

CITY OF WHEATON, ILLINOIS
CITY COUNCIL MEETING – TUESDAY, FEBRUARY 17, 2026
WHEATON CITY HALL - 303 W WESLEY STREET
COUNCIL CHAMBERS
7:00 P.M. - IN-PERSON & VIRTUAL

The meeting will also be live streamed and recorded.

- **Join by computer/smartphone:**
 - https://us02web.zoom.us/webinar/register/WN_1ZlpgF7hTy6HSD8fr37ruA
 - **Please register using the link above.** After registering with your email address, you will receive a confirmation email containing a meeting link for access.
 - You will be automatically muted. If you would like to speak, click on the “Raise Hand” button to let the meeting administrator know you would like to speak. When it is your turn to speak, you will receive a notification that the meeting administrator is asking you to press “unmute.” Please announce your name and address before commenting and ensure you are in a quiet place.
- **Join by phone: 312-626-6799, Meeting ID: 819 8734 0305 and Password: 082358**
 - You will be automatically muted. If you would like to speak, you need to press *9 to raise your hand and let the meeting administrator know you would like to speak. Once it is your turn to speak, you will receive a notification asking you to press *6 to unmute yourself. Please announce your name and address before commenting and ensure you are in a quiet place.
- **Public comments can be made by:**
 - In person at 7:00 p.m. on Tuesday, February 17, 2026, during the Citizens to Be Heard portion of the meeting.
 - Virtually at 7:00 p.m. on Tuesday, February 17, 2026, during the Citizens to Be Heard portion of the meeting.
 - Email the City Council at allcouncil@wheaton.il.us before 5:00 p.m. Tuesday, February 17, 2026.

Pledge of Allegiance: Councilman Brown

AGENDA

- I. Call To Order
- II. Roll Call
- III. Report Of City Manager
- IV. Report Of City Attorney
- V. Citizens To Be Heard

The opportunity to speak to the City Council is provided for those who have a specific question or comment on an agenda item or generally about the City of Wheaton. Please note that civility and a sense of decorum will be strictly followed. All speakers must address their comments to the Mayor. Speakers shall be courteous and should not make statements that are personally disrespectful to members of the City Council.

To make a public comment, you must request to be called on. When called upon, please announce your name and address before commenting. All public comments are limited to five (5) minutes, and each citizen will be permitted to speak only once.

Members of the public were also given the opportunity to provide written comments prior to this meeting. Written comments will be recorded into the minutes and filed with the meeting record.

VI. Consent Agenda

A. Approval Of Minutes

1. 01 26 26 Draft PH Minutes

Wheaton City Council Public Hearing Minutes – January 26, 2026, as submitted.

Documents:

[01 26 26 DRAFT CC PH MINUTES.PDF](#)

2. 02 02 26 Draft Minutes

Wheaton City Council Regular Minutes – February 2, 2026, as submitted.

Documents:

[02 02 26 DRAFT CC MINUTES.PDF](#)

B. Consent Unfinished Business

C. Consent New Business

VII. Regular Agenda

A. Regular Unfinished Business

1. Regular Agenda Unfinished Business #1

An Ordinance Amending the Code of Ordinances of the City of Wheaton Chapter 70 (Traffic and Vehicles), Article IV (Stopping, Standing and Parking), and Motor Vehicle and Traffic Schedules VI and VIII

Documents:

[RAUB01 - AN ORDINANCE AMENDING CODE CH 70 ARTICLE IV TRAFFIC SCHEDULES VI VIII.PDF](#)

B. Regular New Business

1. Regular Agenda New Business #1

Appointments to City Commissions

Documents:

2. Regular Agenda New Business #2

An Ordinance Granting a Rear Yard Setback Variation to Allow the Construction and Use of a New Deck, on a Certain Piece of Property Commonly Known as 87 Somerset Circle - Nowakowski

Documents:

[RANB02 - AN ORDINANCE GRANTING VARIATION 87 SOMERSET CIRCLE NOWAKOWSKI.PDF](#)

3. Regular Agenda New Business #3

Receive Planning and Zoning Board Report Re: ZA #26-03/ Special Use Permit/ 510 Irving Avenue/ Wheaton College and An Ordinance Granting a Special Use Permit to Allow the Construction and Use of a One-story Addition on the North Side and a Three-story Addition on the South Side of the Existing Wheaton College Library, All on a Certain Piece of Property Commonly Known as 510 Irving Avenue – Wheaton College

Documents:

[RANB03 - AN ORDINANCE SPECIAL USE PERMIT 510 IRVING AVE WHEATON COLLEGE.PDF](#)

4. Regular Agenda New Business #4

Receive Planning and Zoning Board Report Re: ZA #26-04/ PUD Amendment and Special Use/ Rice Lake Square Shopping Center/ Seven Brew and a Motion to Direct the City Attorney to Prepare an Ordinance as Directed by the City Council

Documents:

[RANB04 - PLANNING AND ZONING BOARD REPORT RICE LAKE SQUARE SHOPPING CENTER SEVEN BREW.PDF](#)

5. Regular Agenda New Business #5

Receive Planning and Zoning Board Report Re: ZA #25-25/ Special Use Permit/ 2175 W. Roosevelt Road/ Mister Car Wash and a Motion to Direct the City Attorney to Prepare an Ordinance as Directed by the City Council

Documents:

[RANB05 - PLANNING AND ZONING BOARD REPORT 2175 W ROOSEVELT RD. MISTER CAR WASH.PDF](#)

6. Regular Agenda New Business #6

A Resolution Authorizing the Execution of Change Order #1 to Agreement No. 455 with Thomas Engineering Group, LLC for Phase 3

Construction Engineering Services for the Gary Avenue Reconstruction Project for a Total Amount Not to Exceed \$124,742 and a Total Award of \$649,707

Documents:

[RANB06 - A RESOLUTION AUTHORIZING EXE CHANGE ORDER 1 AGMT 455 THOMAS ENGINEERING GARY AVE.PDF](#)

7. Regular Agenda New Business #7

A Resolution Authorizing the Purchase of One (1) 2026 Dodge Ram Pickup Truck from Bob Ridings, Inc. for a Total Amount Not to Exceed \$40,493 – Five Votes Required

Documents:

[RANB07 - A RESOLUTION AUTHORIZING PURCHASE 1 2026 DODGE RAM BOB RIDINGS INC.PDF](#)

8. Regular Agenda New Business #8

A Resolution Authorizing the Execution of Agreement No. 596 with Webster, McGrath & Ahlberg, Ltd. for Professional Engineering Services for the 2026 Fall Sidewalk Program for a Total Amount Not to Exceed \$93,800 and a 10% Contingency

Documents:

[RANB08 - A RESOLUTION AUTHORIZING EXE AGMT 596 WEBSTER MCGRATH AHLBERG ENGINEERING SERVICES.PDF](#)

VIII. Council Comment

IX. Approval Of Bills

A. Warrant No. 914

Warrant No. 914 - \$2,300,298.33

Documents:

[WARRANT NO. 914.PDF](#)

X. Adjournment



WHEATON CITY COUNCIL PUBLIC HEARING MINUTES

MAYOR PHILIP J. SUESS

COUNCILWOMAN ERICA BRAY-PARKER | COUNCILWOMAN LEAH BRICE | COUNCILMAN SCOTT BROWN
COUNCILMAN BRADLEY CLOUSING | COUNCILWOMAN LYNN ROBBINS | COUNCILMAN SCOTT WELLER

WHEATON CITY HALL, COUNCIL CHAMBERS, 303 W WESLEY STREET, WHEATON, ILLINOIS 60187

Monday, January 26, 2026

I. Call to Order and Roll Call

The public hearing of the Wheaton City Council was called to order at 7:00 p.m. by Mayor Suess. The public hearing was held in the Council Chambers, Wheaton City Hall, 303 W. Wesley Street, Wheaton, Illinois. Upon roll call, the following were:

Physically Present: Mayor Suess
Councilwoman Bray-Parker
Councilwoman Brice
Councilman Brown
Councilwoman Robbins
Councilman Weller

Absent: Councilman Clousing

City Staff Present: Michael G. Dzugan, City Manager
William Kolschowsky, Assistant City Manager
Dawn Didier, City Attorney
Princeton J. Youker, Chief of Police
Erik Berg, Management Analyst
Susan Bishel, Public Information Officer

City Staff Electronically Present: James P. Kozik, Director of Planning and Economic Development

II. Public Hearing – ZA #26-02/ Rezoning and Special Use/ 119-125 E. Front Street/ CFXN Properties LLC

A. Staff Comment

Director of Planning and Economic Development Kozik introduced the rezoning request, which would rezone the multiple parcels comprising 119 – 125 Front Street from the C-2 Retail Core Business District to the C-4 Perimeter Commercial District, and the issuance of a special use permit to allow off-street parking on a separate lot within three hundred feet of the building or use served.

J. Trent Stoner, petitioner and founder of CFXN Properties, LLC., 1411 Champion Forest, Ct., stated that the rezoning would allow for the redevelopment of the former Carlson Hardware building and its adjacent parcels. He stated that the request satisfies the LaSalle factors through aligning zoning and addressing a lengthy vacancy. Additionally, he stated that the rezoning aims to increase the retail opportunities in downtown Wheaton, foot traffic, and enhance downtown connectivity.

Mr. Stoner stated that the redevelopment would be achieved in two phases. Phase I would remodel the vacant property into CF's second co-working location and improve the existing parking conditions. Phase II, planned for the second half of 2027, proposes to construct a mixed-use

development, with both retail and residential units, and replace the surface parking with structured parking to align them with the needs of residents, employees, and customers. He stated that, while the hardware store building will be preserved, the redevelopment will allow it to accommodate a changing work environment. He stated that the work anticipated in Phase II may require additional zoning approval.

B. Public Comment

Ted Witte, spoke favorably of the proposed rezoning and the petitioner, and recommended that the City Council approve the request.

C. Council Comment

In response to Councilwoman Bray-Parker’s question, Mr. Stoner stated that the off-street parking area improvements in Phase I would involve restriping parking spaces and removing a storage shed as well as the open roofing frame. Director of Planning and Economic Development Kozik added that the zoning ordinance requires a four-foot landscaping setback between the sidewalk and any parking spaces.

In response to Councilwoman Robbin’s question, Mr. Stoner stated that he estimated there would be an estimated four to twelve units in the proposed mixed-unit development, dependent on Council approval of the second phase of the redevelopment. The parking spaces would complement both the residential and business needs.

In a response to Councilwoman Brice’s question, Mr. Stoner stated that the C-4 district allows retail and emphasized the importance of retail to the business model of the proposed redevelopment. He stated that CFYN Properties is exploring adding residential units to their Oak Park location. Director of Planning and Economic Development Kozik stated that the C-4 District supports a broader mix of compatible and mixed-uses than the C-2 does and reflects how the area functions currently.

D. Adjournment

Councilwoman Bray-Parker moved and Councilman Brice seconded a motion to adjourn the public hearing at 7:21 p.m.

	Roll Call Vote:
Ayes:	Councilwoman Bray-Parker
	Councilwoman Brice
	Councilman Brown
	Mayor Suess
	Councilwoman Robbins
	Councilman Weller

Nays:	None
Absent:	Councilman Clousing

Motion Carried Unanimously

Respectfully submitted,

Erik Berg



WHEATON CITY COUNCIL PROCEEDINGS

MAYOR PHILIP J. SUESS

COUNCILWOMAN ERICA BRAY-PARKER | COUNCILWOMAN LEAH BRICE | COUNCILMAN SCOTT BROWN
COUNCILMAN BRADLEY CLOUSING | COUNCILWOMAN LYNN ROBBINS | COUNCILMAN SCOTT WELLER

WHEATON CITY HALL, COUNCIL CHAMBERS, 303 W WESLEY STREET, WHEATON, ILLINOIS 60187

Monday, February 2, 2026

1. Call to Order and Roll Call

The regular Wheaton City Council Meeting was called to order at 7:00 p.m. by Mayor Philip J. Suess. Upon roll call, the following were:

Physically Present: Mayor Suess
Councilwoman Robbins
Councilman Weller
Councilwoman Bray-Parker
Councilwoman Brice
Councilman Brown

Absent: Councilman Clousing

City Staff Physically Present: Michael Dzugan, City Manager
William Kolschowsky, Assistant City Manager
Dawn Didier, City Attorney
James Kozik, Director of Planning and Economic Development
Joseph Tebrugge, Director of Engineering
Susan Bishel, Public Information Officer
Andrea Rosedale, City Clerk

City Staff Electronically Present: None.

2. Citizens to be Heard

Samantha Ferguson, 831 N. Washington St., emailed allcouncil@wheaton.il.us in support of the Harrison/Washington intersection four-way stop ordinance. She attached a petition containing 47 electronic signatures in support of the City's implementation of a four-way stop and additional safety measures to make their intersection safer.

Kevin Cliff, 707 Bridle Ln., emailed allcouncil@wheaton.il.us expressing his support for the Harrison/Washington four-way traffic stop ordinance.

Darienne Zamis, 912 N. Washington St., emailed allcouncil@wheaton.il.us expressing her support for the Harrison/Washington four-way traffic stop ordinance.

Alissa Hill, 821 N. Washington St., emailed allcouncil@wheaton.il.us expressing her support for the Harrison/Washington four-way traffic stop ordinance.

Eric Ferguson, 831 N. Washington St., expressed his support for the Harrison/Washington four-way traffic stop ordinance. He expressed gratitude to the City Council and City staff for their responsiveness and respectfulness throughout the ongoing efforts relating to safety and traffic at the intersection.

Samantha Ferguson, 831 N. Washington St., expressed her support for the Harrison/Washington four-way traffic stop ordinance noting accidents including one involving a car crashing into her home. She expressed her gratitude to the City for their action.

Helen Michaels, 403 S. Hale St., expressed concern regarding the ordinance amendment reducing parking from 4 hours to 2 hours on Willow Ave., Wheaton Ave., Hale Ave., and Illinois St., noting the adverse effects on residents who reside on those streets with single car driveways that use the parking to shuffle cars.

City Manager Dzugan confirmed the parking amendment would be temporary and advised that Staff will investigate time limits for the 2-hour parking restrictions.

Brian Lucas, 410 E. Harrison Ave., expressed his support for the Harrison/Washington four-way traffic stop ordinance noting multiple accidents.

Joseph Lesch, 905 N. Washington St., expressed his support for the Harrison/Washington four-way traffic stop ordinance noting accidents and speeding on Harrison and difficulty crossing the street. He expressed gratitude to the City Council and City Staff for their time and efforts.

Brad Smith expressed his support for the Harrison/Washington four-way traffic stop ordinance noting safety concerns.

Erin Anthony, 923 N. Washington St., recounted 16 City recorded accidents at Harrison and Washington. She detailed safety concerns pertaining to the intersection and asks that a four-way stop at the corner of Harrison and Washington be installed. She expressed gratitude to Councilman Brown and Councilwoman Bray-Parker for their attention and dedication.

3. Consent Agenda

Councilwoman Robbins moved and Councilwoman Brice seconded that the following action be taken on the Consent Agenda items:

1. Approve the Minutes of the Wheaton City Council Regular Meeting – January 20, 2026, as submitted.
2. Adopt Resolution R-2026-09, A Resolution Authorizing the Execution of Agreement No. 594 with Utility Transport Service, Inc. for Spoils Hauling Services for a Total Amount Not to Exceed \$100,000.

Roll Call Vote:

Ayes: Councilwoman Robbins
Councilman Weller
Councilwoman Bray-Parker
Councilwoman Brice
Councilman Brown
Mayor Suess

Nays: None

Absent: Councilman Clousing

Motion Carried Unanimously

4. Pass Ordinance O-2026-06, An Ordinance Granting a Rezoning and a Special Use Permit to Allow Off-Street Parking on a Separate Lot Within 300 Feet of the Building or Use Served on Property Commonly Known as 119 -125 E. Front Street – CFXN Properties, LLC

Councilman Brown moved and Councilman Weller seconded that O-2026-06, An Ordinance Granting a Rezoning and a Special Use Permit to Allow Off-Street Parking on a Separate Lot Within 300 Feet of the Building or Use Served on Property Commonly Known as 119 -125 E. Front Street – CFXN Properties, LLC, be passed.

City Manager Dzugan noted the City Council was the hearing body for the Public Hearing held on January 26, 2026 on the request to rezone property at 119-125 E. Front Street from C-2 retail Core to C-4 CBD Perimeter Commercial, and consideration of a Special Use Permit to allow for off-street parking on a separate lot within 300 feet of the building/use served on the property.

Roll Call Vote:

Ayes: Councilman Brown
Mayor Suess
Councilwoman Robbins
Councilman Weller
Councilwoman Bray-Parker
Councilwoman Brice

Nays: None
Absent: Councilman Clousing
Motion Carried Unanimously

5. Receive Planning & Zoning Board Report Res: Re: ZA #26-01/ Rear Yard Setback Variation/ 87 Somerset Circle/ Nowakowski

Councilwoman Robbins moved and Councilwoman Bray-Parker seconded that Planning & Zoning Board Report Res: Re: ZA #26-01/ Rear Yard Setback Variation/ 87 Somerset Circle/ Nowakowski, be received.

Roll Call Vote:

Ayes: Councilwoman Robbins
Councilman Weller
Councilwoman Bray-Parker
Councilwoman Brice
Councilman Brown
Mayor Suess

Nays: None
Absent: Councilman Clousing
Motion Carried Unanimously

In response to Councilman Weller, the applicant Tamara Nowakowski, 87 Somerset Circle, noted the challenge to install a landscaping buffer due to the alkaline soil from pine trees that died and the additional expense.

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Ms. Nowakowski explained to Mayor Suess that the homes have covered porches. She noted plans to replace and extend the existing wood deck, which requires annual maintenance, down to a new lower area. She also noted that her property's angle limits the available area.

6. Motion to Direct the City Attorney to Prepare an Ordinance to Approve the Variance Request.

Councilman Brown moved and Councilman Weller seconded a Motion to Direct the City Attorney to prepare an Ordinance to Approve the Variance Request.

	Roll Call Vote:
Ayes:	Councilman Brown Mayor Suess Councilwoman Robbins Councilman Weller Councilwoman Bray-Parker Councilwoman Brice
Nays:	None
Absent:	Councilman Clousing
	<u>Motion Carried Unanimously</u>

7. Pass Ordinance O-2026-07, An Ordinance Amending the Official Motor Vehicle and Traffic Schedule IV (Chapter 70) for the City of Wheaton – Harrison Avenue and Washington Street

Councilwoman Brice moved and Councilwoman Bray-Parker seconded that O-2026-07, An Ordinance Amending the Official Motor Vehicle and Traffic Schedule IV (Chapter 70) for the City of Wheaton – Harrison Avenue and Washington Street, be passed.

City Manager Dzugan stated the ordinance would approve a four-way stop at the intersection of Harrison and Washington. He advised staff is in the process of conducting an extensive analysis of the intersection given the elevated number of accidents within the last few years. He noted the possibility that the report and any infrastructure improvements to the intersection may not conclude until 2027 and therefore staff recommends the four-way stop until that report and analysis are complete.

Councilwoman Bray-Parker expressed gratitude to the residents for their patience and respectful dialogue. She noted she looks forward to a good solution and continued solutions for the neighborhood. She thanked the residents for attending the meeting.

Councilman Brown expressed his appreciation for the tone of correspondence from the residents.

Mayor Suess thanked the residents for attending the meeting and for their emails over the past few years about the Harrison/Washington intersection. He acknowledged that while it's difficult to understand why accidents continue to occur there, the issue needs to be addressed. He appreciated the residents' patience and mentioned that this ordinance is the first step. He added that the City is considering engineering solutions and some ideas that may help.

	Roll Call Vote:
Ayes:	Councilwoman Brice

Councilman Brown
Mayor Suess
Councilwoman Robbins
Councilman Weller
Councilwoman Bray-Parker

Nays: None
Absent: Councilman Clousing
Motion Carried Unanimously

8. First Reading of An Ordinance Amending the Code of Ordinances of the City of Wheaton Chapter 70 (Traffic and Vehicles), Article IV (Stopping, Standing and Parking), and Motor Vehicle and Traffic Schedules VI and VIII

City Manager Dzugan noted that the first part of the ordinance aims to correct certain errors, address inadvertent exclusions, and modify signage pertaining to the City's Blue Dot parking restrictions.

He further explained that the second part of the ordinance proposes changing the on-street parking limit in areas surrounding the Faywell Construction site from four hours to two hours, in order to address the issue of excessive parking by construction workers. He confirmed the City had anticipated this issue before the commencement of construction and designated spaces in Lot 9 for construction worker parking. Additionally, the City recently met with the general contractor, who indicated that he has no control over where subcontractors choose to park. He stated the City notified 81 property owners about the proposed parking changes and explained the rationale behind them, emphasizing that these changes are temporary and will remain in effect only until construction is completed, as the City acknowledges the impact of restricted parking on local residents.

City Manager Dzugan also mentioned that the City will explore options to limit the restriction times. Director Tebrugge confirmed that the current parking restrictions apply between the hours of 8 am and 6 pm, Monday through Saturday.

In response to Mayor Suess, City Manager Dzugan advised that a resident tag is not recommended.

Councilman Weller hopes the ordinance will force workers to park in Lot 9. City Manager Dzugan noted the restrictions would require the workers to move their cars twice as much or be ticketed.

Councilwoman Bray-Parker suggested engaging with residents to determine if the ordinance as presented resolves the issue or if other solutions are needed.

9. Council Comment

Councilwoman Bray-Parker reflected upon her attendance at the DuPage United Assembly on Sunday. She reported ongoing discussions pertaining to the stoplight by Target and St. Francis, noting that Target removed the parking availability for St. Francis students as City Staff predicted. She reported that St. Francis consequently backed out of funding the traffic light. She confirmed State Senator Seth Lewis was in attendance and advised he would ask for additional funding from the General Assembly. She noted the traffic light impacts 500 Wheaton residents. She advised that DuPage United plans to attend the March 2, 2026, City Council meeting to comment on the issue.

Councilman Weller reflected upon his attendance at the Downtown Wheaton Association's Annual Meeting, noting exciting things are in store over the next couple months.

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10. Approval of Warrant

Councilwoman Bray-Parker moved and Councilwoman Robbins seconded that Warrant No. 913 in the amount of \$1,757,289.66, be approved.

Roll Call Vote:
Ayes: Councilwoman Bray-Parker
Councilwoman Brice
Councilman Brown
Mayor Suess
Councilwoman Robbins
Councilman Weller

Nays: None
Absent: Councilman Clousing
Motion Carried Unanimously

11. Adjournment

Councilwoman Bray-Parker moved and Councilwoman Brice seconded that the regular Wheaton City Council Meeting be adjourned at 7:25 p.m.

