requires that any such units are fully screened by a building parapet wall equal in height to the units. Staff recommends that the building parapet wall be raised to fully screen the rooftop mechanical units.

Special Use Permit

A special use permit is required to amend the existing planned unit development and to allow sales or service directly to customers in vehicles. According to Article 5.10D of the Wheaton Zoning Ordinance, the applicant must provide sufficient evidence at the public hearing that the following special use permit will be met:

1. The establishment, maintenance, or operation of the special use shall not be detrimental to the public health, safety, morals, comfort, convenience, and general welfare.
2. The special use shall not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, not substantially diminish property values within the neighborhood.
3. The establishment of the special use shall not impede the normal and orderly development and improvement of the surrounding property for uses already permitted.
4. Adequate utilities, access ways, drainage, and other necessary facilities shall be provided.
5. Adequate measures shall be taken to provide ingress and egress designed to minimize traffic congestion in the public streets.
6. The special use shall comply with the objectives of the Wheaton Comprehensive Plan.
7. The special use shall conform to the applicable requirements of the district in which it is located as well as any other applicable requirements of this ordinance, except as may be varied by the Planning and Zoning Board or City Council.

Engineering Department Comments

The subject site does not contain a floodplain or a wetland pursuant to the regulatory maps used for such determinations.

The proposed project is located in a current stormwater detention area and is displacing existing stormwater detention volume with the proposed construction. This stormwater detention volume is required to be compensated for, and it is proposed to be provided for in the proposed underground storage system. The proposed development also triggers the City of Wheaton requirement to provide detention for the project. The additional detention required for the project is also located in the proposed underground storage system.

The proposed development does not meet the trigger to provide a Best Management Practice (BMP) to reduce pollutants in their stormwater discharge.

The proposed development has provided a traffic report for the development by KLOA, Inc titled "Traffic Impact Study - Proposed 7 Brew Coffee Shop". The proposed use of a Coffee Shop is one of, if not the highest driver of traffic queueing and congestion issues possible. The existing Seven Brew locations in Lake Zurich and Naperville are very busy locations. The location in Naperville, for example, has an on-site queue of only 23 vehicles provided, but the queue line based on traffic observations by KLOA in March and May of 2025 showed a maximum queue of 71 vehicles, which stretches down the adjoining side street and at times onto the adjoining major roadway. It should be noted that the time period that this queue length was observed does directly correlate to the same time period when there was only a total of 4 Chicagoland stores open. Since that time, three additional Chicagoland stores are now open and the maximum observed queue at the Naperville store has decreased to 55 vehicles per a KLOA

report dated December of 2025. Seven Brew has continued their roll out into the Chicagoland market and have proposed additional locations which would decrease the pull into the proposed Wheaton location (See attached map of open locations, locations under construction, locations in permitting, and locations proposed but not through zoning). The nearest store that would affect this is a Bloomingdale location which is already under construction and expected to open in early March of 2026. A second store in Bloomingdale has also already made it through all zoning applications and is now in final permitting.

Throughout the pre-application process and the development of this Zoning Application, the applicant has listened to Staff concerns and has improved the proposed plan to currently show an available queueing "on-site" of 44 vehicles. The provided traffic report states that when the market stabilizes, it is estimated that the total queue at the Wheaton location will be a peak of 33 to 35 vehicles. Current Staff concern relates to the fact that there is no definitive timeline as to when the market could stabilize. Additionally, while there is large availability to queue vehicles throughout the existing shopping center parking lot, the question remains as to whether onsite staff will be able to manage a large queueing event and keep the queue off the adjoining East Loop Road. Any queueing on East Loop Road would significantly disrupt traffic flow and is deemed unacceptable by City Staff.

In order to safeguard against any queueing on East Loop Road during a high queue event, the applicant has provided a Drive Through Traffic Exhibit which routes traffic through the shopping center parking lot and provides an approximate additional queueing for 46 vehicles above the "on-site" queue of 44 vehicles. If managed by on-site Staff, the maximum available queue provided would be 90 vehicles, which is above the maximum observed at the Naperville store in the KLOA Traffic Impact Study for the proposed 7 Brew Coffee Shop.

Based on the Traffic Reports provided and the Drive Through Traffic Exhibit, Staff believes that while there is the possibility of traffic congestion problems due to the new Seven Brew location in the Rice Lake Square Shopping Center, adequate provisions have been made to safeguard against problems. However, Engineering Staff recommends the addition of the following condition:

"No queueing from the subject property shall be allowed to occur onto the East Loop Road right-of-way and all queueing must be contained on-site at the subject property. Staff shall be provided by the applicant during all hours of operation to monitor the queue, direct traffic as needed in the shopping center, and manage the queueing throughout the shopping center parking lot to prevent the queue from extending onto East Loop Road at either the entrance north or south of the proposed development."