Roll Call Vote:
Ayes: Councilwoman Bray-Parker
Councilwoman Brice
Councilman Brown
Mayor Suess
Councilwoman Robbins
Councilman Weller

Nays: None
Absent: Councilman Clousing
Motion Carried Unanimously

Respectfully submitted,

Andrea Rosedale
City Clerk

Submitted for Approval: February 17, 2026

MEMORANDUM

TO: The Honorable Mayor and City Council
FROM: Joseph E Tebrugge, Director of Engineering
DATE: February 17, 2026
SUBJECT: **City Code Chapter 70 - Traffic and Vehicles update with corresponding updates to Motor Vehicle and Traffic Schedules VI and VIII - Second Reading**

Request

Adopt City Code Amendments to Chapter 70 - Traffic and Vehicles as well as amendments to Motor Vehicle and Traffic Schedules VI and VIII.

Background

Blue Dot Adjustments - As the new Blue Dot parking signage has been installed throughout the downtown, staff identified several necessary updates to the Traffic Schedules. The attached revisions correct minor typographical errors, address inadvertent exclusions, and modify signage to properly implement the Blue Dot Program. In addition, two areas are being added or revised within the program: Carlton Avenue immediately north of Roosevelt Road, and Bridge Street immediately north of Liberty Drive.

Faywell Contractor Parking – Staff has received multiple complaints regarding construction workers parking in the four-hour on-street parking zones surrounding the Faywell construction site. Early in the project, the City made parking spaces available to the general contractor in Lot 9 for construction worker use. Despite this accommodation, workers continue to park in the four-hour on-street spaces adjacent to the site.

Enforcement has proven challenging, as vehicles are often moved during the lunch hour. More recently, staff met with the general contractor and requested that construction workers refrain from using the four-hour parking spaces. The contractor indicated that they are unable to control where individual workers park. In response, staff recommends a temporary (18-month) modification to parking restrictions in the affected area by establishing two-hour parking. This change will increase turnover, discourage long-term construction worker parking, and provide more effective enforcement by allowing citations to be issued more frequently, thereby incentivizing use of Lot 9.

Notice of the proposed parking restriction change was sent to 81 properties within the affected area (see attached notice and map). The change from 4 hour to 2 hour is proposed to be Monday through Friday to provide residents the most flexibility for parking.

Specific Changes - The proposed changes above result in requested revisions to City Code Chapter 70, Division 4 – Blue Dot Parking as well as the following traffic schedules attached as Exhibit 1 and Exhibit 2 respectively.



- Schedule VI. Parking prohibited at all times on certain streets. (Sec. 70-354(c))
- Schedule VIII. Parking time (non-metered) limited on certain streets and off-street lots. (Sec. 70-354(e-g))

Recommendation

An ordinance amending Chapter 70 - Traffic and Vehicles as well as amending Motor Vehicle and Traffic Schedules VI and VIII of the City of Wheaton Official Motor Vehicle and Traffic Schedules is attached. Staff recommends adopting the Ordinance as presented.

ORDINANCE NO. O-2026-

**AN ORDINANCE AMENDING THE CODE OF ORDINANCES OF THE CITY OF WHEATON
CHAPTER 70 (TRAFFIC AND VEHICLES), ARTICLE IV (STOPPING, STANDING AND PARKING), AND
MOTOR VEHICLE AND TRAFFIC SCHEDULES VI AND VIII**

WHEREAS, the City of Wheaton ("City") is an Illinois Home Rule Municipality pursuant to provisions of Article VII, Section 6 of the Illinois Constitution, and as such the City may exercise any power and perform any function pertaining to its government and affairs; and

WHEREAS, the subject matter of this ordinance pertains to the government and affairs of the City and its residents; and

WHEREAS, the Mayor and City Council and City Staff have carefully evaluated the City Code and believe certain amendments are appropriate.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and City Council of the City of Wheaton, Illinois by its home rule authority, that the Wheaton City Code, Chapter 70 "Traffic and Vehicles", Motor Vehicle Schedule VI. Parking prohibited at all times on certain streets, and Motor Vehicle Schedule VIII. Parking time (non-metered) limited on certain streets and off-street lots, are hereby amended as follows:

SECTION 1: That Chapter 70 (Traffic and Vehicles), Article IV (Stopping, Standing and Parking), Division 4 (Blue Dot Parking Program) Section 70-434, is hereby amended to read as follows:

Sec. 70-434. Blue Dot parking zones.

The following streets are hereby designated as Blue Dot parking zones in which it shall be lawful for an employee of an eligible business to park beyond the permitted time restrictions while displaying a valid city Blue Dot parking permit:

- (1) *Union Avenue* – Both sides from Wheaton Avenue to Hale Street
- (2) *Seminary Avenue* – South side from Gary Avenue to West Street
- (3) *Wesley Street* – Both sides from Gary Avenue to West Street
- (4) *West Street* – West side from Seminary Avenue to Wesley Steet
- (5) *Hale Street* – Both sides from Union Avenue to Seminary Avenue
- (6) *Karlskoga Avenue* – Both sides from Wheaton Avenue to Hale Street
- (7) *Seminary Avenue* – South side from Main Street to Cross Street
- (8) *Seminary Avenue* – South side from Cross Street to Scott Street
- (9) *Wesley Street* – Both sides from Cross Street to Scott Street
- (10) *Wesley Street* – Both sides from Scott Street to Washington Street
- (11) *Cross Street* – Both sides from Wesley Street to Front Street
- (12) *Cross Street* – East side from Liberty Drive to Willow Avenue
- (13) *Scott Street* – West side from Seminary Avenue to Wesley Street
- (14) *Scott Street* – Both sides from Wesley Street to Front Street
- (15) *Front Street* – South side from Cross Street to Scott Street
- (16) *Front Street* – South side from Scott Street to 215 feet east thereof
- (17) *Reber Street* – Both sides from Liberty Drive to Willow Avenue

- (18) *Willow Avenue* – Both sides from Wheaton Avenue to Hale Street
- (19) *Willow Avenue* – Both sides from Main Street to Cross Street
- (20) *Willow Avenue* – South side from Reber Street to Naperville Road
- (21) *Willow Avenue* – South side from Naperville Road to Washington Street
- (22) *Illinois Street* – South side from Main Street to Reber Street
- (23) *Illinois Street* – South side from Reber Street to Naperville Road
- (24) *Naperville Road* – East side from Liberty Drive to Willow Avenue
- (25) *Naperville Road* – Both sides from Willow Avenue to Illinois Street
- (26) *Carlton Avenue* – West side from Roosevelt Road 135 feet north 530 feet of Childs Street to 375 feet south thereof
- (27) *Bridge Street* – Both sides from Liberty Drive north 350 feet

SECTION 2: That the following Motor Vehicle and Traffic Schedules of Chapter 70 (Traffic and Vehicles) are hereby amended as follows:

1. Schedule VI. Parking prohibited at all times on certain streets. (Sec. 70-354(c)) attached hereto and incorporated herein as Exhibit 1.
2. Schedule VIII. Parking time (non-metered) limited on certain streets and off-street lots. (Sec. 70-354(e-g)) attached hereto and incorporated herein as Exhibit 2.

SECTION 3: In all other respects, the terms and provisions of the Wheaton City Code are ratified and remain in full force and effect.

SECTION 4: All ordinances or parts of ordinances in conflict with these provisions are hereby repealed.

SECTION 5: In the event that any section, clause, provision, or part of this ordinance shall be found and determined to be invalid by a court of competent jurisdiction, all valid parts that are severable from the invalid parts shall remain in full force and effect.

SECTION 6: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.

Mayor

ATTEST:

City Clerk

Roll Call Vote:

Ayes:

Nays:

Absent:

Passed:

Published:

**CITY OF WHEATON
OFFICIAL MOTOR VEHICLE & TRAFFIC SCHEDULES**

Schedule VI. Parking prohibited at all times on certain streets. (Sec. 70-354(c))

In accordance with Section 70-354(c) and where signs are erected giving notice thereof, no person shall at any time park a vehicle upon any of the following described streets or parts of streets:

- (1) *Harrison Avenue* - south side - from Washington Street to Cherry Street. Both sides -100 feet east of Main Street to 250 feet west of Main Street, from the east line of Webster Avenue to the east line of Eddy Court.
- (2) *Madison Avenue* - north side - between Carlton Avenue and Ellis Avenue and between Cross Street and Scott Street. (Ord. F-0071, 11/04/96)
- (3) *Jefferson Avenue* - south side - Ellis Avenue to Gary Avenue and Scott Street to Irving Avenue.
- (4) *Lincoln Avenue* - south side - Ellis Avenue to Main Street and Scott Street to Washington Street. North side – Winfield Creek Bridge to Sherwin Street. (Ord. F-1582; 09/06/11)
- (5) *Franklin Street* - north side- Carlton Avenue to Main Street, Scott Street to Washington Street.
- (6) *University Place* - north side - Howard Street to Webster Avenue. South side - Webster Avenue to President Street. (Ord. F-0396, 10/18/99)
- (7) *Union Avenue* - south side - Main Street to Washington Street, Ellis Avenue to West Street, Cross Street to Washington Street. Both sides- Main Street to Cross Street.
- (8) *Seminary Avenue* - north side - Ellis Avenue to 40 feet east of Hale Street, 210 feet west of Main Street to Washington Street. South side - Hale Street to Main Street
- (9) *College Avenue* - north side - Washington Street to Harrison Street. South side - from Stoddard Avenue to Pick Street. Both sides- from Washington Street to 290 feet east of the east line of President Street.
- (10) *Wesley Street* - north side - Manchester Road to Ellis Avenue, from Scott Street to 80 feet east thereof and from 200 feet east of Scott Street to 380 feet east of Scott Street. South side - from Cross Street to 175 feet east thereof, from Scott Street to 190 feet east thereof.
- (11) *Front Street* - both sides - from Wesley Street to Western Avenue. North side - from Western Avenue to West Street; and from Cross Street to Washington Street. South side- from West Street to the west line of Gary Avenue (further designated as a “passenger loading zone”). (Ord. F-0241, 05/18/98)

CITY OF WHEATON
OFFICIAL MOTOR VEHICLE & TRAFFIC SCHEDULES

Schedule VI. Parking prohibited at all times on certain streets. (Sec. 70-354(c))

- (12) *Liberty Drive* - north side - from West Street to 400 feet west thereof (with the westerly 340 feet thereof being designated as a (“passenger loading zone”), from West Street 190 feet east, South side – from Wheaton Avenue to 250 feet west of West Street, from Commerce Drive to Bridge Street (except adjacent to Police Department), from 50 east of Naperville Road to 110 feet west of Naperville Road, and from Williston Street (south) to Williston Street (north). (Ord. F-1016, 04/04/05; Ord. F-1860, 05/04/15)
- (13) *Willow Avenue* - both sides - from Main Street to a point 200 feet east of Main Street and from Cross Street to Reber Street. North side- from Reber Street to Washington Street.
- (14) *Childs Street* - north side - from West Street to Carlton Avenue, and from 500 feet east of Aurora Way to Aurora Way.
- (15) *Illinois Street* - south side - West Street to 35’ east of Main Street, Naperville Road to Campbell Avenue. North side - from Main Street to 170 feet west of Naperville Road; and from West Street to Wheaton Avenue.
- (16) *Indiana Street* - north side - Sunnyside Avenue to Main Street. South side - from Naperville Road to Campbell Avenue.
- (17) *Park Avenue* - south side - Wheaton Avenue to Hale Street, Main Street to Gamon Road; north side - Main Street to Hale Street, Wheaton Avenue to Warrenville Road. (Ord. F-1571, 06/20/11)
- (18) *Roosevelt Road* - both sides - within city limits.
- (19) *Carlton Avenue*-west side - Lincoln Avenue to Harrison Avenue, from the north line of Roosevelt Road to a point 300 feet north thereof. East side - Roosevelt Road to Liberty Drive. (Ord. F-0236, 04/20/98)
- (20) *Ellis Avenue*-east side - Gary Avenue to Front Street.
- (21) *Gary Avenue*-both sides - from Front Street to Wesley and from Jewell Road to Harrison Avenue. East side - Wesley Street to Harrison Avenue.
- (22) *West Street* - both sides from Union Avenue to Jefferson Avenue, from Wesley Street to the south line of Willow, and from Evergreen Street to Roosevelt Road. East side - Wesley Street to Union Avenue. (Ord. F-0245, 06/01/98)

CITY OF WHEATON
OFFICIAL MOTOR VEHICLE & TRAFFIC SCHEDULES

Schedule VI. Parking prohibited at all times on certain streets. (Sec. 70-354(c))

- (23) *Wheaton Avenue* - Both sides- Roosevelt Road to 20 feet north of Evergreen Street. West side- Illinois Street to Liberty Drive, and Wesley Street to Jefferson Avenue. East side – Evergreen Street to Illinois Street, Park Avenue to the school boundary south of Park Avenue, and Wesley Street to Front Street. Both sides – Front Street to Liberty Drive. (Ord. F-1564, 05/16/11)
- (24) *Hale Street* - both sides - from the north line of that part of Seminary Avenue lying east of Hale Street to the south line of that part of Seminary Avenue lying west of Hale Street. West side- Wesley Street to the alley south of Wesley Street. East side- alley south of Wesley Street to Front Street. Both sides- Front Street to Liberty Drive. West side- Illinois Street to Roosevelt Road. (25) *Main Street*: (Ord. F-0853, 10/20/03)
- (1) Both sides - Seminary Avenue to north corporate limits. (Ord. F-0853, 10/20/03)
- (2) West side - Seminary Avenue to Wesley Street.
- (3) Both sides - Front Street to Liberty Drive.
- (4) Both sides - Indiana Street to Park Avenue.
- (5) East side - Elm Street to Fairway Lane.
- (26) *President Street* - both sides - from 365 feet north of the north line of Harrison Avenue to 405 feet south of the south line of Harrison Avenue, from 35 feet north of the north line of University Place to 75 feet north of the north line of Michigan Street, from 110 feet south of the south line of Indiana Street to the north line of Pershing Avenue, from 90 feet south of the south line of Whitchurch Court to 165 feet south of the south line of Wigtown Court, from 365 feet south of the south line of Wigtown Court to the south line of 22nd Street. East side- from 405 feet south of the south line of Harrison Avenue to 35 feet north of the north line of University Place, from 75 feet north of the north line of Crescent Street to 110 feet south of the south line of Indiana Street, from the south line of Pershing Avenue to the north line of the northernmost section of Dawes Avenue - west side- from 165 feet south of the south line of Lowden Avenue to 90 feet south of the south line of Whitchurch Court, from 165 feet south of the south line of Wigtown Court to 365 feet south thereof.
- (27) *Scott Street* - east side- Seminary Avenue to Wesley Street, west side- Lincoln Avenue to Seminary Avenue, east side- Lincoln Avenue to Jefferson Avenue.
- (28) *Naperville Road* - both sides - from a point 45 feet north of the north line of Roosevelt Road to Illinois Street
- (29) *Lowden Avenue* - both sides - from the west line of Sumner Street to the section of Lowden Avenue (one block) adjacent to the Lincoln School property.

- (30) *Washington Street* - east side- from Evergreen Street to Willow Avenue - west side - Jefferson Avenue to Seminary Avenue; both sides - Crescent Street to Seminary Avenue, Liberty Drive to Willow Avenue, and Roosevelt Road to Evergreen Street. (Ord. F-0770, 11/04/02)
- (31) *Irving Avenue* – west side – Harrison Avenue to Jefferson Avenue, both sides – Jefferson Avenue to 400 feet south thereof.”
- (32) *Prospect Street*- east side- from Avery Avenue to the Lowell Avenue ROW (the entrance to Hoffman Park), west side from Evergreen Street the cul-de-sac, Roosevelt Road to 25 feet north thereof.
- (33) *Stoddard Avenue* - west side- from Harrison Avenue to Jefferson Avenue and both sides from Jefferson Avenue to College Avenue.
- (34) *Blanchard Street* - west side- from College Avenue to North Path; from Crescent Street to Avery Avenue and from Evergreen Street to Roosevelt Road. Both sides- from President Street to Naperville Road; from Roosevelt Road to the south line of Croydon Court; and from Briarcliffe Boulevard to Rhodes Court. (Ord. F-0559, 02/20/01)
- (35) *Crescent Street* - south side- from Hill Avenue to President Street.
- (36) *Cross Street* - west side - from Franklin Avenue to Union Avenue and from Front Street to Willow Avenue. East side from Front Street to Liberty Drive. (Ord. F-0501, 08/21/00)
- (37) *Lorraine Road*- both sides - from Evergreen Street to Roosevelt Road, west side from Roosevelt Road to 22nd Street.
- (38) *Reber Street* - west side- north ½ of block between Illinois Street to Willow Avenue.
- (39) *Harwarden Street* - both sides- from Blanchard Street to Kellogg Place.
- (40) *Kellogg Place* - east side- from Crescent Street to Harwarden Street.
- (41) *Williston Street* - both sides from Crescent Street to Avery Street, Evergreen to Cul-de-sac. West side - from Taft Avenue northerly to include the cul-de-sac portion.
- (42) *Manchester Road* - north side - from White Oak to County Farm Road. Both sides: from County Farm Road west to the City limits.
- (43) *County Farm Road Court* - both sides of street.
- (44) *Prairie Avenue* - north side – Wheaton Avenue to West Street (Ord. F-0665, 12/03/01; Ord. F-0712, 05/20/02; Ord. F-1243, 12/18/06)
- (45) *Woodlawn Avenue* - west side - from the south side of Liberty Drive to the north line of Childs Street.

- (46) *Haverhill Drive* - west side - from Farnham Lane to Brandon Drive
- (47) *Cherry Street* - west side - from Bridle Lane, northerly to include the entire cul-de-sac area.
- (48) *Santa Rosa* - west side - from the south line of Forest Avenue to the north line of Harrison Avenue.
- (49) *Butterfield Road* - both sides- within the city limits.
- (50) *Thomas Road* - north side - from Papworth Street easterly to include cul-de-sac area.
- (51) *County Farm Road*- north side - from Schaffner Road to Stonebridge Trail.
- (52) *Evergreen Street* - south side- Washington Street to Campbell Avenue.
- (53) *Stonebridge Trail* - west side- from the west line of Yorkshire Woods Court to the north line of Spring Green Drive, North side- from the west line of County Farm Court to the west line of Yorkshire Woods, East side - from the south line of Spring Green Drive to Wiesbrook Road.
- (54) *Taft Avenue* - south side - President Street to Prospect Street.
- (55) *Elm Street* - north side - from Main Street to 340 feet west thereof.
- (56) *Hazelton Avenue* - west side - from 650 feet south of Manchester Road to Child Street.
- (57) *22nd Street* - both sides of the median strip - from Blanchard Street to Lorraine Road.
- (58) *Briarcliffe Boulevard* - both sides of the median strip - from 22nd Street to Brentwood Lane.
- (59) *Westhaven Drive* - west side - from Roosevelt Road to Paula Avenue.
- (60) *Chase Street* - west side – Liberty Drive to Crescent Street (Ord. F-1851, 03/02/15)
- (61) *Michigan Street* - south side - Chase Street to President Street. North side- Kellogg Place to President Street.
- (62) *Delles Road* - west side- Roosevelt Road to Childs Street.
- (63) *Pick Street* - west side - Harrison Avenue to North Path.
- (64) *Cole Avenue* - north side - from Main Street to Papworth Street; south side - from Papworth Street to approximately 725 feet east thereof, and Main Street to 300 feet west thereof. (Ord. F-0433, 03.06/00)

- (65) *Papworth Street* - both sides - from Thomas Road to Geneva Road. (Ord. F-1184, 07/05/06)
- (66) *Longfellow Drive* - south side - from Naperville Road to Blanchard Street, north side from Naperville Road to Longfellow Court.
- (67) *Hawkins Circle* - south side - from Blanchard Street to the south line of Belter Drive. East, south, then west side - from the south line of Belter Drive to the point of origin of Hawkins Circle north of Stillwell.
- (68) *Jahns Drive* - west side - Hawkins Circle to East Loop Road.
- (69) *Danada Drive* - north side - from the west line of Naperville Road to 200 feet west thereof, south side - from the west line of Naperville Road to 250 feet west thereof.
- (70) *West Loop Road* - both sides - from the west line of Naperville Road to Butterfield Road.
- (71) *Creekside Drive* - west side - Wexford Circle (south) to Spring Green Drive, east side - Spring Green Drive to 400 feet north
- (72) *Wiesbrook Road* - both sides from the north line of Butterfield Road (Rt. 56) to the east line of the easternmost leg of Orchard Road. (Ord. F-0649, 11/05/01)
- (73) *Winners Cup Circle* - street light side (opposite Seven Gables Park) north of Brighton Drive.
- (74) *Webster Avenue* - east side - from University Place to 100 feet north of North Path.
- (75) *Warrenville Avenue* - both sides - from Wiesbrook Road to Center Avenue.
- (76) *Center Avenue* - west side - from Warrenville Avenue to Hoy Avenue.
- (77) *Chatham Drive* - west side - from Brighton Drive to Gladstone Drive. (Ord. F-0559, 01/02/01)
- (78) *Blanchard Circle* - west side.
- (79) *Fapp Circle* - west side from County Farm Road to Roosevelt Road.
- (80) *Hawthorne Boulevard* - north side - Maria Court to Wilmette Street.
- (81) *Hall Drive* - north side - Appleby Drive to 130 feet west of Langford Lane.
- (82) *Fischer Street* - both sides - Liberty Drive to Michigan Avenue.
- (83) *Morse Street* - east side - from the south line of Amy Lane to 180 feet north thereof.
- (84) *East Loop Road* - both sides - Naperville Road to Butterfield Road.

- (85) *Darling Street* – west side – Thomas Road to Armbrust Road. East side from Armbrust Road to Northside Park gate. (Ord. F-0592, 05/29/01; Ord. F-0610, 07/02/01)
- (86) *Durfee Road* –northside- from Seneca Drive to approximately 770 feet west thereof. Southside – from Wiesbrook Road to approximately 680 feet east thereof. (Ord. F-1000, 02/22/05; Ord. F-1364, 07/21/08)
- (87) *Commerce Drive* - west side - from Gables Boulevard to Liberty Drive.
- (88) *Appleby Drive* - east/north side - Hiram Drive to Richmond Drive. (Ord. F-0040, 07/01/96)
- (89) *Pershing Avenue* - north side - Naperville Road to President Street. (Ord. F-1084, 10/03/05)
- (90) *Shaffner Road* – west side – Warrenville Avenue to Atten Park property line north thereof. (Ord. F-0408, 12/06/99)
- (90) *Beecher Avenue* - south side - Graf Park entrance to Westwood Drive. (Ord. F-0508, 09/05/00)
- (91) *Mallard Court* - north side – Lakeview Drive to the dead end. (Ord. F-0983, 12/06/04)
- (92) *Purnell Street* – west side – from Hawthorne Boulevard to the Wheaton City limits north thereof. (Ord. F-1065, 08/01/05)
- (93) *Brighton Drive* – south side – from Orchard Road to Hampton Drive. North side – from Chatham Drive to approximately 110 feet west thereof, from Chatham Drive to approximately 115 feet east thereof.” (Ord. O-2023, 11/6/23)
- (94) *Dorset Drive* - east side/north side - from Gladstone Drive to Brighton Drive. (Ord. F-1088, 10/17/05)
- (95) *Colonial Square* - north side from Orchard Road to Berkshire Place. (Ord. F-1088, 10/17/05)
- (96) *Berkshire Place* - east side from Sherwood Place to Brighton Drive. (Ord. F-1088, 10/17/05)
- (97) *Sherwood Place* - west side - from Brighton Drive to Dorset Drive. (Ord. F-1088, 10/17/05)
- (98) *Richton Drive* - west side - Brighton Drive to Dorset Drive. (Ord. F-1088, 10/17/05)
- (99) *Buckingham Court* - south side - from Greensboro Drive to include the cul-de-sac. (Ord. F-1088, 10/17/05)
- (100) *Burnham Place* - west side - from Buckingham Drive to Dorset Drive. (Ord. F-1088, 10/17/05)
- (101) *Greensboro Drive* - east side - from Dorset Drive to Brighton Drive. (Ord. F-1088, 10/17/05)
- (102) *Somerset Lane* - east side/north side - from Brighton Drive to Gladstone Drive. (Ord. F-1088, 10/17/05)

- (103) *Buckingham Drive* - south side - from Sherwood Place to Greensboro Drive. East side - from Somerset Lane to Brighton Drive. (Ord. F-1088, 10/17/05)
- (104) *Canterbury Place* - west side - from Dorset Drive to Cromwell Drive. (Ord. F-1088, 10/17/05)
- (105) *Cromwell Drive* - west side - from Butterfield Road to Brighton Drive. (Ord. F-1088, 10/17/05)
- (106) *Gladstone Drive* - east side - from Brighton Drive to Chatham Drive. (Ord. F-1088, 10/17/05)
- (107) *Middleton Drive* - east side - from Somerset Lane to Chatham Drive. (Ord. F-1088, 10/17/05)
- (108) *Bedford Court* - west side - from Somerset Lane to the cul-de-sac. (Ord. F-1088, 10/17/05)
- (109) *Middleton Court* - east side - from Middleton Drive to the cul-de-sac. (Ord. F-1088, 10/17/05)
- (110) *Brentwood Lane* – south side – Nottingham Lane to Briarcliffe Boulevard (Ord. No. F-1179, 06/19/06)
- (111) *Emden Lane* – both sides – Weisbrook Road to Lakeview Drive. (Ord. F-1210, 10/16/06)
- (112) *Farnham Drive* - south side - Naperville Road to President Street
- (113) *Parkview Court* - south side - from Schaffner to end, including the cul-de-sac
- (114) *Knollwood Street* - both sides - from the south line of Liberty Drive north 55 feet.
- (115) *Lakeview Drive* - north side - from Butterfield Road to Emden Lane.
- (116) *Garner Avenue* - north side - from President Street to Stoddard Avenue
- (117) Somerset Circle – 20’ north and 10’ south of the west mailbox unit, and 10’ north and 20’ south of the east mailbox unit.

**CITY OF WHEATON
OFFICIAL MOTOR VEHICLE & TRAFFIC SCHEDULES**

**Schedule VIII. Parking time (non-metered) limited on certain streets and off-street lots.
(Sec. 70-354)**

I. *On-Street Limited Parking Time:* In accordance with Section 70-354(e) and when proper signs have been erected, parking shall be limited to the maximum time indicated on the following streets or parts of streets between the hours of 8:00 a.m. to 6:00 p.m. on Monday through Saturday, except legal holidays.

(a) *9-hour limit:*

(1) NONE

(b) *6-hour limit:*

(1) NONE

(c) *4-hour limit:*

- | | | |
|-----|-------------------------|---|
| (1) | <i>Main Street</i> | East side from Indiana Street to Illinois Street. |
| (2) | <i>Blanchard Street</i> | Both sides from Avery Avenue to Willow Avenue, and North Path to Harrison Avenue, east side from Crescent Street to Avery Avenue and from North Path to College Avenue. |
| (3) | <i>Wheaton Avenue</i> | West side - Evergreen Street to Illinois Street East side - Willow Avenue to Illinois Street, and Union Avenue to Jefferson Avenue. (Ord. F-1564, 05/16/11) |
| (4) | <i>Bridge Street</i> | Both sides from Liberty Drive to 325 feet north of Liberty Drive |
| (5) | <i>Carlton Avenue</i> | West side from 290 feet north of Roosevelt Road to 530 feet north of Roosevelt Road. |
| (6) | <i>Childs Street</i> | South side from Carlton Avenue to 740 feet east of Carlton Avenue. |
| (7) | <i>Hale Street</i> | Both sides from Willow Avenue to Illinois Street, e East side from Illinois-Indiana Street to Roosevelt Road. |
| (8) | <i>Harwarden Street</i> | Both sides from Blanchard Street to Summit Street. |

- (9) *Illinois Street* ~~North side from Main Street to Wheaton Avenue and from Naperville Road to 120 feet west thereof, South side from Main Street to Naperville Road~~NONE
- (10) *Hill Avenue* Both sides from Crescent Street to the east corporate limit.
- (11) *Seminary Avenue* South side from Ellis Avenue to Gary Avenue.
- (12) *Liberty Drive* Both sides from Cross Street to Reber Street, Naperville Road to Washington Street and from Summit Street to Williston Street. (Ord. F-1416, 02/02/09)
- (13) *Kellogg Place* Both sides from Harwarden Street to Michigan Avenue, west side from Crescent Street to Harwarden Street.
- (14) *Naperville Road* East side from Illinois Street to Liberty Drive, west side from Illinois Street north to midblock alley.
- (15) *Garner Avenue* South side from President Street to Stoddard Avenue.
- (16) *Ellis Avenue* West side from Front Street to Lincoln Avenue.
- (17) *North Path* Both sides from President Street to Pick Street.
- (18) *Summit Street* Both sides from Harrison Avenue to College Avenue.
- (19) *Jefferson Avenue* South side from President Street to Stoddard Avenue, and from Blanchard Street west for half the block.
- (20) *Indiana Avenue* South side from Sunnyside Avenue to Main Street.
- (21) *Evergreen Street* South side from West Street to Hale Street, both sides from West Street to Sunnyside Avenue.
- (22) *Franklin Street* South side from Carlton Avenue to Main Street.
- (23) *Willow Avenue* ~~North side from West Street to Wheaton Avenue, Both sides from Wheaton Avenue to Hale Street, Both sides from Main Street to Cross Street,~~ South side from Reber Street to Washington Street.
- (24) *Wesley Street* South side from Western Avenue to Ellis Avenue, Both sides from Ellis Avenue to West Street, North side from West street to the west property line of Wheaton City Hall, and both sides from Cross Street to ~~Washington~~Scott

Street, South side from 190 feet east of Scott Street to Washington Street, North side from 80 feet east of Scott Street to 200 feet east of Scott Street and from 380 feet east of Scott Street to Washington Street.

- ~~(25)~~ West Street West side from Wesley Street to Union Avenue.
- ~~(25)~~~~(26)~~ Lincoln Avenue North side from Main Street to Ellis Avenue.
- ~~(26)~~~~(27)~~ Crescent Street Both Sides from Sumner Street to Chase Street.
- ~~(27)~~~~(28)~~ Avery Avenue North side from Blanchard Street to Prospect Street.
- ~~(28)~~~~(29)~~ Prospect Street West side from Avery Avenue to Hill Avenue.
- ~~(29)~~~~(30)~~ Stoddard Avenue East side from Jefferson Avenue to Harrison Avenue.
- ~~(30)~~~~(31)~~ Williston Street Both sides from Avery Avenue to Liberty Drive, and Liberty Drive to Willow Avenue.
- ~~(31)~~~~(32)~~ Washington Street West side from Liberty Drive to Crescent Street.
- ~~(32)~~~~(33)~~ University Place North side from President Street to Webster Avenue, south side from Webster Avenue to Howard. Street. (Ord. F-0396, 10/18/99)
- ~~(33)~~~~(34)~~ Front Street South Side from Cross Street to Washington Street
- ~~(34)~~~~(35)~~ Cross Street East side from Willow Avenue to Liberty Drive, Both sides from Wesley Street to Front Street.
- ~~(35)~~~~(36)~~ Reber Street Both sides from Liberty Drive to Willow Avenue.
- ~~(36)~~~~(37)~~ Scott Street West side from Seminary Avenue to Wesley Street, Both sides from Wesley Street to Front Street.

(d) 3-hour limit:

(1) NONE

- (e) *2-hour limit:*
 - (1) *Gary Avenue* West side from Wesley Street to the alley north of Wesley Street.
 - (2) *Main Street* Both sides from Illinois Street to Willow Avenue, west side from Illinois Street to Indiana Street.
 - (3) *College Avenue* South side from 230 feet east of President Street to Stoddard Avenue.

- (f) *1-hour limit:*
 - (1) NONE

- (g) *½-hour limit:*
 - (1) *Liberty Drive* South side from 70 feet to 350 feet east of the east line of Commerce Drive.
 - (2) *Front Street* South side from 120 feet west of Wheaton Avenue to 165 feet west of Wheaton Avenue.

- (h) *15-minute limit:*
 - (1) *Seneca Drive* West side from Durfee Road to 150 feet south thereof.

II. *Off-Street Parking Time:* In accordance with Section 70-354(f) and when proper signs have been erected, parking shall be limited to the maximum time indicated in the following off-street parking lots between the hours of 8:00 a.m. and 6:00 p.m. on Monday through Saturday, except legal holidays.

(a) *4-hour limit:*

(1) NONE

(b) *3-hour limit:*

(1) ~~NONE~~ Parking Lot 2 Entire Parking Lot

(c) *2-hour limit:*

(1) NONE

III. *On-Street Limited Parking Time*: In accordance with Section 70-354(eg) and when proper signs have been erected, parking shall be limited to the maximum time indicated on the following streets or parts of streets the hours of 8:00a.m. and 6:00 p.m. on Monday through Friday, except legal holidays.

(a) *9-hour limit*:

(1) NONE

(b) *6-hour limit*:

(1) NONE

(c) *4-hour limit*:

- | | | |
|-----|--------------------------|---|
| (1) | <i>Union Avenue</i> | North side from Ellis Avenue to Main Street, south side from Wheaton Avenue to Main Street. |
| (2) | <i>President Street</i> | West side from 200 feet north of North Path to University Place and from 70 feet north of Michigan Street to Willow Avenue. (Ord. F-0838, 09/02/03) |
| (3) | <i>Childs Street</i> | North side from Carlton Avenue to a point 695 feet west thereof. |
| (4) | <i>Michigan Street</i> | South side from President Street to Kellogg Place, north side from President Street to Fischer Street. |
| (5) | <i>Delles Road</i> | East side from Roosevelt Road to Childs Street. |
| (6) | <i>Pick Street</i> | East side from North Path to Harrison Avenue. |
| (7) | <i>Parkside Drive</i> | Both sides from Delles Road to Crest Street. |
| (8) | <i>Prospect Street</i> | West side from Hill Avenue to 200' feet north of Hill Avenue |
| (9) | <i>Washington Street</i> | West side from Crescent Street to Liberty Drive. |

- (10) *Union Circle* Both sides from Ellis Avenue to the north to Ellis Avenue to the south.
 - (11) *Webster Avenue* West side from North Path to University Place.
 - (12) *Jefferson Avenue* Both sides from Gary Avenue to Main Street. (Ord. F-0536, 11/19/00; Ord. F-1564, 05/16/11)
 - (13) *Main Street* East side from Wesley Street to Seminary Avenue. (Ord. F-0910, 05/17/04)
 - (14) *Seminary Avenue* South side from West Street to Gary Avenue and from Main Street to Scott Street. North side from 40 feet east of Hale Street to 210 feet west of Main Street.
 - (15) *Chase Street* East side from Liberty Drive to Crescent Street. (Ord. F-1851, 03/02/15)
 - (16) *Karlskoga Avenue* Both sides from Wheaton Avenue to Hale Street.
 - (17) *Wheaton Avenue* East side from Karlskoga north 235 feet.
 - (18) *Hale Street* Both sides from Seminary Avenue to Union Avenue
- (d) *3-hour limit:*
- (1) *Wesley Avenue* Both sides from Wheaton Avenue to Cross Street
 - (2) *Front Street* Both sides from West Street to Cross Street, excepting from 120' west of Wheaton Avenue to 165' west of Wheaton Avenue.
 - (3) *Liberty Street* South side from Wheaton Avenue to Main Street, Both sides from Main Street to Cross Street.
 - (4) *Willow Avenue* Both sides from Hale Street to Main Street
 - (5) *Wheaton Avenue* East side from Wesley Street to Karlskoga Avenue, east side from Willow Avenue to Liberty Drive, and west side from Front Street north to the alley mid-block.
 - (6) *Hale Street* Both sides from Seminary Avenue to Willow Avenue.
 - (7) *Main Street* Both sides from Wesley Street to Willow Avenue
- (e) *2-hour limit:*

- (1) *Seminary Avenue* South side from 330 feet west of Wheaton Avenue to 75 feet west thereof.
- (2) *Wheaton Avenue* West side - Evergreen Street to Illinois Street, East side Liberty Drive to Illinois Street
- (3) *Illinois Street* North side from Main Street to Wheaton Avenue and from Naperville Road to 120 feet west thereof, South side from Main Street to Naperville Road
- (4) *Willow Avenue* North side from West Street to Wheaton Avenue, Both sides from Wheaton Avenue to Hale Street, Both sides from Main Street to Cross Street
- (5) *Hale Street* Both sides from Willow Avenue to Illinois Street, east side from Illinois Street to Indiana Street.

(f) *½-hour limit:*

- (1) *Wheaton Avenue* West Side from Wesley Street South to the alley mid-block. (Ord.O-2023-10, 03/07/2023)
- (2) *Wesley Street* Both sides from Wheaton Avenue to the west property line of Wheaton City Hall. (Ord. O-2023-10, 03/07/2023)
- (3) *Seminary Avenue* South side from Wheaton Avenue to 330 feet west thereof.

MEMORANDUM

TO: City Council
FROM: Mayor Philip Suess
DATE: February 17, 2026
SUBJECT: **Appointments to City Commissions**

Subject to your concurrence, I hereby recommend the appointments of the following:

Commission on Aging

- Karen Jansen
 - Appointment for a three-year term through February 17, 2029.

Fine and Cultural Arts Commission

- Susan Varcak
 - Appointment for a three-year term through February 17, 2029.



WHEATON MAYOR PHILIP J. SUESS

CITY MANAGER MICHAEL DZUGAN

CITY COUNCIL: ERICA BRAY-PARKER | LEAH BRICE | SCOTT BROWN | BRADLEY CLOUSING | LYNN ROBBINS | SCOTT WELLER

MEMORANDUM

TO: The Honorable Mayor and City Council
FROM: Tracy L. Jones, AICP, Staff Planner **TJ**
DATE: February 17, 2026
SUBJECT: ZA #26-01/ Rear Yard Setback Variation/ 87 Somerset Circle/ Nowakowski

Request

Consideration of an Ordinance approving a rear yard setback variation to allow the construction and use of a new deck, all on property commonly known as 87 Somerset Circle.

Background

The subject property is an interior lot in the Loretto Club Subdivision. The property, which is pie-shaped, is improved with a single-family residence and an existing pressure treated deck. Due to the lot's pie-shaped configuration, the house and the existing deck are both constructed at an angle to the rear property line. To create more useable low-maintenance outdoor space, the applicant desires to replace the existing pressure treated deck with a larger composite deck.

Planning and Zoning Board Recommendation

On Tuesday, January 13, 2026, the Planning and Zoning Board held a public hearing on this application and recommended approval of the variation request, with a 6-1 vote, as presented.

The dissenting Board Member did not provide a reason for voting against the request.

Previous City Council Discussion

The City Council received the report of the Planning and Zoning Board at their February 2, 2026 meeting. Following a discussion on this matter, the City Council directed the City Attorney to prepare an Ordinance to approve the variation request.



WHEATON MAYOR PHILIP J. SUESS

CITY MANAGER MICHAEL DZUGAN

CITY COUNCIL: ERICA BRAY-PARKER | LEAH BRICE | SCOTT BROWN | BRADLEY CLOUSING | LYNN ROBBINS | SCOTT WELLER

ORDINANCE NO. O-2026-

AN ORDINANCE GRANTING A REAR YARD SETBACK VARIATION TO ALLOW THE CONSTRUCTION AND USE OF A NEW DECK, ON A CERTAIN PIECE OF PROPERTY COMMONLY KNOWN AS 87 SOMERSET CIRCLE - NOWAKOWSKI

WHEREAS, written application has been made requesting a variation to Article 3.4A.6 of the Wheaton Zoning Ordinance to allow the construction and use of a new deck with a rear yard setback of 23.1 feet in lieu of the required 25.0 feet, all on property commonly known as 87 Somerset Circle; and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on January 13, 2026, to consider the variation request; and the Planning and Zoning Board has recommended approval of the request.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: The following described property has been and continues to be zoned and classified in the I-1 Institutional District zoning classification:

LOT 32 IN LORETTO CLUB, BEING A SUBDIVISION IN PART OF THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 3, 2017 AS DOCUMENT NUMBER R2017-079153, IN DUPAGE COUNTY, ILLINOIS.

P.I.N.: 05-29-201-033

The subject property is commonly known as 87 Somerset Circle, Wheaton, IL 60189.

Section 2: Pursuant to the Findings of Fact made and determined by the Wheaton Planning and Zoning Board, a variation to Article 3.4A.6 of the Wheaton Zoning Ordinance to allow the construction and use of a new deck with a rear yard setback of 23.1 feet in lieu of the required 25.0 feet is granted, in full compliance with the following plans: "Site Plan for: 87 Somerset Circle", dated January 13, 2026, as presented.

Section 3: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 4: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.

Mayor

ATTEST:

City Clerk

Roll Call Vote:

Ayes:

Nays:

Absent:

Passed:

Published:

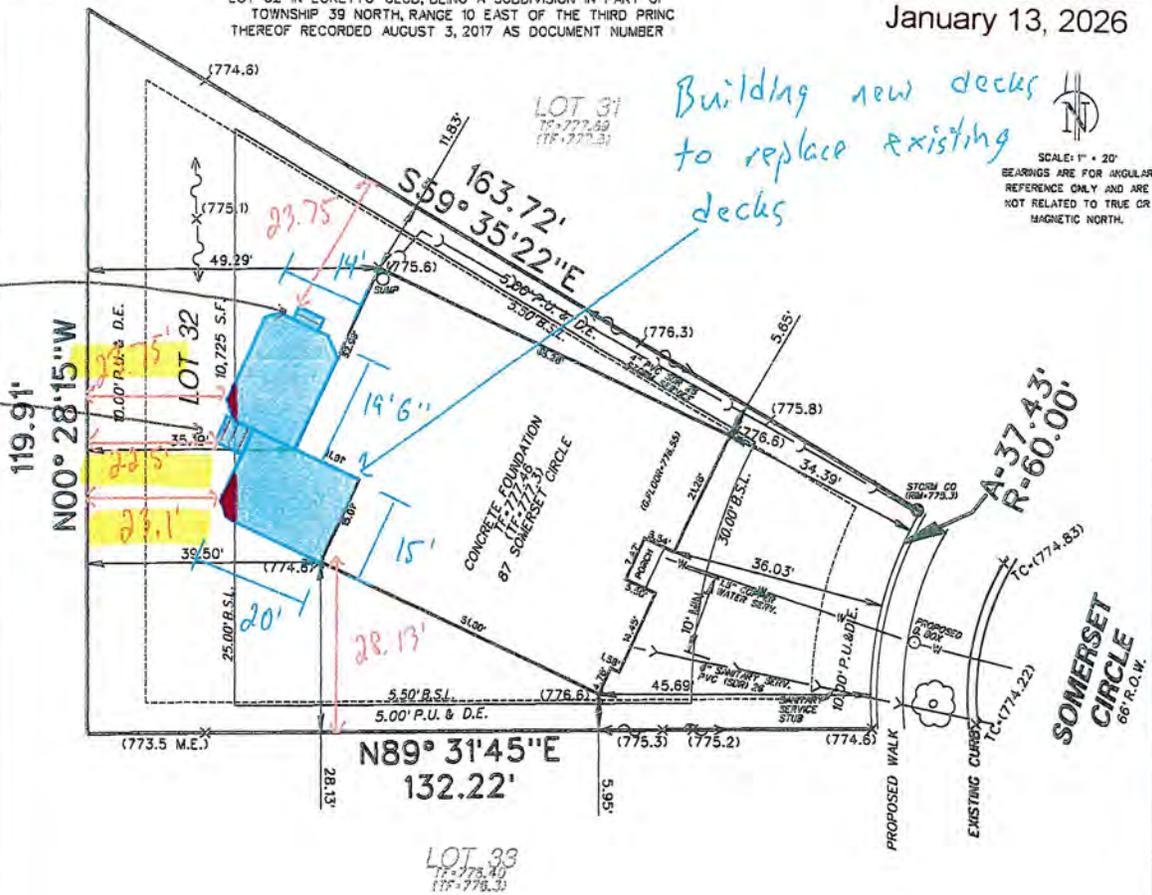
CLIENT:
 PULTE HOMES COMPANY, LLC
 1900 E. GOLF ROAD
 SUITE 300
 SCHAUMBURG, IL 60173

PLAT OF S1

"SPOT FOUNDATION SUR
 OF

LOT 32 IN LORETTO CLUB, BEING A SUBDIVISION IN PART OF
 TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINC
 THEREOF RECORDED AUGUST 3, 2017 AS DOCUMENT NUMBER

Site Plan for:
 87 Somerset Circle
 January 13, 2026



LEGEND

- IRON PIPE SET
- EXISTING CONTOUR
- EX XX.X EXISTING GRADE ELEVATION
- (XX.X) PROPOSED GRADE ELEVATION
- (TF+ XX.X) PROPOSED TOP OF FOUNDATION
- DRAINAGE DIRECTION
- ➔ OVERLAND FLOW ROUTE
- P.U.&D.E. • UTILITY & DRAINAGE EASEMENT
- B.S.L. • BUILDING SETBACK LINE
- DECIDUOUS TREE

STATE OF ILLINOIS)
) SS
 COUNTY OF COOK)

WE, THOMSON SURVEYING, LIMITED, ILLINOIS PROFESSIONAL DESIGN FIRM NUMBER
 184-002768, DO HEREBY DECLARE THAT THE PLAT SHOWN HEREON IS A CORRECT
 REPRESENTATION OF A SURVEY PREPARED AT AND UNDER MY DIRECTION.
 GIVEN UNDER MY HAND AND SEAL THIS 17TH DAY OF
 JUNE, A.D., 2021 AT ROSEMONT, ILLINOIS.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT
 ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.
 DAVID M. SPORINA
 ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3394
 MY LICENSE EXPIRES NOVEMBER 30, 2022
 DESIGN FIRM LICENSE EXPIRES APRIL 30, 2023



INLET PROTECTION NOTES

1. A "MATCH-ALL" INLET BASKET SHALL BE INSTALLED BENEATH THE GRATE ON EACH MANHOLE.
2. EACH MANHOLE SHALL BE ENCLOSED WITHIN A SILT-FENCE FILTER BOX WHICH IS NOT LESS THAN 5.0' BY 5.0' IN SIZE.