The preliminary engineering plan shall be subject to further staff review prior to the issuance of a site development permit.

Staff Recommendation

While the City would like to see additional development at the Rice Lake Square Shopping Center, staff does not want it to come at the expense of the existing tenants or the public trying to navigate through the area. At the public hearing, the applicant should provide adequate testimony to address the traffic/

queueing concerns discussed in this report and the special use standards. If the applicant is able to provide this testimony, staff would be supportive of granting this request, subject to the following conditions:

1. Staff recommends that the building parapet wall be raised to fully screen the rooftop mechanical units;
2. No queueing from the subject property shall be allowed to occur onto the East Loop Road right-of-way and all queueing must be contained on-site at the subject property. Staff shall be provided by the applicant during all hours of operation to monitor the queue, direct traffic as needed in the shopping center, and manage the queueing throughout the shopping center parking lot to prevent the queue from extending onto East Loop Road at either the entrance north or south of the proposed development; and
3. The preliminary engineering plan shall be subject to further staff review prior to the issuance of a site development permit.

Respectfully submitted,



Joseph E. Tebrugge, PE
Director of Engineering



Tracy L. Jones, AICP
Staff Planner

Attachments



Response to Standards in Article 5.10.D of Zoning Ordinance:

- 1. The establishment, maintenance, or operation of the special use shall not be detrimental to the public health, safety, morals, comfort, convenience, and general welfare.*

The project will not be detrimental to public health, safety, morals, comfort, convenience, or general welfare. The site will meet all City building, fire, and safety codes. The drive-through will adequately address traffic through appropriate vehicle stacking and circulation. The project will activate an underutilized parking lot, providing the public with a convenient drive-through coffee option within the commercial corridor.

- 2. The special use shall not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, not substantially diminish property values within the neighborhood.*

The proposed drive-through coffee shop is compatible with the surrounding commercial uses, which include a movie theater, restaurants, and a variety of stores. The use will not negatively impact neighboring properties or property values but rather enhance use of this area by encouraging drive-by traffic of the various adjoining retail establishments.

- 3. The establishment of a special use shall not impede the normal and orderly development and improvement of the surrounding property for uses already permitted.*

The C-5 Planned Commercial District is intended for commercial and service-oriented uses such as restaurants and coffee shops, and this proposal is fully consistent with that intent. Infill of underutilized parking is a logical improvement of the surrounding property, and a Special Use for a drive-through establishment will improve the diversity of service options in the commercial corridor.

- 4. Adequate utilities, access ways, drainage, and other necessary facilities shall be provided.*

The site is currently served by all necessary public utilities, including water, sanitary sewer, and electric service. A Stormwater Management Report will be submitted with this application to demonstrate that the redevelopment will meet all City of Wheaton and DuPage County requirements. The project will incorporate appropriate grading, drainage, and detention facilities to manage runoff and prevent any adverse impact to neighboring properties.

- 5. Adequate measures shall be taken to provide ingress and egress designed to minimize traffic congestion in the public streets.*



Adequate measures have been taken to provide safe and efficient ingress and egress while minimizing traffic impacts on surrounding streets. A Traffic Impact Study, prepared by a professional transportation engineer, will be submitted with this application. The report analyzes existing and projected traffic conditions and concludes that the proposed use can operate safely within the existing roadway network. The site plan accommodates ample on-site vehicle stacking within dual drive-through lanes, preventing queueing onto public streets.

6. *The special use shall comply with the objectives of the Wheaton Comprehensive Plan.*

The Special Use will comply with the objectives of the City of Wheaton's Comprehensive Plan. The project will enhance the corridor's vitality, encourage investment, and contribute to the City's ongoing commercial development goals. The proposed 7 Brew will meet the Comprehensive Plan's goal to provide local jobs and convenient shopping opportunities for Wheaton residents, and it will provide highly sought-after entry level jobs for the community.

7. *The special use shall conform to the applicable requirements of the district in which it is located, as well as other applicable requirements of this ordinance, except as may be varied by the Board or City Council.*

The project will comply with all applicable requirements of the C-5 Planned Commercial District and other provisions of the City's Zoning Ordinance. All building, landscape, lighting, and signage requirements will be met or exceeded. Any necessary variations or site-specific approvals will be clearly identified and justified as part of this application.