NO GRADES HAVE CHANGED FROM THE APPROVED ENGINEERING PLANS PREPARED BY CEMCON LTD.

SURVEYORS NOTES :

1. THIS SURVEY IS SUBJECT TO MATTERS OF TITLE WHICH MAY BE REVEALED BY A CURRENT TITLE REPORT.
2. BUILDING DIMENSIONS AND TIES SHOWN HEREON ARE MEASURED FROM OUTSIDE FACE OF CONCRETE FOUNDATION.
3. AT THE CLIENT'S REQUEST THE PROPERTY CORNERS HAVE NOT BEEN STAKED AT THIS TIME.

GENERAL NOTES :

1. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF.
2. ONLY THOSE BUILDING LINE SETBACKS AND EASEMENTS WHICH ARE SHOWN ON THE RECORDED PLAT OF SUBDIVISIONS ARE SHOWN HEREON. REFER TO THE DEED, TITLE INSURANCE POLICY AND LOCAL ORDINANCES FOR OTHER RESTRICTIONS.
3. COMPARE DEED DESCRIPTION AND SITE CONDITIONS WITH THE DATA GIVEN ON THIS PLAT AND REPORT ANY DISCREPANCIES TO THE SURVEYOR AT ONCE.
4. NO DIMENSIONS SHALL BE DERIVED FROM SCALE MEASUREMENT.
5. ELEVATIONS BASED ON CROSS CUT IN TOP OF CURB ADJACENT TO STREET LIGHT ON SOUTH SIDE OF SOMERSET LANE AT DEER PATH COURT INTERSECTION. ELEVATION=788.11 ± NAVD 88



9575 W. Higgins Road
 Suite 850
 Rosemont, IL 60018
 TEL: (847) 318-9790
 FAX: (847) 318-9792
 wltz@thomsonitd.com

Thomson Surveying Ltd.
 PROJECT NO. 5349H32S DATE: 12-29-20
 © THOMSON SURVEYING, LTD., 2021

MEMORANDUM

TO: The Honorable Mayor and City Council

FROM: Tracy L. Jones, AICP, Staff Planner *TJ*
Joseph E. Tebrugge, PE, Director of Engineering

DATE: February 17, 2026

SUBJECT: ZA #26-03/ Special Use/ 510 Irving Avenue/ Wheaton College

Request

Consideration of a special use permit pursuant to Article 14.1.3 of the Wheaton Zoning Ordinance to allow the construction and use of a one-story addition on the north side and a three-story addition on the south side of the existing Wheaton College Library. A special use permit is required to add an addition to an existing college or university building.

Planning and Zoning Board Recommendation

On Tuesday, January 27, 2026, the Planning and Zoning Board held a public hearing on this application and recommended approval of the special use request, with a 7-0 vote, subject to the condition that the engineering plan shall be subject to further staff review prior to the issuance of a site development permit.

Background

The Wheaton College Library, part of the Wheaton College campus, is situated on the west side of Irving Avenue, between Kenilworth and Union Avenues. The closest residential properties are located at the northeast corner of Irving and Kenilworth Avenues.

Site Plan and Landscaping

A small, one-story addition is proposed on the north side of the existing building. A three-story addition is further proposed on the south side of the existing building, following the demolition of the 1950's portion. The total square footage to be demolished is 26,830 square feet and the total square footage to be added is 28,578 square feet, resulting in a small net increase. The existing library would be fully renovated as part of this project and the existing Wheaton College parking lot to the north of the library will remain unchanged.

The project is fully code compliant with the bulk regulations contained in Article 14.2 of the Wheaton Zoning Ordinance.

New landscaping is planned around the north addition, which includes a shade tree and two types of deciduous shrubs. New landscaping is further planned around the south addition, which includes shade trees, ornamental trees, deciduous shrubs, evergreen shrubs, perennials, ground cover, and ornamental grasses.



WHEATON MAYOR PHILIP J. SUESS

CITY MANAGER MICHAEL DZUGAN

CITY COUNCIL: ERICA BRAY-PARKER | LEAH BRICE | SCOTT BROWN | BRADLEY CLOUSING | LYNN ROBBINS | SCOTT WELLER

Floor Plan and Building Elevations

The one-story addition includes a loading dock and electrical room on Level 1. The three-story addition includes classrooms, group study spaces, and a production space on the Lower Level; classrooms, consultations rooms, and a writing center on Level 1; and a reading room on Level 2. All new mechanical equipment will be fully screened from view.

The building will be clad with a combination of brick and stone veneer. Color elevations were provided at the public hearing that show a mix of red brick and limestone looking stone to complement other Wheaton College buildings, including Edmund Chapel.

Engineering Department Comments

The subject site does not contain a floodplain nor a wetland pursuant to the regulatory maps used for such determinations.

The proposed development triggers the City of Wheaton requirement to provide detention for the project. A preliminary stormwater report has been provided as a part of the planning and zoning submittal, and the proposed development will have all required detention subtracted from the Wheaton College Regional Detention Facility which still has excess storage available for the project.

The proposed development does not appear to meet the trigger to provide a Best Management Practice (BMP) to reduce pollutants in their stormwater discharge.

No traffic report was provided as a part of the submittal. The proposed building addition is not expected to generate any significant vehicular traffic nor affect the adjoining City roadway system. Additionally, no parking is being changed by the project.

The engineering plan shall be subject to further staff review prior to the issuance of a site development permit.

Staff Recommendation

Staff would recommend approval of the attached Ordinance granting the special use permit request, subject to the condition provided by the Board.

ORDINANCE NO. O-2026-

AN ORDINANCE GRANTING A SPECIAL USE PERMIT TO ALLOW THE CONSTRUCTION AND USE OF A ONE-STORY ADDITION ON THE NORTH SIDE AND A THREE-STORY ADDITION ON THE SOUTH SIDE OF THE EXISTING WHEATON COLLEGE LIBRARY, ALL ON A CERTAIN PIECE OF PROPERTY COMMONLY KNOWN AS 510 IRVING AVENUE - WHEATON COLLEGE

WHEREAS, written application has been made requesting a special use permit pursuant to Article 14.1.3 of the Wheaton Zoning Ordinance to allow the construction and use of a one-story addition on the north side and a three-story addition on the south side of the existing Wheaton College Library, all on certain property legally described herein and commonly known as 510 Irving Avenue, Wheaton, Illinois 60187; and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on January 27, 2026, to consider the special use permit; and the Planning and Zoning Board has recommended approval of the special use permit.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: The following described property has been and continues to be zoned and classified in the I-1 Institutional District zoning classification:

PART OF LOTS 38 THROUGH 42, BOTH INCLUSIVE, IN THE COUNTY CLERKS ASSESSMENT DIVISION OF THE NORTH ½ OF THE NORTHEAST ¼ OF SECTION 16, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 4, 1912, AS DOCUMENT NUMBER 109216, IN DUPAGE COUNTY, ILLINOIS, AND ALSO, PART OF LOTS 1 THROUGH 3, BOTH INCLUSIVE, AND LOT 7 IN BLOCK 4 OF ILLINOIS INSTITUTE 2ND ADDITION TO THE TOWN OF WHEATON, BEING A SUBDIVISION OF THE NORTHEAST ¼ OF SECTION 16, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 3, 1857 AS DOCUMENT NUMBER R1857-011972, IN DUPAGE COUNTY, ILLINOIS.

P.I.N.: 05-16-207-007; -008; -009; -017; -018; -019; -020

The subject property is commonly known as 510 Irving Avenue, Wheaton, IL 60187.

Section 2: Pursuant to the Findings of Fact made and determined by the Wheaton Planning and Zoning Board, a special use permit pursuant to Article 14.1.3 of the Wheaton Zoning Ordinance to allow the construction and use of a one-story addition on the north side and a three-story addition on the south side of the existing Wheaton College Library constructed in the 1970's, following the demolition of the 1950's portion, in full compliance with the following plans: "Preliminary Engineering and Landscape Plans for: Wheaton College Library", prepared by WMA, Wheaton, IL, dated September 27, 2024 and revised October 31, 2025, sheets C-2, C-3, C-5, C-4, and L-1 and "Wheaton College Library and Learning Center", prepared by SCB, Chicago, IL, dated September 27, 2024 and revised October 24, 2025, sheets 1-6; and subject to the condition that the engineering plan shall be subject to further staff review prior to the issuance of a site development permit.

Section 3: The demolition of a portion of the Wheaton College Library located at 510 Irving Avenue is hereby authorized by this ordinance. Said demolition shall be carried out in conformance with Wheaton City Code Chapter 22, Article XIV, with the exception that the owner shall not be required to send written notification to the adjacent property owners via certified mail at least 14 days prior to submitting an application for building demolition.

Section 4: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 5: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.

Mayor

ATTEST:

City Clerk

Roll Call Vote:

Ayes:

Nays:

Absent:

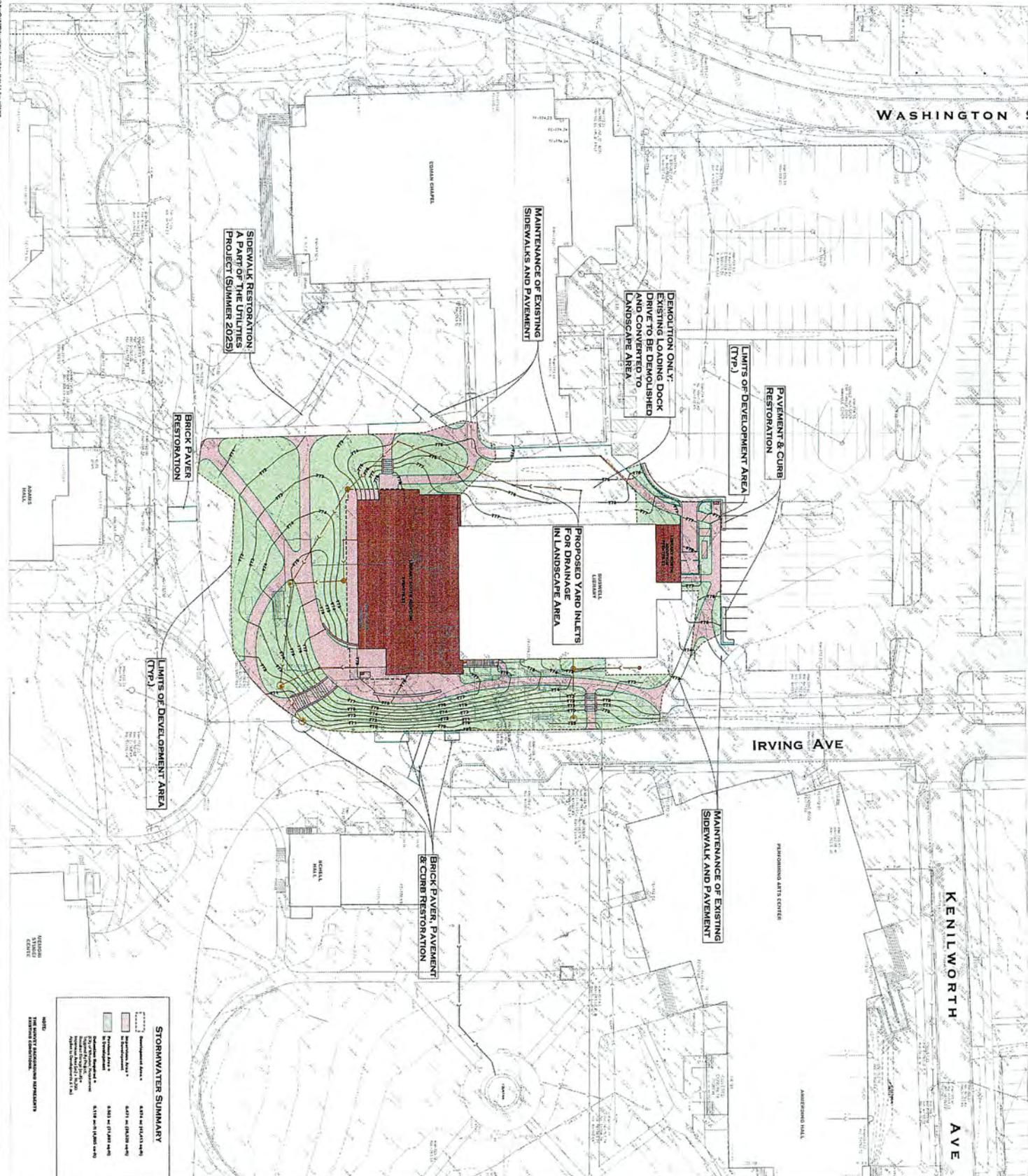
Passed:

Published:

WASHINGTON

IRVING AVE

KENILWORTH AVE



STORMWATER SUMMARY

Category	Area (sq ft)	Runoff Coefficient	Volume (cu ft)
Development Area	4,872	0.40	1,585
Impervious Area	4,872	0.40	1,585
Permeable Area	4,872	0.10	162
Roof Area	4,872	0.90	1,680
Other	4,872	0.10	162
Total	19,392	0.40	7,774

WHEATON COLLEGE LIBRARY

WMA

Wheaton College Library
 518 Irving Avenue
 Wheaton, IL 60187

Wheaton College Library

518 IRVING AVENUE
 WHEATON, ILLINOIS 60187

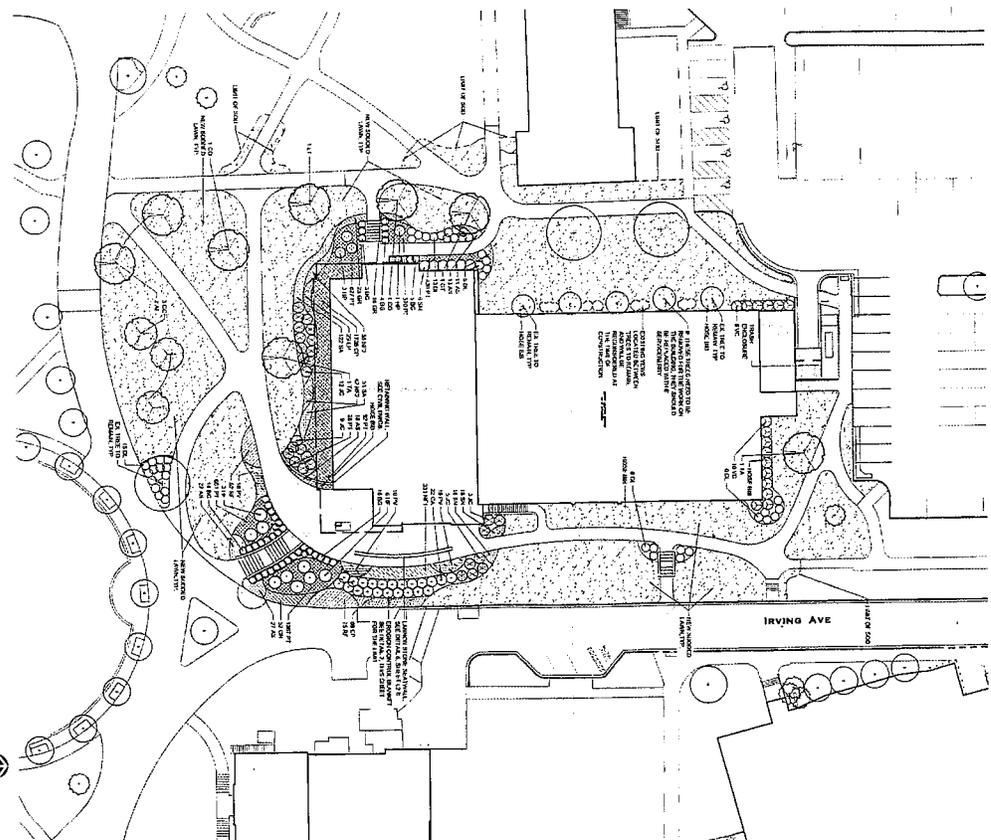
STORMWATER DEVELOPMENT AREA EXHIBIT

Drawn By: [Name]
 Checked By: [Name]

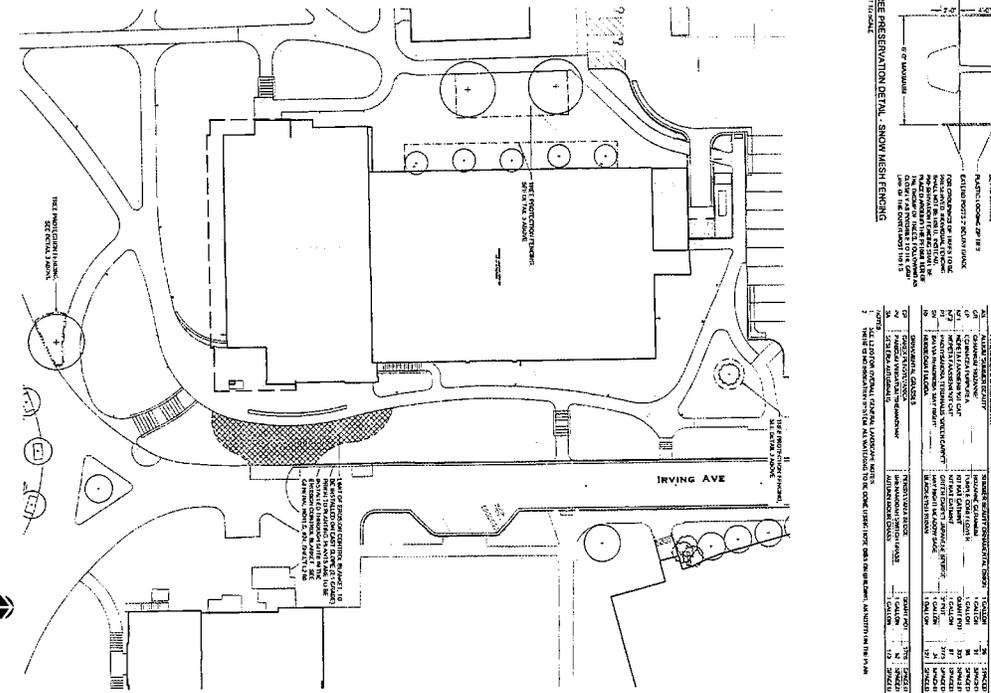
STORMWATER DEVELOPMENT AREA EXHIBIT

518 IRVING AVENUE
 WHEATON, ILLINOIS 60187

Project Number: 230008
 Date: 10/20/2023
 Sheet: C-5



1 PRELIMINARY LANDSCAPE PLAN
SCALE: 1" = 20'



2 TREE PRESERVATION DETAIL - SNOW MESH FENCING
SCALE: 1" = 20'

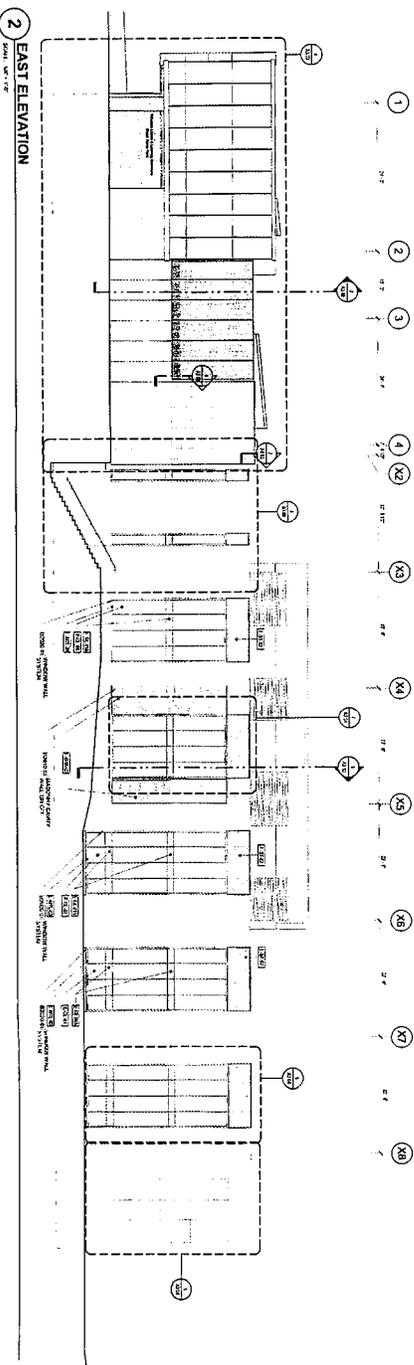
3 TREE PROTECTION FENCING AND EROSION CONTROL EXTENTS
SCALE: 1" = 20'



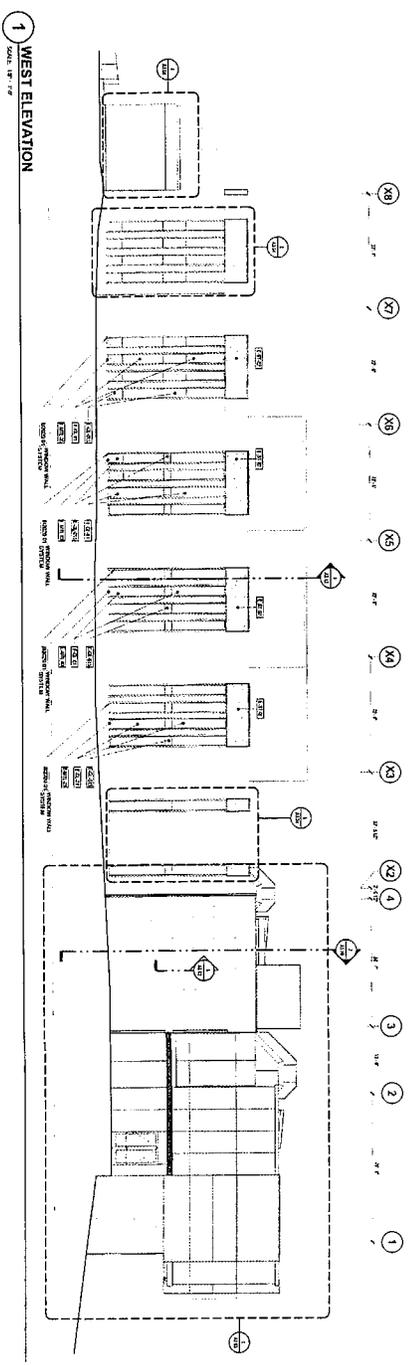
PLANT LIST

NO.	SYMBOL	PLANT NAME	QUANTITY	REMARKS
1	(Symbol)	PLANTING	1	PLANTING
2	(Symbol)	PLANTING	1	PLANTING
3	(Symbol)	PLANTING	1	PLANTING
4	(Symbol)	PLANTING	1	PLANTING
5	(Symbol)	PLANTING	1	PLANTING
6	(Symbol)	PLANTING	1	PLANTING
7	(Symbol)	PLANTING	1	PLANTING
8	(Symbol)	PLANTING	1	PLANTING
9	(Symbol)	PLANTING	1	PLANTING
10	(Symbol)	PLANTING	1	PLANTING
11	(Symbol)	PLANTING	1	PLANTING
12	(Symbol)	PLANTING	1	PLANTING
13	(Symbol)	PLANTING	1	PLANTING
14	(Symbol)	PLANTING	1	PLANTING
15	(Symbol)	PLANTING	1	PLANTING
16	(Symbol)	PLANTING	1	PLANTING
17	(Symbol)	PLANTING	1	PLANTING
18	(Symbol)	PLANTING	1	PLANTING
19	(Symbol)	PLANTING	1	PLANTING
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21	(Symbol)	PLANTING	1	PLANTING
22	(Symbol)	PLANTING	1	PLANTING
23	(Symbol)	PLANTING	1	PLANTING
24	(Symbol)	PLANTING	1	PLANTING
25	(Symbol)	PLANTING	1	PLANTING
26	(Symbol)	PLANTING	1	PLANTING
27	(Symbol)	PLANTING	1	PLANTING
28	(Symbol)	PLANTING	1	PLANTING
29	(Symbol)	PLANTING	1	PLANTING
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47	(Symbol)	PLANTING	1	PLANTING
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49	(Symbol)	PLANTING	1	PLANTING
50	(Symbol)	PLANTING	1	PLANTING

519 IRVING AVENUE
 WHEATON, IL 60187
LANDSCAPE PLAN & TREE PROTECTION
 WHEATON COLLEGE LIBRARY
 Drawing By: [Name]
 Checked By: [Name]
 Project No: 201408
 Scale: L1



- 1.00' = 1" = 1/8"
- 2.00' = 1" = 1/4"
- 3.00' = 1" = 3/8"
- 4.00' = 1" = 1/2"
- 5.00' = 1" = 5/8"
- 6.00' = 1" = 3/4"
- 7.00' = 1" = 7/8"
- 8.00' = 1" = 1"
- 9.00' = 1" = 1 1/8"
- 10.00' = 1" = 1 1/4"
- 11.00' = 1" = 1 1/2"
- 12.00' = 1" = 1 3/4"
- 13.00' = 1" = 1 7/8"
- 14.00' = 1" = 1 7/8"
- 15.00' = 1" = 2"
- 16.00' = 1" = 2 1/8"
- 17.00' = 1" = 2 1/4"
- 18.00' = 1" = 2 1/2"
- 19.00' = 1" = 2 3/4"
- 20.00' = 1" = 2"



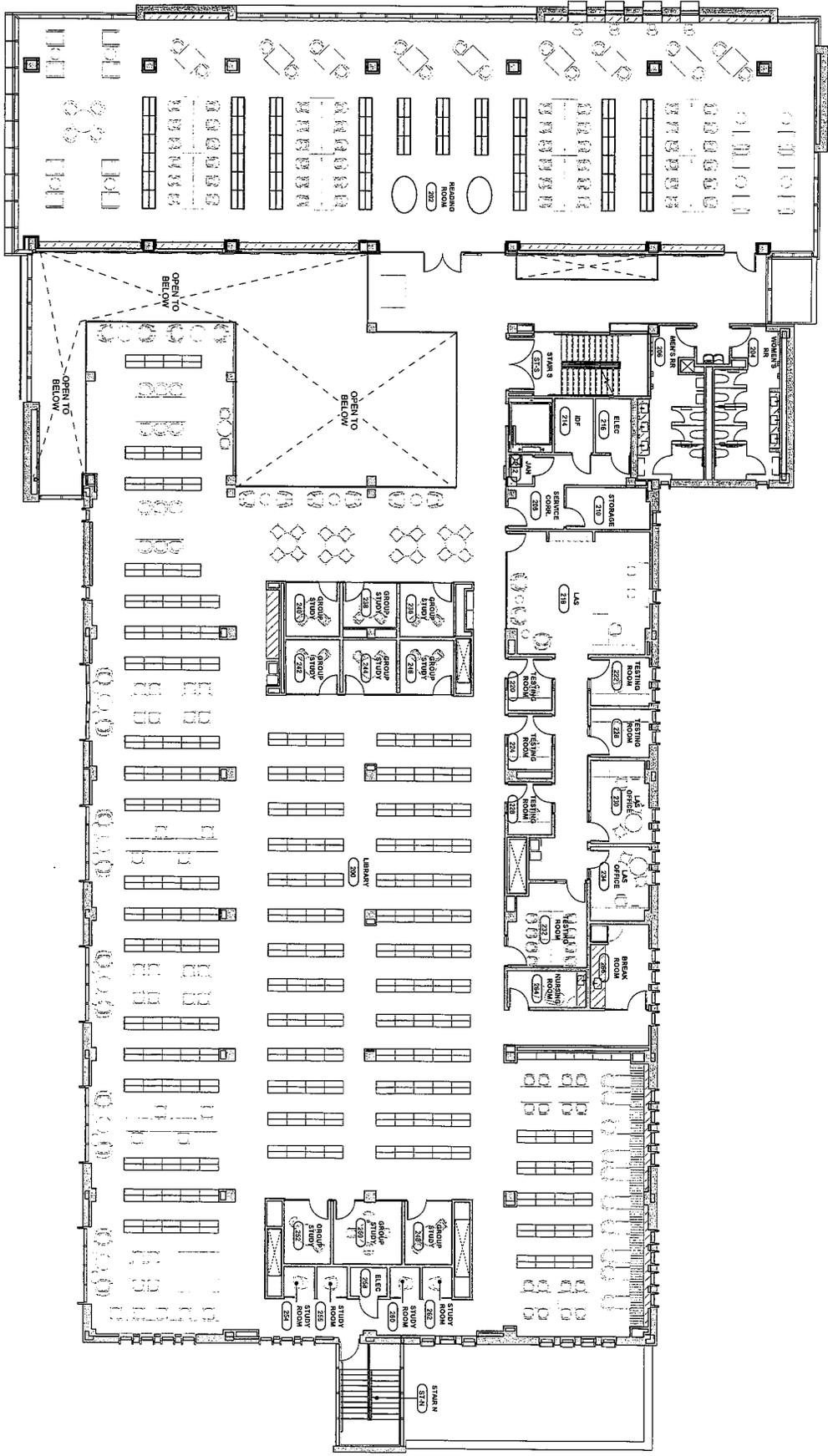
- 1.00' = 1" = 1/8"
- 2.00' = 1" = 1/4"
- 3.00' = 1" = 3/8"
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- 5.00' = 1" = 5/8"
- 6.00' = 1" = 3/4"
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- 8.00' = 1" = 1"
- 9.00' = 1" = 1 1/8"
- 10.00' = 1" = 1 1/4"
- 11.00' = 1" = 1 1/2"
- 12.00' = 1" = 1 3/4"
- 13.00' = 1" = 1 7/8"
- 14.00' = 1" = 1 7/8"
- 15.00' = 1" = 2"
- 16.00' = 1" = 2 1/8"
- 17.00' = 1" = 2 1/4"
- 18.00' = 1" = 2 1/2"
- 19.00' = 1" = 2 3/4"
- 20.00' = 1" = 2"

WHEATON COLLEGE LIBRARY & LEARNING COMMONS
 500 BROWN AVENUE
 WHEATON, ILL. 60187
BUILDING ELEVATIONS

Prepared by: **CHAMBERLAIN**
 Project: **WHEATON COLLEGE LIBRARY & LEARNING COMMONS**
 Date: **1/15/11**

Scale: **1/8" = 1'-0"**

Level 02



View Looking West- From Quad



Exterior- Western Exit



Exterior- Southwest corner



**REPORT OF THE WHEATON PLANNING & ZONING BOARD
TO THE
MAYOR OF WHEATON AND CITY COUNCIL**

ZA #26-03/ Special Use Permit/ 510 Irving Avenue/ Wheaton College

Pursuant to notice duly published on January 9, 2026, and letters mailed to neighboring property owners on January 7, 2026, Chair Aranas called to order the January 27, 2026 public hearing requesting a special use permit pursuant to Article 14.1.3 of the Wheaton Zoning Ordinance to allow the construction and use of a one-story addition on the north side and a three-story addition on the south side of the existing Wheaton College Library constructed in the 1970's, following the demolition of the 1950's portion, located at 510 Irving Avenue.

Jay Bieszke, 501 College Avenue, Wheaton was sworn in. Mr. Bieszke stated that he was the Director of Facilities for Wheaton College. He stated that a small, one-story addition is proposed on the north side of the existing building. A three-story addition is further proposed on the south side of the existing building, following the demolition of the 1950's portion. The total square footage to be demolished is 26,830 square feet and the total square footage to be added is 28,578 square feet, resulting in a small net increase. The existing library would be fully renovated as part of this project and the existing Wheaton College parking lot to the north of the library will remain unchanged.

Mr. Bieszke stated that the project is fully code compliant with the bulk regulations contained in Article 14.2 of the Wheaton Zoning Ordinance. All new mechanical equipment will be fully screened from view. A new loading dock, which is part of the one-story addition on the north side of the building, will also be fully screened from view and moved closer to the truck access points, reducing truck back-up noise.

Mr. Bieszke stated that new landscaping is planned around the north addition, which includes a shade tree and two types of deciduous shrubs. New landscaping is further planned around the south addition, which includes shade trees, ornamental trees, deciduous shrubs, evergreen shrubs, perennials, ground cover, and ornamental grasses.

Mr. Bieszke stated that the one-story addition includes a loading dock and electrical room on Level 1. The three-story addition includes classrooms, group study spaces, and a production space on the Lower Level; classrooms, consultations rooms, and a writing center on Level 1; and a reading room on Level 2.

Mr. Bieszke stated that the building will be clad with a combination of brick and stone veneer. Color elevations were provided at the public hearing that show a mix of red brick and limestone looking stone to complement other Wheaton College buildings, including Edmund Chapel.

The Board questioned whether the project met the City's detention requirements.

Director Tebrugge stated that the proposed development triggers the City of Wheaton requirement to provide detention for the project. A preliminary stormwater report has been provided as a part of the planning and zoning submittal, and the proposed development will have all required detention subtracted from the Wheaton College Regional Detention Facility which still has excess storage available for the project.

Jan Jones, 425 E. Jefferson Avenue, Wheaton was sworn in. Ms. Jones stated that she was representing the single-family neighbors to the north of the library. She stated that they are supportive of the library addition

and renovation, but they would like to see additional landscaping on the northern edge of the Edmund Chapel parking lot even though it's out of the project area.

Mr. Bieszke stated that they want to be a good neighbor and they would install additional landscaping on the northern edge of the Edmund Chapel parking lot, even though it's out of the project area.

Mr. Dabovich moved and then Mr. Gudmundson seconded the motion to close the public hearing. On a voice vote, all voted aye.

Mr. Plunkett moved and then Ms. Horejs second the motion to waive their regular rules and vote tonight. On a voice vote, all voted aye.

Recommendation

Mr. Plunkett moved and then Mr. Gudmunson seconded the motion to recommend approval of ZA # 26-03, requesting a special use permit pursuant to Article 14.1.3 of the Wheaton Zoning Ordinance to allow the construction and use of a one-story addition on the north side and a three-story addition on the south side of the existing Wheaton College Library constructed in the 1970's, following the demolition of the 1950's portion, subject to the condition that the preliminary engineering plan shall be subject to further staff review prior to the issuance of a site development permit.

	<u>Roll Call Vote</u>
Ayes:	Nicole Aranas Ben Blume Chris Dabovich Bob Gudmundson Cecilia Horejs Mark Plunkett Philip Spittler

Nays:	None
-------	------

Absent:	None
---------	------

Motion Unanimously Passed

Nicole Aranas, Chair
Wheaton Planning and Zoning Board

Findings of Fact

1. The Board unanimously finds that the establishment, maintenance, and operation of the special use would not be detrimental to the public health, safety, morals, comfort, convenience, and general welfare.
2. The Board unanimously finds that the special use would not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, and not substantially diminish property values within the neighborhood.
3. The Board unanimously finds that the establishment of the special use would not impede the normal and orderly development and improvement of the surrounding property for uses already permitted.

4. The Board unanimously finds that adequate utilities, access ways, drainage, and other necessary facilities would be provided.
5. The Board unanimously finds that adequate measures would be taken to provide ingress and egress designed to minimize traffic congestion in the public streets.
6. The Board unanimously finds that the special use would comply with the objectives of the Wheaton Comprehensive Plan.
7. The Board unanimously finds that the special use would conform to the applicable requirements of the district in which it is located as well as any other applicable requirements of this ordinance.

January 27, 2026

Wheaton Planning and Zoning Board
303 West Wesley Street
Wheaton, IL 60187

RE: ZA #26-03/ Special Use/ 510 Irving Avenue/ Wheaton College

Dear Members of the Board:

Attached to this memorandum is an application requesting a special use permit pursuant to Article 14.1.3 of the Wheaton Zoning Ordinance to allow the construction and use of a one-story addition on the north side and a three-story addition on the south side of the existing Wheaton College Library constructed in the 1970's, following the demolition of the 1950's portion, located at 510 Irving Avenue.

The application has been submitted by the property owner, Wheaton College, 501 College Avenue, Wheaton, IL 60187.

Zoning Analysis

Proposal: An application requesting a special use permit to Article 14.1.3 of the Wheaton Zoning Ordinance to allow the construction and use of a one-story addition on the north side and a three-story addition on the south side of the existing Wheaton College Library constructed in the 1970's, following the demolition of the 1950's portion, located at 510 Irving Avenue.

Applicant: The application has been submitted by the property owner, Wheaton College, 501 College Avenue, Wheaton, IL 60187.

Subject Property: 510 Irving Avenue, Wheaton, IL 60187

Zoning Classification: I-1 Institutional District

Surrounding Conditions: North: Wheaton College Properties/I-1 Institutional District
East: Wheaton College Properties/I-1 Institutional District
South: Wheaton College Properties/I-1 Institutional District
West: Wheaton College Properties/I-1 Institutional District

WHEATON MAYOR PHILIP J. SUESS



CITY MANAGER MICHAEL DZUGAN

Planning Department Comments

Background

The Wheaton College Library, part of the Wheaton College campus, is situated on the west side of Irving Avenue, between Kenilworth and Union Avenues. The closest residential properties are located at the northeast corner of Irving and Kenilworth Avenues.

Site Plan and Landscaping

A small, one-story addition is proposed on the north side of the existing building. A three-story addition is further proposed on the south side of the existing building, following the demolition of the 1950's portion. The total square footage to be demolished is 26,830 square feet and the total square footage to be added is 28,578 square feet, resulting in a small net increase. The existing library would be fully renovated as part of this project and the existing Wheaton College parking lot to the north of the library will remain unchanged.

The project is fully code compliant with the bulk regulations contained in Article 14.2 of the Wheaton Zoning Ordinance. All new mechanical equipment will be fully screened from view. A new loading dock, which is part of the one-story addition on the north side of the building, will also be fully screened from view and moved closer to the truck access points, reducing truck back-up noise.

New landscaping is planned around the north addition, which includes a shade tree and two types of deciduous shrubs. New landscaping is further planned around the south addition, which includes shade trees, ornamental trees, deciduous shrubs, evergreen shrubs, perennials, ground cover, and ornamental grasses.

Floor Plan and Building Elevations

The one-story addition includes a loading dock and electrical room on Level 1. The three-story addition includes classrooms, group study spaces, and a production space on the Lower Level; classrooms, consultations rooms, and a writing center on Level 1; and a reading room on Level 2.

Per the building elevations, the building will be clad with a combination of stone veneer and composite metal panels. However, no color elevations have been provided. At the public hearing, the applicant shall provide a building elevation showing the proposed colors and materials selections.

Special Use Permit

A special use permit is required to add an addition to an existing College or University building. According to Article 5.10D of the Wheaton Zoning Ordinance, the applicant must provide sufficient evidence at the public hearing that the following special use permit will be met:

1. The establishment, maintenance, or operation of the special use shall not be detrimental to the public health, safety, morals, comfort, convenience, and general welfare.
2. The special use shall not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, not substantially diminish property values within the neighborhood.

3. The establishment of the special use shall not impede the normal and orderly development and improvement of the surrounding property for uses already permitted.
4. Adequate utilities, access ways, drainage, and other necessary facilities shall be provided.
5. Adequate measures shall be taken to provide ingress and egress designed to minimize traffic congestion in the public streets.
6. The special use shall comply with the objectives of the Wheaton Comprehensive Plan.
7. The special use shall conform to the applicable requirements of the district in which it is located as well as any other applicable requirements of this ordinance, except as many be varied by the Planning and Zoning Board or City Council.

Engineering Department Comments

The subject site does not contain a floodplain nor a wetland pursuant to the regulatory maps used for such determinations.

The proposed development triggers the City of Wheaton requirement to provide detention for the project. A preliminary stormwater report has been provided as a part of the planning and zoning submittal, and the proposed development will have all required detention subtracted from the Wheaton College Regional Detention Facility which still has excess storage available for the project.

The proposed development does not appear to meet the trigger to provide a Best Management Practice (BMP) to reduce pollutants in their stormwater discharge.

No traffic report was provided as a part of the submittal. The proposed building addition is not expected to generate any significant vehicular traffic nor affect the adjoining City roadway system. Additionally, no parking is being changed by the project.

The preliminary engineering plan shall be subject to further staff review prior to the issuance of a site development permit.

Staff Recommendation

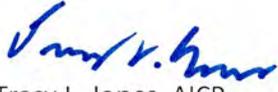
Provided that the applicant sufficiently addresses the special use standards at the public hearing, staff is supportive of granting the special use request, subject to the following conditions:

1. The applicant shall provide a building elevation showing the proposed colors and materials selections at the public hearing; and
2. The preliminary engineering plan shall be subject to further staff review prior to the issuance of a site development permit.

Respectfully submitted,



Joseph E. Tebrugge, PE
Director of Engineering

A handwritten signature in blue ink, appearing to read "Tracy L. Jones".

Tracy L. Jones, AICP
Staff Planner

Attachments

Wheaton College Library Renovation & Addition

Scope Narrative

November 21st, 2025

Wheaton College proposes a renovation and addition to the existing Library building located at 510 Irving Avenue. Construction is anticipated to begin in the spring of 2027 thru the summer of 2028. Representatives from Wheaton College, architect of record SCB, and officials from the City of Wheaton Building Department have met on several occasions over the last year to discuss this project. As part of regular efforts to keep neighbors informed of campus projects, a letter from the College to neighbors within proximity to the extents of the site of the project was sent out for awareness in October of 2025, in addition to the communication that will come as part of this Special Use Permit process. The College Trustees recently provided preliminary approval for construction to start in the spring of 2027. Wheaton College requests that the ordinance extends the Special Use Permit approval until the summer of 2027 to align with the anticipated start of construction.

Project Overview

The existing Wheaton College Library consists of two connected buildings. This includes the south building from the 1950's referred to as the Nicholas Building and a north building constructed in the 1970's previously referred to as the Buswell Building. The intent of this project is to demolish the original 1950's south building and replace it with a newly constructed addition. The new addition would connect directly to the remaining north building which would be fully renovated as part of the construction. The resulting new Library will be more energy efficient with an improved exterior envelope and new mechanical, electrical, and plumbing systems. The new layout and aligned connection between the addition and renovated area will greatly improve the accessibility within the building and the site has been designed to improve access. The primary intent of this project is to create a building with capacity and efficiency to hold our library collection and allow for growth, while serving students better with improved access to library services, a variety of study spaces, and modern classroom spaces.

Exterior Design and Site

The exterior design of the building addition applies materials that are consistently used throughout the campus in a conservatively modern expression. The gross square footage of the whole project is nearly the same as the existing buildings (± 700 SF), minimizing impacts to stormwater, and neighboring property. Improvements include removing the loading dock on the far West side of the building and relocating it to the North, which minimizes the distance that trucks need to back up to get to the dock and allows for green space and future pedestrian gateway where the drive currently exists. There is no intent to change the College-owned portion of Irving Avenue at this time, but it will be affected by utility connections during construction.

Application Comments

Item 10: Wheaton College has reviewed this project with the Planning department and confirmed that PACE coordination is not required for this project.

Item 11: A demolition Permit Application will be submitted at the appropriate time per the intended construction schedule described above.

Item 13: This project spans multiple parcels. Separately, Wheaton College intends to pursue consolidation of multiple parcels including those affected by this project and has reviewed this with the Director of Engineering.

Item 18: Traffic Report is not required for this project per the Director of Engineering. Access to public roads will not be affected by this project.

Compliance with Article 5.10.D of the Zoning Ordinance

1. *The establishment, maintenance, or operation of the special use shall not be detrimental to the public health, safety, morals, comfort, convenience, and general welfare;*
 - i. This project will improve building access, infrastructure, and energy efficiency without negatively impacting the neighboring campus or residential neighborhood.
2. *The special use shall not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, not substantially diminish property values within the neighborhood;*
 - i. The nearest neighboring private properties are to the North of the extents of the project. The proposal is adhering to all required building and landscape setbacks, all mechanical equipment will be screened from view, and the dock/trash area will be screened and moved closer to the truck access points reducing back-up noise.
3. *The establishment of a special use shall not impede the normal and orderly development and improvement of the surrounding property for uses already permitted;*
 - i. The proposed use is consistent with the zoning direction the city has planned for the immediate neighborhood and will not impede future development or improvement.
4. *Adequate utilities, access ways, drainage, and other necessary facilities shall be provided;*
 - i. All of these systems will be provided in compliance with the City requirements. The new building will connect to nearby public utilities. The storm water storage needs of the project are provided for by existing capacity in the College's regional storm water basin.
5. *Adequate measures shall be taken to provide ingress and egress designed to minimize traffic congestion in the public streets;*
 - i. The project has no alterations to public streets, and existing ingress and egress into the parking lot to the north will be unchanged.
6. *The proposed use shall comply with the objectives of the Wheaton Comprehensive Plan;*

- i. The I-1 zoning will not change for this development. Consistent with the Comprehensive Plan (p. 59), "The campus is located within an I-1 Institutional zoning district, with boundaries configured to accommodate the College's current facilities and potential expansion into adjacent areas." The College has held a meeting for neighbors near this project to review the plans and to listen to their comments and concerns, as well as reviewed the project with City Officials.

- 7. *The special use shall conform to the applicable requirements of the district in which it is located, as well as any other applicable requirements of this ordinance, except as may be varied by the Board or City Council.*
 - i. The design of the proposed Library renovation and addition is intended to blend well with the existing character of the Wheaton College campus. There are no zoning variances requested for this application.

MEMORANDUM

TO: The Honorable Mayor and City Council

FROM: Tracy L. Jones, AICP, Staff Planner *TJ*
Joseph E. Tebrugge, PE, Director of Engineering

DATE: February 17, 2026

SUBJECT: **ZA #26-04/ PUD Amendment and Special Use/ Rice Lake Square Shopping Center/ Seven Brew**

Request

Consideration of a request for a PUD Amendment to allow the construction and use of a one-story, 900 square foot coffee stand on a leased parcel of land in the Rice Lake Square Shopping Center parking lot between the former Houlihan's restaurant (at 321 Rice Lake Square) and Studio Movie Grill (at 301 Rice Lake Square). The property is zoned C-5 Planned Commercial District.

The applicant is further requesting a special use permit to Article 20.3 of the Wheaton Zoning Ordinance to allow sales or service directly to customers in vehicles.

Planning and Zoning Board Recommendation

On Tuesday, January 27, 2026, the Planning and Zoning Board held a public hearing on this application and recommended approval of the PUD Amendment and special use request, with a 6-1 vote, subject to the following conditions:

1. The building parapet wall shall be raised to fully screen the rooftop mechanical units;
2. No queueing from the subject property shall be allowed to occur onto the East Loop Road right-of-way and all queueing must be contained on-site at the subject property. Staff shall be provided by the applicant during all hours of operation to monitor the queue, direct traffic as needed in the shopping center, and manage the queueing throughout the shopping center parking lot to prevent the queue from extending onto East Loop Road at either the entrance north or south of the proposed development;
3. The preliminary engineering plan shall be subject to further staff review prior to the issuance of a site development permit;
4. The dual drive-thru lanes shall be reduced to one lane at the exit to minimize traffic congestion; and
5. Additional landscaping shall be added to the north and west sides of the site.

The dissenting Board member had concerns with how the proposed traffic from Seven Brew would impact Studio Movie Grill.

Public comments were received through email and testimony at the public hearing. All the residents that provided public comment were afraid the proposed Seven Brew would cause traffic congestion on the site and in the surrounding area.



WHEATON MAYOR PHILIP J. SUESS

CITY MANAGER MICHAEL DZUGAN

CITY COUNCIL: ERICA BRAY-PARKER | LEAH BRICE | SCOTT BROWN | BRADLEY CLOUSING | LYNN ROBBINS | SCOTT WELLER

Background

Seven Brew was founded in Rogers, AR in 2017 and has more than 500 coffee stands nationwide. The store specializes in espresso-based drinks, chillers, teas, infused energy drinks, sodas and smoothies. Seven Brew is a drive-thru concept with a dual drive-thru configuration. The closest existing Seven Brew is located at 1203 Iroquois Avenue in Naperville.

The hours of operation are 5:30 a.m. to 10 p.m. weekdays and 5:30 a.m. to 11 p.m. weekends. Seven Brew operates with up to 5 employees at peak times. On average, each stand generates 750 orders per day, serving an estimated 1,125 customers daily.

Site Plan and Landscaping

The applicant is proposing to lease a parcel of land in the shopping center parking lot between the former Houlihan's restaurant (at 321 Rice Lake Square) and Studio Movie Grill (at 301 Rice Lake Square). The site plan shows dual drive-thru lanes, operating in a counterclockwise direction, that wrap around the building. The site has been designed to accommodate stacking for 44 vehicles on-site. Parking of 14 spaces, including one ADA space, is proposed just west of the building. Sixty (60) shopping center parking spaces would be sacrificed for this development. However, if this request is approved, the parking for the shopping center would still be compliant with six spaces per 1,000 sf of space. A dumpster enclosure is proposed on the north edge of the leased parcel.

New landscaping is planned along the west side of East Loop Road, around the proposed dumpster enclosure, on the east side of the building and along the exit drive from the leased parcel to the shopping center parking lot. The plan includes a mix of canopy and ornamental trees, deciduous and evergreen shrubs, perennials and ornamental grasses.

Floor Plan and Building Elevations

The building is designed with a covered employee entry in the middle of the structure with an access hall, service area, and bathroom to the south and a storage area and cooler to the north.

Per the building elevations, the building will be clad with fiber cement brick panel siding with finishes of shale brown and midnight. The building elevations also show blue metal panels and zinc grey metal coping trim. Two roof-top mechanical units are proposed. The building elevations show the units being screened by a metal screening panel in zinc grey. Article 3.4C.2 of the Wheaton Zoning Ordinance requires that any such units are fully screened by a building parapet wall equal in height to the units.

Engineering Department Comments

The subject site does not contain a floodplain or a wetland pursuant to the regulatory maps used for such determinations.

The proposed project is located in a current stormwater detention area and is displacing existing stormwater detention volume with the proposed construction. This stormwater detention volume is required to be compensated for, and it is proposed to be provided for in the proposed underground storage system. The proposed development also triggers the City of Wheaton requirement to provide detention for the project. The additional detention required for the project is also located in the proposed underground storage system.

The proposed development does not meet the trigger to provide a Best Management Practice (BMP) to reduce pollutants in their stormwater discharge.

The preliminary engineering plan shall be subject to further staff review prior to the issuance of a site development permit.

Traffic

The proposed development has provided a traffic report for the development by KLOA, Inc titled "Traffic Impact Study - Proposed 7 Brew Coffee Shop". The proposed use of a Coffee Shop is one of, if not the highest driver of traffic queueing and congestion issues possible. The existing Seven Brew locations in Lake Zurich and Naperville are very busy locations. The location in Naperville, for example, has an on-site queue of only 23 vehicles provided, but the queue line based on traffic observations by KLOA in March and May of 2025 showed a maximum queue of 71 vehicles, which stretches down the adjoining side street and at times onto the adjoining major roadway. It should be noted that the time period that this queue length was observed does directly correlate to the same time period when there was only a total of 4 Chicagoland stores open. Since that time, three additional Chicagoland stores are now open and the maximum observed queue at the Naperville store has decreased to 55 vehicles per a KLOA report dated December of 2025. Seven Brew has continued their roll out into the Chicagoland market and have proposed additional locations which would decrease the pull into the proposed Wheaton location (See attached map of open locations, locations under construction, locations in permitting, and locations proposed but not through zoning). The nearest store that would affect this is a Bloomingdale location which is already under construction and expected to open in early March of 2026. A second store in Bloomingdale has also already made it through all zoning applications and is now in final permitting.

Throughout the pre-application process and the development of this Zoning Application, the applicant has listened to Staff concerns and has improved the proposed plan to currently show an available queueing "on-site" of 44 vehicles. The provided traffic report states that when the market stabilizes, it is estimated that the total queue at the Wheaton location will be a peak of 33 to 35 vehicles. Current Staff concern relates to the fact that there is no definitive timeline as to when the market could stabilize. Additionally, while there is large availability to queue vehicles throughout the existing shopping center parking lot, the question remains as to whether onsite staff will be able to manage a large queueing event and keep the queue off the adjoining East Loop Road. Any queueing on East Loop Road would significantly disrupt traffic flow and is deemed unacceptable by City Staff.

In order to safeguard against any queueing on East Loop Road during a high queue event, the applicant has provided a Drive Through Traffic Exhibit which routes traffic through the shopping center parking lot and provides an approximate additional queueing for 46 vehicles above the "on-site" queue of 44 vehicles. If managed by on-site Staff, the maximum available queue provided would be 90 vehicles, which is above the maximum observed at the Naperville store in the KLOA Traffic Impact Study for the proposed 7 Brew Coffee Shop.

Based on the Traffic Reports provided and the Drive Through Traffic Exhibit, Staff believes that while there is the possibility of traffic congestion problems due to the new Seven Brew location in the Rice

Lake Square Shopping Center, adequate provisions have been made to safeguard against problems. However, Engineering Staff recommends and the Board concurs with the addition of the following condition:

“No vehicles from the subject property may queue onto the East Loop Road right-of-way at either the entrance north or south of the proposed development. The applicant will implement the Drive-Thru Overflow Plan, attached hereto and made a part hereof, whenever queueing exceeds the established thresholds. If queueing extends onto East Loop Road and the City incurs costs to clear the backup, the applicant will be responsible for all fines, fees, and direct costs incurred by the City.”

Staff Recommendation

The applicant submitted a “Drive Thru Overflow Plan” as part of the application. Staff recommends revising the plan as part of the City Council’s consideration of the authorizing ordinance. The revised plan should use a clear, tiered structure that outlines specific actions tied to defined queueing thresholds. For example, once the 44-vehicle queue shown in the current plan is exceeded, the plan should identify the steps to accommodate an additional 15 vehicles. If that additional 15-vehicle capacity is exceeded, the plan should then outline how to manage 10 more vehicles. The updated plan should also provide clear, step-by-step instructions for on-site staff, including when and where to place cones or other traffic control devices to establish and manage the approved queuing configuration. The staff recommends the City Council direct the city attorney to prepare an ordinance approving the PUD Amendment and Special Use subject to the recommendations above.

Re: Public Comment Regarding Proposed 7 Brew

From Tracy Jones <TJones@wheaton.il.us>

Date Tue 1/20/2026 7:54 AM

To ~~David Schmitzler <schmitzler.david@gmail.com>~~; Jim Kozik <JKozik@wheaton.il.us>; _Planning Department <Planning@wheaton.il.us>

I'm in receipt of your email and will forward it to the planning and zoning board.

Tracy L. Jones, AICP

Staff Planner

City of Wheaton

www.wheaton.il.us

630.260.2080 desk

From: ~~David Schmitzler <schmitzler.david@gmail.com>~~

Sent: Monday, January 19, 2026 4:56 PM

To: Jim Kozik <JKozik@wheaton.il.us>; Tracy Jones <TJones@wheaton.il.us>; _Planning Department <Planning@wheaton.il.us>

Subject: Public Comment Regarding Proposed 7 Brew

You don't often get email from ~~schmitzler.david@gmail.com~~. [Learn why this is important](#)

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Dear Wheaton Zoning Board,

Please accept this email in lieu of my attendance at the upcoming meeting on January 27. I am unable to attend but am deeply concerned about the proposed 7 Brew placement at Studio Movie Grill parking lot. As a frequent customer of Costco in NE Naperville I regularly see the line of cars spilling out of 7 Brew onto the street. This has continued well past the grand opening and is indiscriminate of day or time. Similar spillage onto Loop could create serious safety issues and congestion.

The South segment of East Loop Road is already challenging:

- 1) When turning onto it from Butterfield, cars will often make prohibited left turns into the Shell; if they do not have clearance due to cars heading south waiting to turn onto Butterfield some will sometimes stop and wait, creating a backlog that can spill momentarily onto Butterfield.
- 2) Chick-Fil-A attracts significant traffic and cars exiting onto Loop often have difficulty turning left, particularly during periods of heavy traffic. Some pull out dangerously.

Adding the additional traffic from 7 Brew would exacerbate both of these challenges and create additional safety issues. Further, I am not sure the stoplight intersection at East Loop/Butterfield could support the additional traffic:

- 1) It is already nearly impossible to turn right onto Butterfield on red since both lanes can turn left.
- 2) During periods of heavy traffic cars waiting to turn onto Butterfield already stretches to the former Houlihan's.

As a resident of Jahns Drive I know that the Wheaton Fire Department Station #2 regularly uses the Danada East neighborhood to cut across. Cars spilling from 7 Brew onto Loop or worse Jahns could create a public safety risk from delayed response times. The nearby Danada East neighborhood has many children (so many in fact that there are two buses for the elementary school) and speeding is already a concern here. The one mile Hawkins Circle loop attracts walkers living at Danada East, TGM Danada Apartments, as well as two other neighborhoods that have easy access via a sidewalk (but no street) attaching to Danada East. Similar to the fire department, cars will often use Danada East to cut across to South Loop if driving down Blanchard.

While I welcome business in South Wheaton, I respectfully ask that the zoning board seriously consider how traffic from the proposed 7 Brew would impact safety and livability of the nearby community. If the Naperville location is any indication it would be naive to believe that cars waiting would be limited to a designated area in their parking lot.

Thank you,

--

David Schnitzler

Traffic and Public Safety Concerns Regarding Proposed 7 Brew Location on Loop Road

From Jeff Townsend <jeff.townsend@me.com>
Date Wed 1/14/2026 9:42 PM
To Tracy Jones <TJones@wheaton.il.us>
Cc _City Council <_CityCouncil@wheaton.il.us>

[You don't often get email from jeff.townsend@me.com. Learn why this is important at <https://aka.ms/LearnAboutSenderIdentification>]

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Dear Members of the Wheaton Planning and Zoning Board,

I am writing to express my concerns regarding the proposed 7 Brew Coffee location on the west side of Loop Road, in the Studio Movie Grill parking lot.

I want to begin by saying that I am always supportive of new businesses coming into Wheaton and appreciate efforts to promote economic growth in our community. However, the 7 Brew concept brings with it extreme traffic concerns that I believe warrant serious consideration before approval.

The existing 7 Brew location in Naperville, across from Costco, has experienced significant traffic congestion. At times, the drive-through line has stretched long enough to result in waits of up to 90 minutes. This level of traffic volume raises red flags when considering a similar use in a much more constrained and sensitive area like Loop Road.

Loop Road currently serves as a key cut-through to Butterfield Road for the Wheaton Fire Department and other emergency responders. If traffic from a 7 Brew drive-through were to back up onto Loop Road, it could negatively impact emergency response times and pose a public safety risk.

Additionally, the proposed site is directly across the street from Chick-fil-A, a location that is already heavily trafficked, particularly by teenagers. Introducing a 7 Brew directly across from this site would only multiply congestion in an area that is already under strain during peak hours.

Taken together — the documented traffic patterns at other 7 Brew locations, the importance of Loop Road for emergency access, and the existing congestion created by nearby businesses — I am very concerned that this proposal could create ongoing traffic and safety issues for residents, businesses, and first responders.

I respectfully ask the Board to carefully evaluate these concerns as part of your review process. Thank you for your time and for your continued service to the City of Wheaton.

Sincerely,

RE: 7 Brews proposal 900 feet from our New Coffee Shop . Traffic will be a issue

From Jesse Moffitt <jesse@summermoon.com>

Date Thu 1/22/2026 7:32 PM

To Tracy Jones <TJones@wheaton.il.us>

Cc Emily Moffitt <emily@summermoon.com>; Joseph Tebrugge <JTebrugge@wheaton.il.us>; Geoff Gerbasi <ggerbasi@glazen.com>; Sean O'Grady <sogrady@glazen.com>; Jason Sorce <jason.sorce@peakgroupplc.com>

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Tracy,

Thanks. We would just like the community to know that a Great Coffee Shop is already in the works just 900 feet away. It is a proven model that has great customer reviews winning Best of The Fox year after year in Crystal Lake IL and consistently achieves 4.8 or higher stars on Google. (Not many shops ever achieve this)



Summer Moon Coffee

4.8 ★★★★★ 568 Google reviews

\$1–10 · Coffee shop

If that can be shared during tonight's meeting that is all we ask. The Traffic snarls that I believe will happen in the Rice Lake / Danada East centers will be inconvenient for the community in my opinion but will not directly affect our store. Consumers will have the choice of what they want.

Appreciate your time.

Jesse



Jesse Moffitt
Store Owner

Crystal Lake and Wheaton IL
331.698.2817

From: Tracy Jones <TJones@wheaton.il.us>
Sent: Wednesday, January 14, 2026 8:43 AM
To: Jesse Moffitt <jmoffitt@summermoon.com>
Cc: Emily Moffitt <emily@summermoon.com>; Joseph Tebrugge <JTebrugge@wheaton.il.us>; Geoff Gerbasi <gerbasi@glacermoon.com>; Sean O'Grady <seagrady@glacermoon.com>; Jason Sorce <jason.sorce@psakgroupllc.com>
Subject: Re: 7 Brews proposal 900 feet from our New Coffee Shop . Traffic will be a issue

Hi Jesse -

When I draft the staff report for 7-Brew, I'll mention your new location in the background section (given your proximity to the proposed location). We have required 7-Brew to submit a full traffic study. There will be a lot of discussion about traffic at their public hearing on 1/27. If you would like to provide comments/ concerns, you can either provide public comment at the public hearing or submit an email to me prior to the hearing date.

Reagrds,
Tracy

Tracy L. Jones, AICP
Staff Planner
City of Wheaton
www.wheaton.il.us
630.260.2080 desk

From: Jesse Moffitt <jmoffitt@summermoon.com>
Sent: Tuesday, January 13, 2026 7:54 PM
To: Tracy Jones <TJones@wheaton.il.us>
Cc: Emily Moffitt <emily@summermoon.com>; Joseph Tebrugge <JTebrugge@wheaton.il.us>; Geoff Gerbasi <gerbasi@glacermoon.com>; Sean O'Grady <seagrady@glacermoon.com>; Jason Sorce <jason.sorce@psakgroupllc.com>
Subject: 7 Brews proposal 900 feet from our New Coffee Shop . Traffic will be a issue

 **CAUTION: Be alert for phishing attempts!** This email originated from outside of our organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Tracy,

Not sure if this is a question you can answer but I noticed that 7-Brews is proposing a site less than 900 feet from our new location.

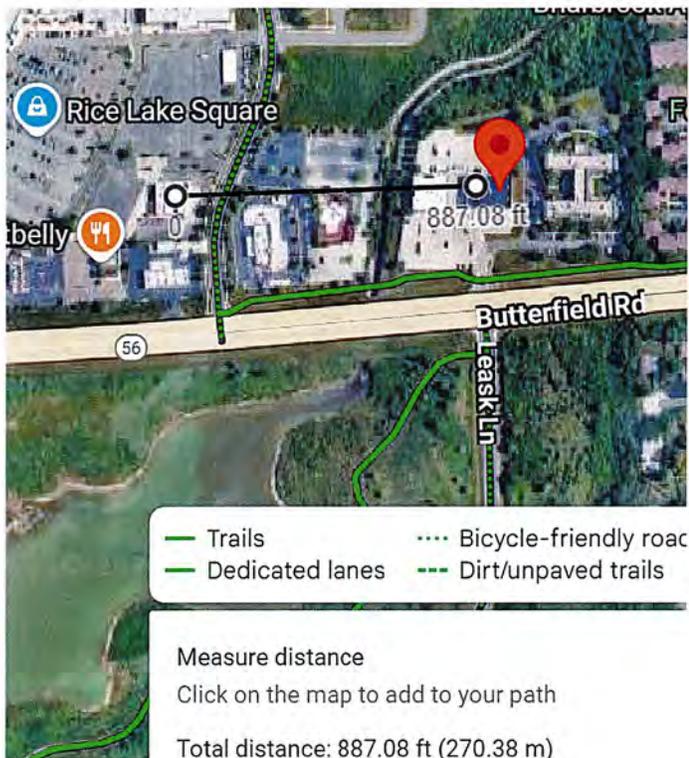
<https://www.dailyherald.com/20260108/news/7-brew-proposed-for-wheaton-near-movie-theater/>

A couple of things:

Wheaton doesn't even really know about us yet and we are working hard for a grand opening end of February early March. (that might change some opinions about another coffee shop a few hundred yards away)

As careful as Wheaton was to avoid traffic issues with our shop we know that the community is not ready for a 7-Brews with the traffic nightmare they generate. Visiting shops around the suburbs is evident this could be an issue.

Do you have any suggestions how we might get our name out in the community but also voice concern?



Much appreciated.

Jesse and Emily Moffitt

~~224-688-2817~~

Summer Moon Coffee
811 Butterfield Road
Wheaton IL 60189

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**REPORT OF THE WHEATON PLANNING & ZONING BOARD
TO THE
MAYOR OF WHEATON AND CITY COUNCIL**

ZA #26-04/ PUD Amendment and Special Use/ Rice Lake Square Shopping Center/ Seven Brew

Pursuant to notice duly published on January 9, 2026, and letters mailed to neighboring property owners on January 7, 2026, Chair Aranas called to order the January 27, 2026 public hearing requesting an amendment to a special use permit for a planned unit development to allow the construction and use of a one-story, 900 square foot coffee stand on a leased parcel of land in the Rice Lake Square Shopping Center parking lot between the former Houlihan's restaurant (at 321 Rice Lake Square) and Studio Movie Grill (at 301 Rice Lake Square).

Emails from David Schnitzler, Jeff Townsend, Jesse Moffitt were received and incorporated into the record.

Chris George, 2710 South 48th Street, Springdale, Arkansas was sworn in. Mr. George stated that he was a real estate developer for Seven Brew. He stated that they are proposing to lease a parcel of land in the shopping center parking lot between the former Houlihan's restaurant (at 321 Rice Lake Square) and Studio Movie Grill (at 301 Rice Lake Square). The site plan shows dual drive-thru lanes, operating in a counterclockwise direction, that wrap around the building. The site has been designed to accommodate stacking for 44 vehicles on-site. Parking of 14 spaces, including one ADA space, is proposed just west of the building. Sixty (60) shopping center parking spaces would be sacrificed for this development. However, if this request is approved, the parking for the shopping center would still be compliant with six spaces per 1,000 sf of space. A dumpster enclosure is proposed on the north edge of the leased parcel.

Mr. George stated that new landscaping is planned along the west side of East Loop Road, around the proposed dumpster enclosure, on the east side of the building and along the exit drive from the leased parcel to the shopping center parking lot. The plan includes a mix of canopy and ornamental trees, deciduous and evergreen shrubs, perennials and ornamental grasses.

Mr. George stated that the building will be clad with fiber cement panel siding with finishes of canyon brick in shale brown and modern brick in midnight. The building elevations also show blue metal panels and zinc grey metal coping trim. Two roof-top mechanical units are proposed. The building elevations show the units being screened by a metal screening panel in zinc grey.

Staff Planner Jones stated that Article 3.4C.2 of the Wheaton Zoning Ordinance requires that any such units are fully screened by a building parapet wall equal in height to the units.

Mr. George stated that they are agreeable to a condition that the building parapet wall be raised to fully screen the rooftop mechanical units.

Brendan May, 9575 W. Higgins Road, Suite 400, Rosemont was sworn in. Mr. May stated that he was a traffic engineer for KLOA. He stated that they provided a traffic report for the proposed development titled "Traffic Impact Study - Proposed 7 Brew Coffee Shop". The proposed use of a Coffee Shop is one of, if not the highest driver of traffic queueing and congestion issues possible. The existing Seven Brew locations in Lake Zurich and Naperville are very busy locations. The location in Naperville, for example, has an on-site queue of only 23 vehicles provided, but the queue line based on traffic observations by KLOA in March and May of 2025 showed a maximum queue of 71 vehicles, which stretches down the adjoining side street and at times onto the adjoining major roadway.

Mr. May stated that the time period that this queue length was observed directly correlates to the same time period when there was only a total of 4 Chicagoland stores open. Since that time, three additional Chicagoland stores are now open and the maximum observed queue at the Naperville store has decreased to 55 vehicles per a KLOA report dated December of 2025. Seven Brew has continued their roll out into the Chicagoland market and have proposed additional locations which would decrease the pull into the proposed Wheaton location. The nearest store that would affect this is a Bloomingdale location which is already under construction and expected to open in early March of 2026. A second store in Bloomingdale has also already made it through all zoning approvals and is now in final permitting.

Director Tebrugge stated that throughout the pre-application process and the development of this zoning application, the applicant has listened to Staff concerns and has improved the proposed plan to currently show an available queueing "on-site" of 44 vehicles. The provided traffic report states that when the market stabilizes, it is estimated that the total queue at the Wheaton location will be a peak of 33 to 35 vehicles. Current Staff concern relates to the fact that there is no definitive timeline as to when the market could stabilize. Additionally, while there is large availability to queue vehicles throughout the existing shopping center parking lot, the question remains as to whether onsite staff will be able to manage a large queueing event and keep the queue off the adjoining East Loop Road. Any queueing on East Loop Road would significantly disrupt traffic flow and is deemed unacceptable by City Staff.

Mr. May stated that in order to safeguard against any queueing on East Loop Road during a high queue event, they have provided a Drive Through Traffic Exhibit which routes traffic through the shopping center parking lot and provides an additional queueing for 46 vehicles above the "on-site" queue of 44 vehicles. If managed by on-site Staff, the maximum available queue provided would be 90 vehicles, which is above the maximum observed at the Naperville store in the KLOA Traffic Impact Study for the proposed 7 Brew Coffee Shop.

Director Tebrugge stated that based on the Traffic Reports provided and the Drive Through Traffic Exhibit, Staff believes that while there is the possibility of traffic congestion problems due to the new Seven Brew location in the Rice Lake Square Shopping Center, adequate provisions have been made to safeguard against problems. However, Engineering Staff recommends the addition of the following condition:

"No queueing from the subject property shall be allowed to occur onto the East Loop Road right-of-way and all queueing must be contained on-site at the subject property. Staff shall be provided by the applicant during all hours of operation to monitor the queue, direct traffic as needed in the shopping center and manage the queueing throughout the shopping center parking lot to prevent the queue from extending onto East Loop Road at either the entrance north or south of the proposed development."

Mr. George stated that they are agreeable to a condition that no queueing shall occur on East Loop Road.

Laura Campbell, 156 Hawkins Circle, Wheaton was sworn in. Ms. Campbell stated that she was a neighboring property owner and she was concerned with the proposed traffic that a Seven Brew would bring to the Rice Lake Square shopping center.

Jeff Townsend, 174 Hawkins Circle, Wheaton was sworn in. Mr. Townsend stated that he was a neighboring property owner and he was concerned with the proposed traffic that a Seven Brew would bring to the Rice Lake Square shopping center. He questioned if traffic backed up onto East Loop Road, how it would be enforced.

Mr. George stated that if this happened, they would be in conflict with the conditions of their special use permit and they would have to come back to the Board for another public hearing.

Melissa Guido, 1142 Oxford Lane, Wheaton was sworn in. Ms. Guido stated that she was a neighboring property owner and she was concerned with the proposed traffic that a Seven Brew would bring to the Rice Lake Square shopping center.

The Board discussed the request and decided to add two additional conditions to the ones drafted by staff. The Board felt that the dual drive-thru lanes shall be reduced to one lane at the exit to minimize traffic congestion and landscaping shall be added to the north and west sides of the site.

Mr. Dabovich moved and then Mr. Gudmundson seconded the motion to close the public hearing. On a voice vote, all voted aye.

Mr. Plunkett moved and then Mr. Spittler seconded the motion to waive their regular rules and vote tonight. On a voice vote, all voted aye.

Recommendation

Mr. Dabovich moved and then Mr. Blume seconded the motion to recommend approval of ZA # 26-04, requesting an amendment to a special use permit for a planned unit development to allow the construction and use of a one-story, 900 square foot coffee stand on a leased parcel of land in the Rice Lake Square Shopping Center parking lot between the former Houlihan's restaurant (at 321 Rice Lake Square) and Studio Movie Grill (at 301 Rice Lake Square), subject to the following conditions:

1. The building parapet wall shall be raised to fully screen the rooftop mechanical units;
2. No queueing from the subject property shall be allowed to occur onto the East Loop Road right-of-way and all queueing must be contained on-site at the subject property. Staff shall be provided by the applicant during all hours of operation to monitor the queue, direct traffic as needed in the shopping center, and manage the queueing throughout the shopping center parking lot to prevent the queue from extending onto East Loop Road at either the entrance north or south of the proposed development;
3. The preliminary engineering plan shall be subject to further staff review prior to the issuance of a site development permit;
4. The dual drive-thru lanes shall be reduced to one lane at the exit to minimize traffic congestion; and
5. Additional landscaping shall be added to the north and west sides of the site.

	<u>Roll Call Vote</u>
Ayes:	Nicole Aranas Ben Blume Chris Dabovich Bob Gudmundson Cecilia Horejs Philip Spittler
Nays:	Mark Plunkett

Absent: None

Motion Passed

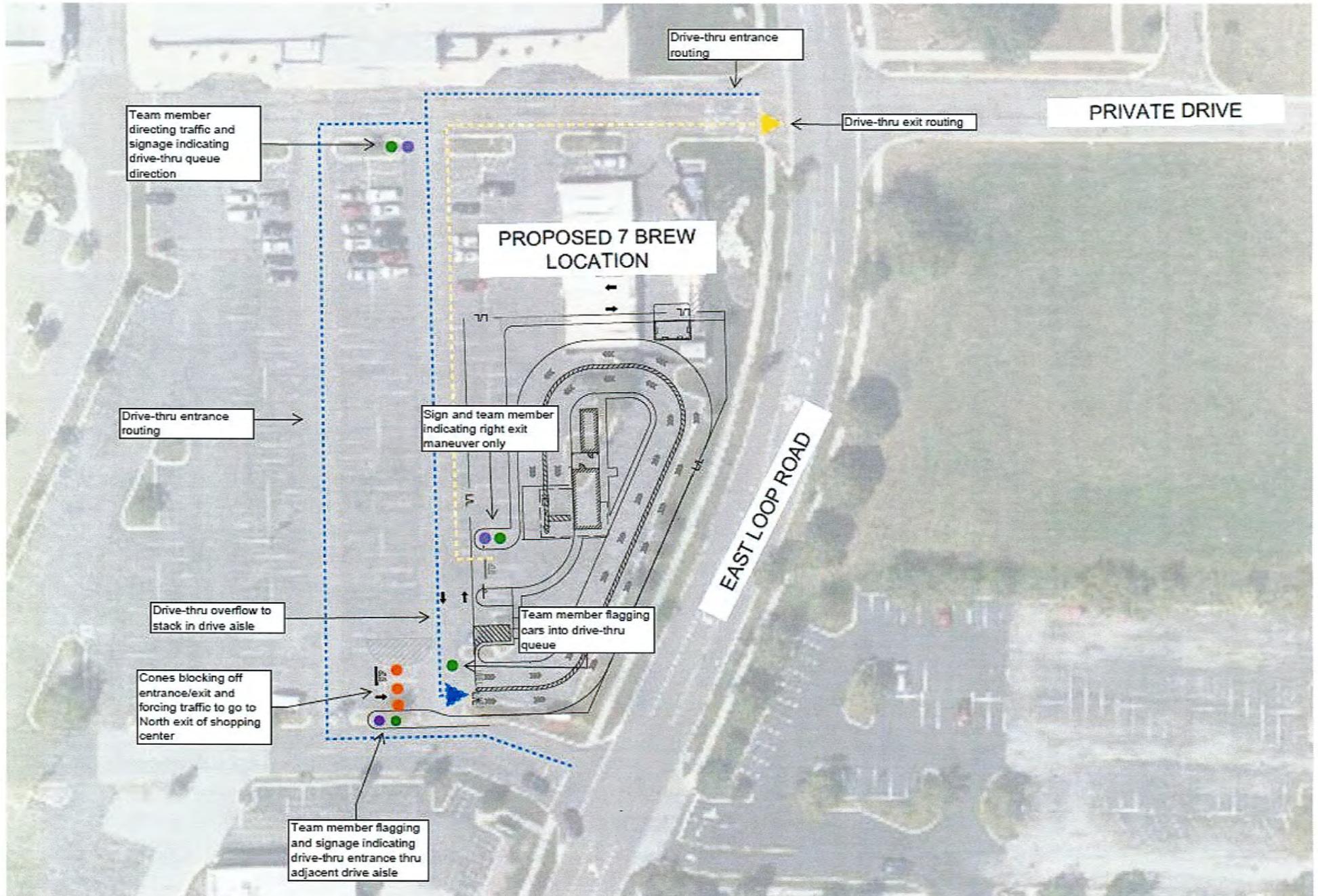
The dissenting Board member had concerns with how the proposed traffic from Seven Brew would impact Studio Movie Grill.

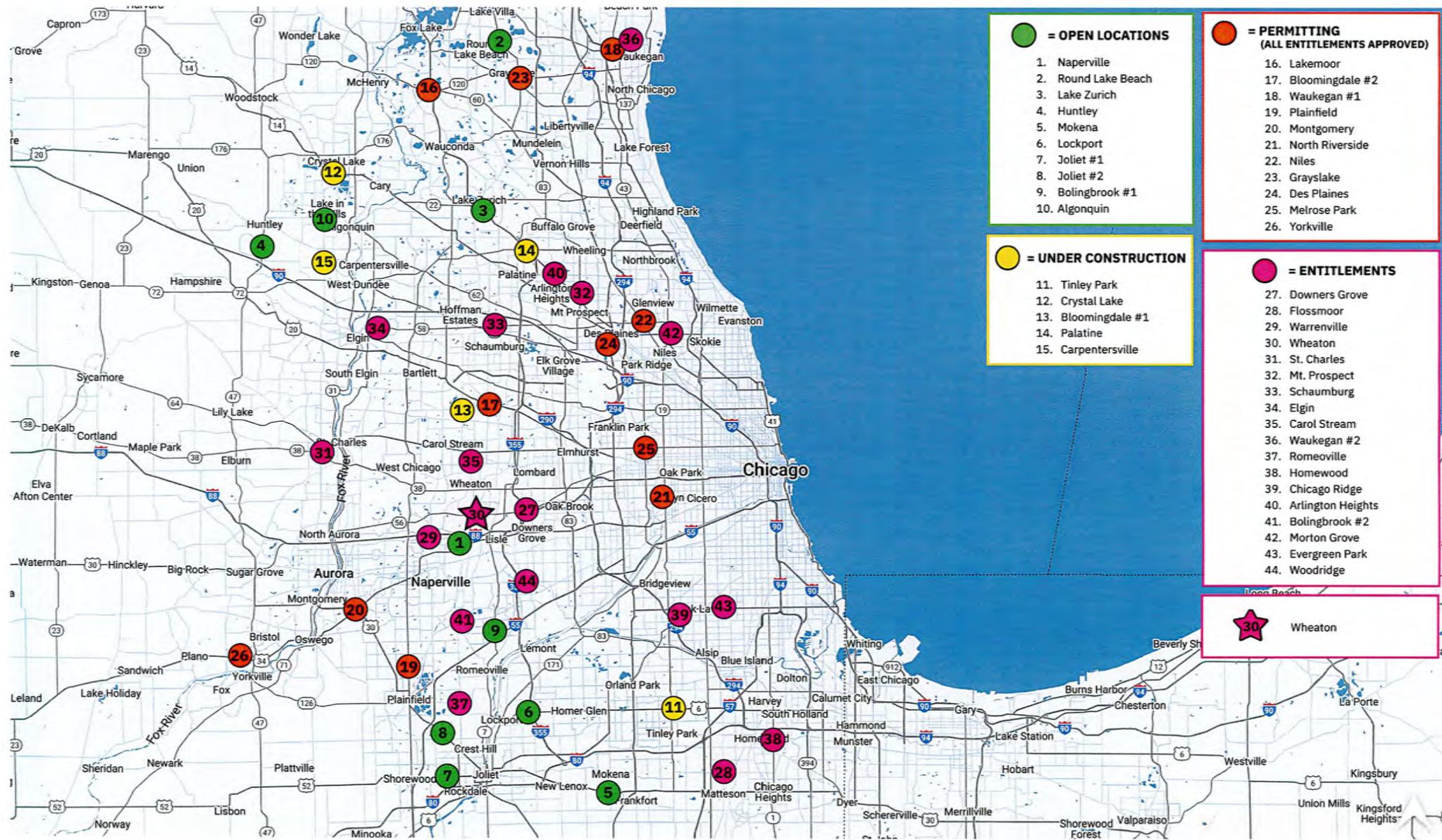
Nicole Aranas, Chair
Wheaton Planning and Zoning Board

Findings of Fact

1. A majority of the Board finds that the establishment, maintenance, and operation of the special use would not be detrimental to the public health, safety, morals, comfort, convenience, and general welfare.
2. A majority of the Board finds that the special use would not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, and not substantially diminish property values within the neighborhood.
3. A majority of the Board finds that the establishment of the special use would not impede the normal and orderly development and improvement of the surrounding property for uses already permitted.
4. A majority of the Board finds that adequate utilities, access ways, drainage, and other necessary facilities would be provided.
5. A majority of the Board finds that adequate measures would be taken to provide ingress and egress designed to minimize traffic congestion in the public streets.
6. A majority of the Board finds that the special use would comply with the objectives of the Wheaton Comprehensive Plan.
7. A majority of the Board finds that the special use would conform to the applicable requirements of the district in which it is located as well as any other applicable requirements of this ordinance.

DRIVE THRU OVERFLOW PLAN





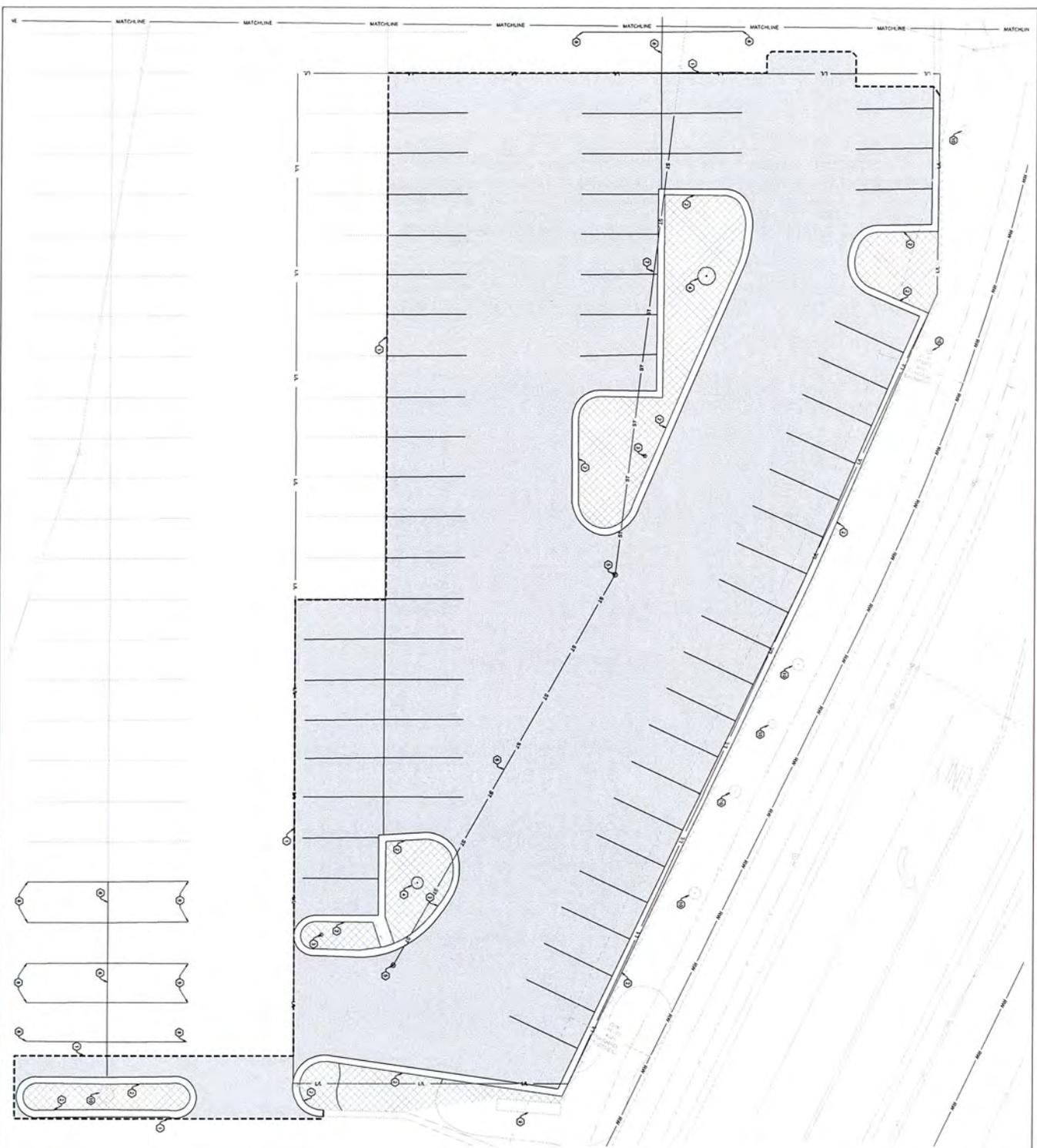
- = OPEN LOCATIONS**
1. Naperville
 2. Round Lake Beach
 3. Lake Zurich
 4. Huntley
 5. Mokena
 6. Lockport
 7. Joliet #1
 8. Joliet #2
 9. Bolingbrook #1
 10. Algonquin

- = UNDER CONSTRUCTION**
11. Tinley Park
 12. Crystal Lake
 13. Bloomingdale #1
 14. Palatine
 15. Carpentersville

- = PERMITTING (ALL ENTITLEMENTS APPROVED)**
16. Lakemoor
 17. Bloomingdale #2
 18. Waukegan #1
 19. Plainfield
 20. Montgomery
 21. North Riverside
 22. Niles
 23. Grayslake
 24. Des Plaines
 25. Melrose Park
 26. Yorkville

- = ENTITLEMENTS**
27. Downers Grove
 28. Flossmoor
 29. Warrenville
 30. Wheaton
 31. St. Charles
 32. Mt. Prospect
 33. Schaumburg
 34. Elgin
 35. Carol Stream
 36. Waukegan #2
 37. Romeoville
 38. Homewood
 39. Chicago Ridge
 40. Arlington Heights
 41. Bolingbrook #2
 42. Morton Grove
 43. Evergreen Park
 44. Woodridge

★ 30 Wheaton



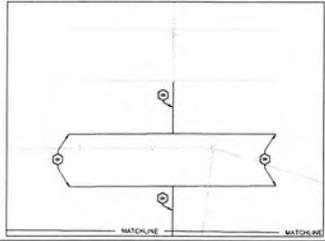
- HATCH LEGEND**
- ▨ REMOVE 200#S 1" OF ASPHALT/PARKING
 - ▨ REMOVE 10" 1" OF CONCRETE SLAB
 - ▨ REMOVE 200#S 1" OF ASPHALT/PAVA

- KEY NOTES**
1. REMOVE 200#S 1" OF ASPHALT/PARKING
 2. REMOVE 10" 1" OF CONCRETE SLAB
 3. REMOVE 200#S 1" OF ASPHALT/PAVA
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 99. REMOVE 200#S 1" OF ASPHALT/PAVA
 100. REMOVE 10" 1" OF CONCRETE SLAB

Graphic scale: 0, 5, 10 feet. North arrow pointing up.

TOOTH
 A ASSOCIATES
 1000 S. AUSTIN BLVD.
 WHEATON, IL 60189
 TEL: 630.399.1100
 FAX: 630.399.1101
 WWW.TOOTHASSOCIATES.COM

7 BREW
 Drive Thru
 Simply Call 811

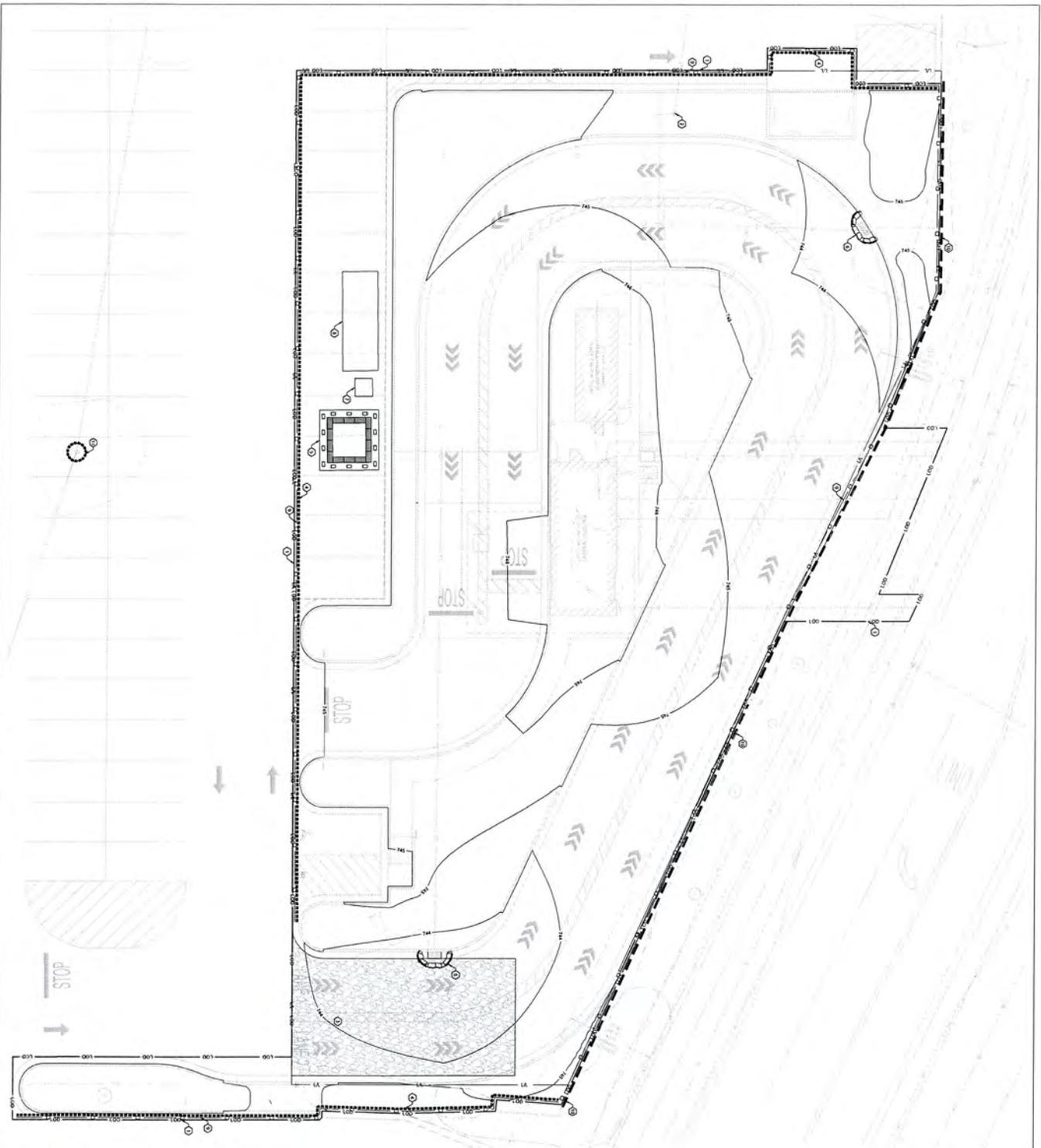


7 BREW COFFEE
WHEATON, IL
 151 RICE LAKE SQ.
 WHEATON, ILLINOIS 60189

ENGINEER OF RECORD:
 NAME: MICHAEL STROUBER
 LICENSE NO.: 517102010010
 PROJECT NUMBER:
 15189
 REVISION:

SEVEN 7 BREW
 DRIVE THRU COFFEE

C1.1
 DEMOLITION PLAN
 DATE: NOVEMBER 1, 2023



- KEY NOTES**
1. Limits of site placement - 1/2" DIA. MARK
 2. Proposed driveway
 3. Temporary construction entrance for details, see SHEET C1.1
 4. 2011 F.P.O.P. CONCEPT PLAN FOR 500' DRIVEWAY, SEE SHEET C1.1
 5. CONCEPT PROPOSED FACILITY FROM DETAIL, MATERIAL, SHEET C1.1
 6. CONCEPT PROPOSED FACILITY FROM DETAIL, MATERIAL, SHEET C1.1
 7. CONCEPT PROPOSED FACILITY FROM DETAIL, MATERIAL, SHEET C1.1
 8. Temporary structure for materials, structural location is approximate
 9. 1111 F.P.O.P. Temporary construction site fence
 10. 2011 F.P.O.P. 50' DIA. FENCE FOR ON-SITE STORAGE, SHEET C1.1
 11. 2011 F.P.O.P. 50' DIA. FENCE FOR ON-SITE STORAGE, SHEET C1.1
 12. 2011 F.P.O.P. 50' DIA. FENCE FOR ON-SITE STORAGE, SHEET C1.1

PHASING TABLE

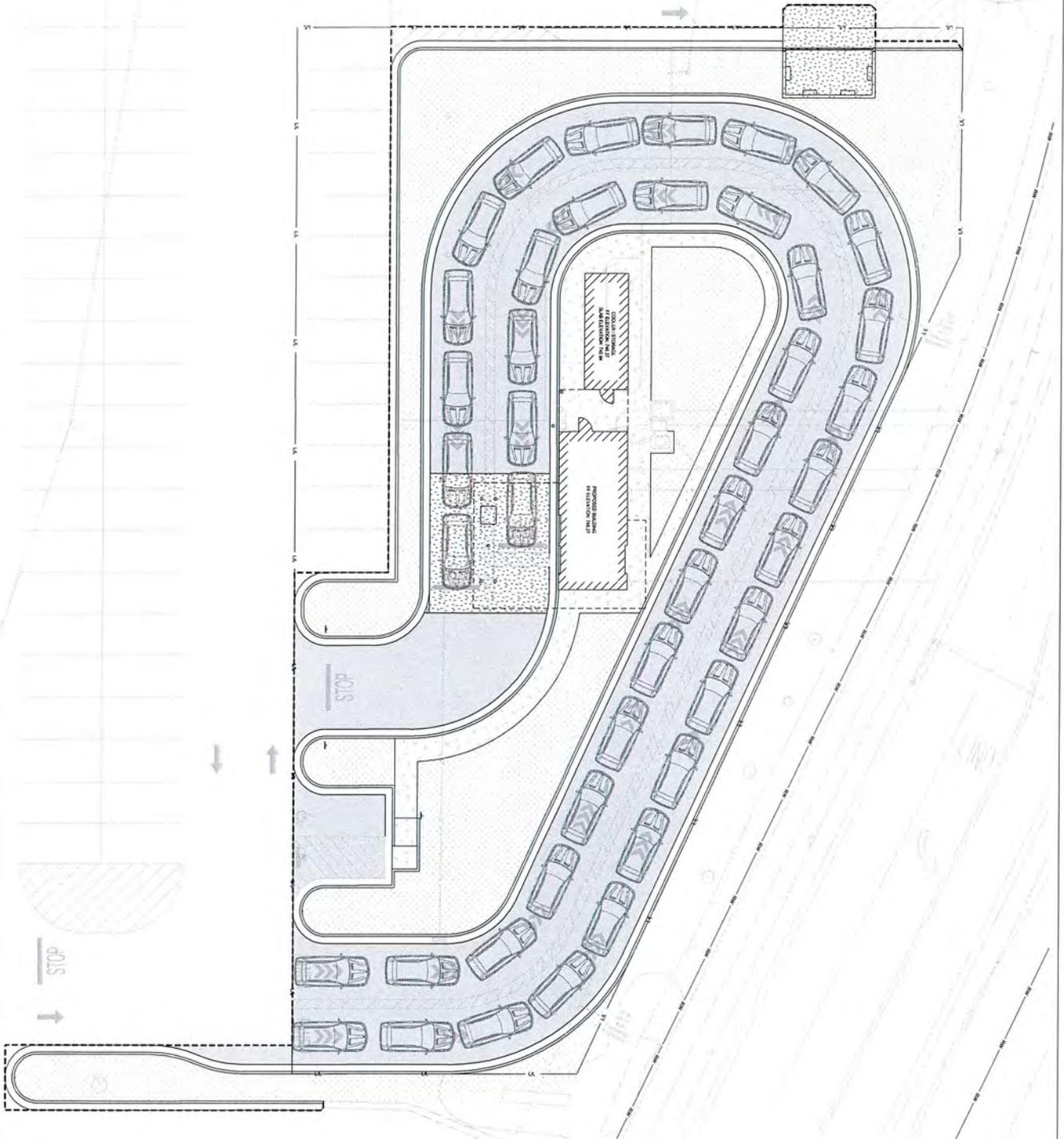
PHASE	CONSTRUCTION/ACTIVITY	SET MANAGEMENT PRACTICES INSTALLED
PHASE 1	PRELIMINARY CONSTRUCTION	EROSION CONTROL - SLOTTED CURBS - SLOTTED CURBS - SLOTTED CURBS - SLOTTED CURBS
PHASE 2	CONSTRUCTION	EROSION CONTROL - SLOTTED CURBS - SLOTTED CURBS - SLOTTED CURBS - SLOTTED CURBS
PHASE 3	FINAL STABILIZATION OF EXISTING DRIVEWAY	EROSION CONTROL - SLOTTED CURBS - SLOTTED CURBS - SLOTTED CURBS - SLOTTED CURBS

C1.2
 REGIONAL
 CONTROL PLAN
 DATE: NOVEMBER 1, 2012

7 BREW COFFEE
WHEATON, IL
 151 RICE LAKE SQ.
 WHEATON, ILLINOIS 60189

ENGINEER OF RECORD
 NAME: ANDREW STEIN-MAIER
 LICENSE NO. 1-010000010
 PROJECT NUMBER:
 REVISION:





- MATCH LEGEND**
- ASPHALT PAVEMENT
FROM DETAIL 200 SHEET C7.1
 - CONCRETE SLAB
FROM DETAIL 200 SHEET C7.1
 - CONCRETE FOUNDATION
FROM DETAIL 200 SHEET C7.1
 - CONCRETE FOUNDATION
FROM DETAIL 200 SHEET C7.1
 - LANDSCAPE AREA
REFER TO LANDSCAPE PLAN

PARKING:
 18 TOTAL STALLS (18 STALLS AND 1 ADA)
DRIVE THRU QUEUE STATION:
 18 STALLS (18 STALLS AND 1 ADA)
 18 STALLS (18 STALLS AND 1 ADA)

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7 TOLE
 Sperry Call 811
 www.800my811.com

ATOTHS ASSOCIATES
 1001 S. RICE LAKE SQ.
 WHEATON, IL 60189
 TEL: 630-261-1100 FAX: 630-261-1101
 www.atoths.com

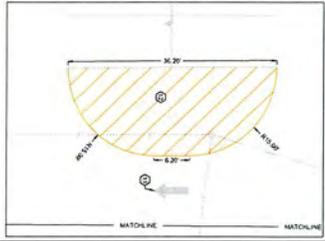
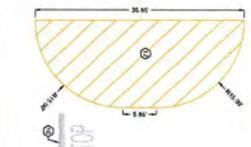
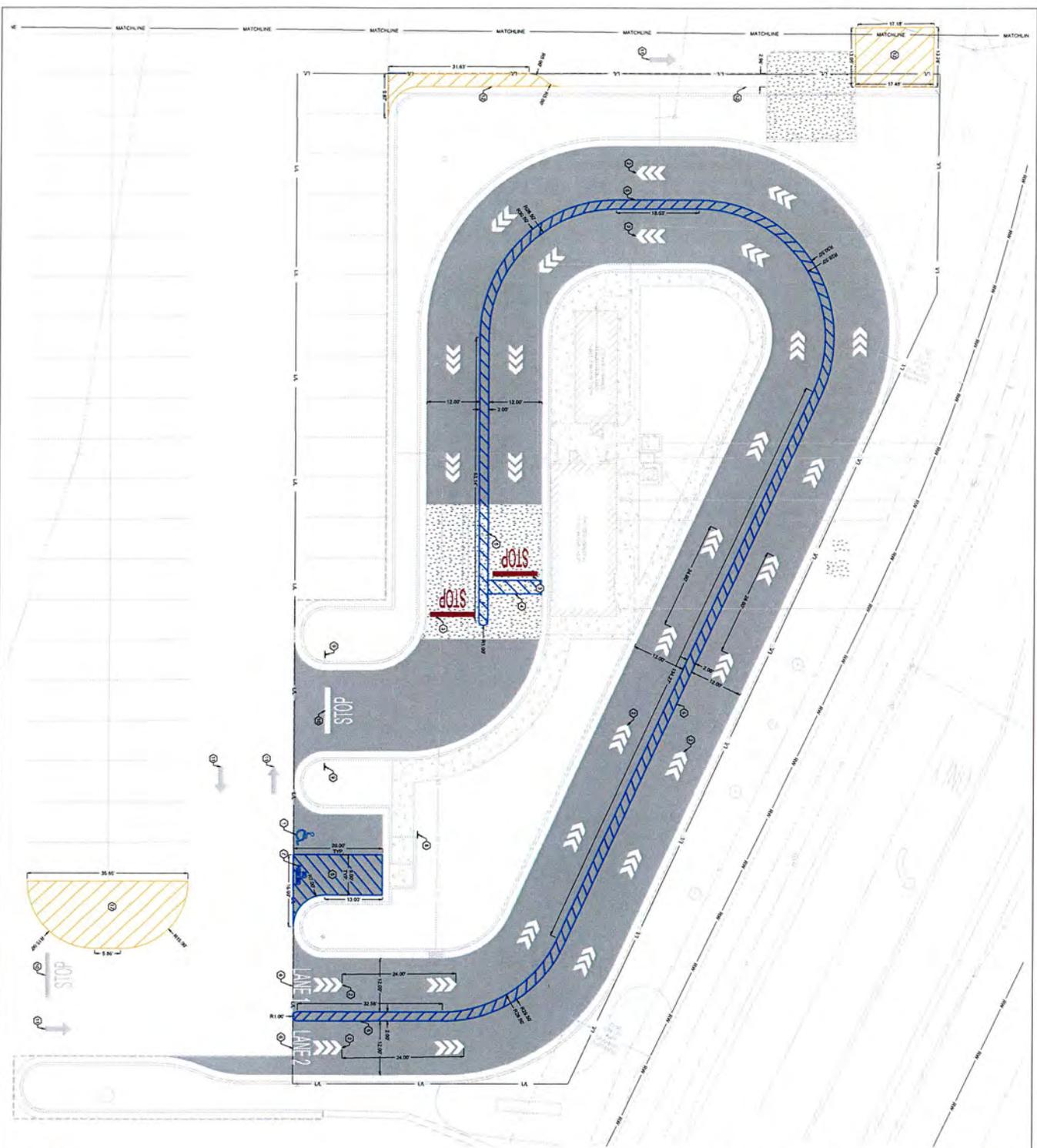
C2.2
 STAGING PLAN
 DATE: 01/20/2019 11:20:53

7 BREW COFFEE
WHEATON, IL

151 RICE LAKE SQ.
 WHEATON, ILLINOIS 60189

NUMBER OF RECORDS:
 NAME: [Signature]
 LICENSE NO. & EXPIRES:
 PROJECT NUMBER:
 REVISION:





HATCH LEGEND

	Asphalt Treatment
	Concrete Sidewalk
	Concrete Pavement

- KEYNOTES**
1. PAVE DRIVEWAY WITH ACCESSIBLE PAVED DRIVEWAY SYMBOL PER DETAIL A-101, SHEET C-2
 2. 12" RICH SOLID BLENDED ASPHALT DRIVEWAY SYMBOL PER DETAIL A-101, SHEET C-2
 3. 12" RICH SOLID BLENDED ASPHALT DRIVEWAY WITH 4" THICK 'STOP' TEXT PAINTED IN FIELD
 4. 12" RICH SOLID BLENDED ASPHALT DRIVEWAY WITH 4" THICK 'STOP' TEXT PAINTED IN FIELD AT 4" SPACING
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 15. 12" RICH SOLID BLENDED ASPHALT DRIVEWAY WITH 4" THICK 'STOP' TEXT PAINTED IN FIELD AT 4" SPACING

ATOTHS
 A ASSOCIATES
 1100 S. RICE LAKE SQ.
 WHEATON, IL 60189
 (630) 261-1100
 WWW.ATOTHS.COM

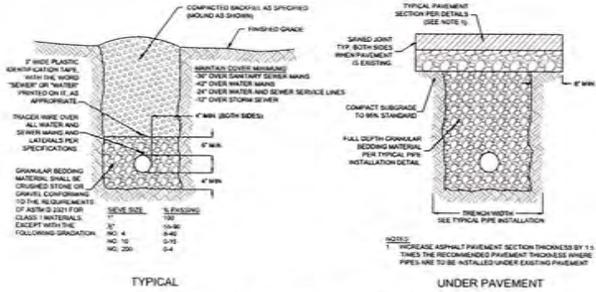
C6.1
 STRIPING PLAN
 DATE: NOVEMBER 14, 2012

7 BREW COFFEE
 WHEATON, IL

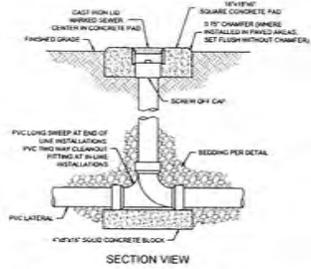
151 RICE LAKE SQ.
 WHEATON, ILLINOIS 60189

ENGINEER OF RECORD
 NAME: [Signature]
 LICENSE NO.: 5171020104
 PROJECT NUMBER:
 DATE:

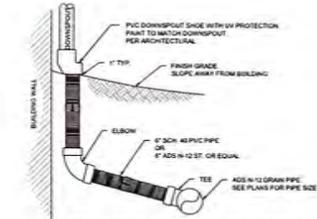




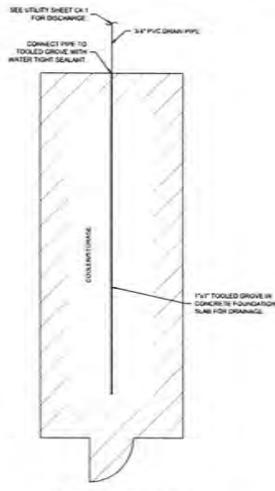
4.01 PIPE INSTALLATION
SCALE NONE



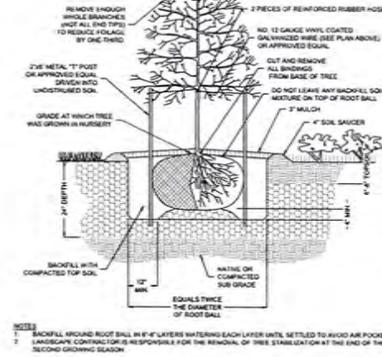
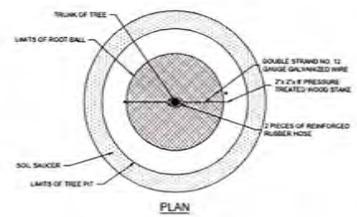
4.02 SANITARY SEWER CLEANOUT
SCALE NONE



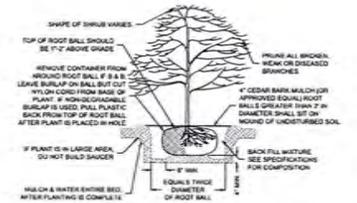
4.06 DOWNSPOUT CONNECTION
SCALE NONE



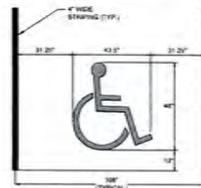
4.07 SLAB DRAINAGE
SCALE NONE



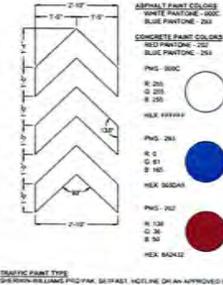
5.01 TREE PLANTING
SCALE NONE



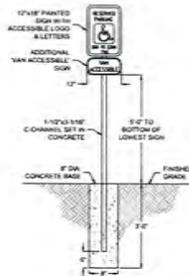
5.02 SHRUB PLANTING
SCALE NONE



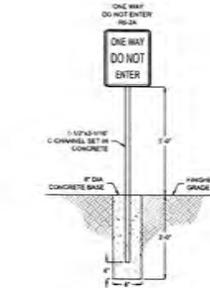
5.03 ADA ACCESSIBLE PARKING SYMBOL
SCALE NONE



6.02 PARKING LOT STRIPING COLORS & PAINT
SCALE NONE



6.03 ADA ACCESSIBLE SIGN
SCALE NONE



6.04 TYPICAL SIGN POST
SCALE NONE



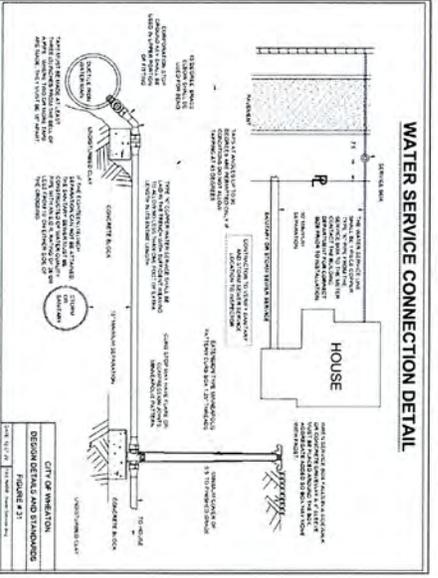
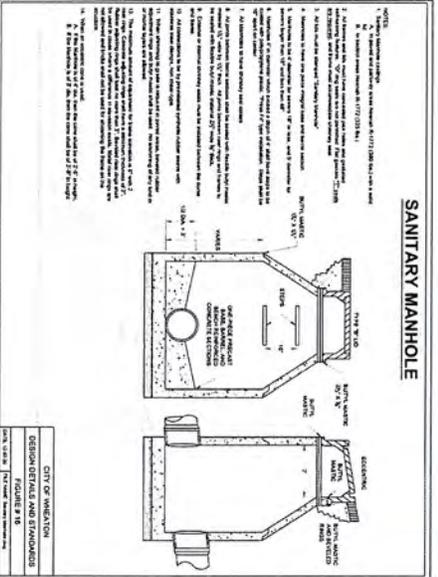
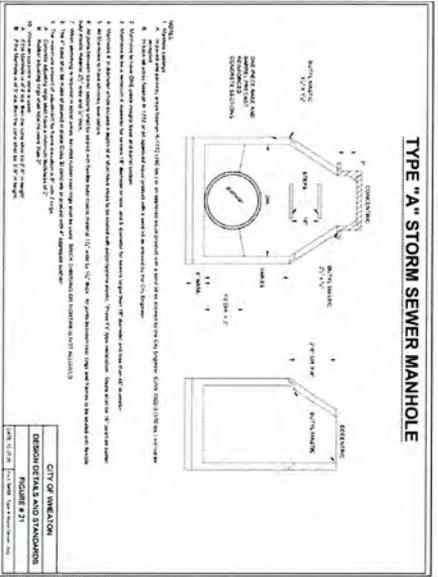
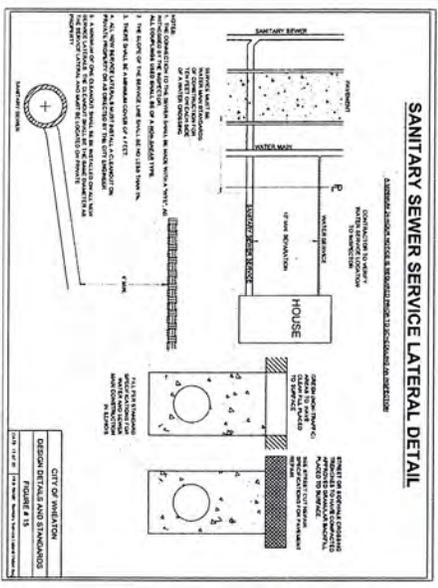
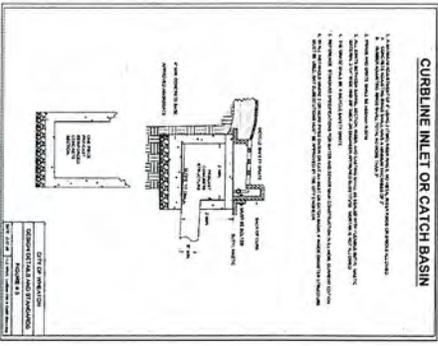
ENGINEER OF RECORD:
NAME: MATTHEW SEVEN-HEST
LICENSE NO. & EXP. 06/2016/24
PROJECT NUMBER:
6420
REVISION:

7 BREW COFFEE
WHEATON, IL
1.51 RICE LAKE SQ.
WHEATON, ILLINOIS 60189



C7.2
DETAILS

DATE: NOVEMBER 14, 2022



C7.3
DETAILS
DATE: NOVEMBER 14, 2010

7 BREW COFFEE
WHEATON, IL
151 RICE LAKE SQ.
WHEATON, ILLINOIS 60189

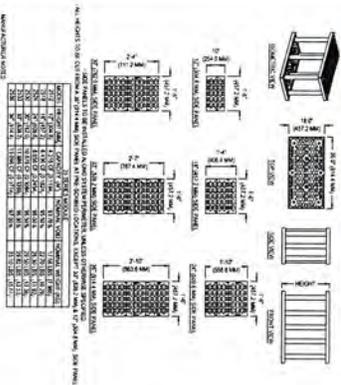
ENGINEER OF RECORD:
NAME: JACOBSON-WILSON
LICENSE NO. & EXPIRES:
PROJECT NUMBER:
REVISION:



SEVEN 73 BREW
DRIVE THRU COFFEE

BRENTWOOD

STORMWATER MANAGEMENT
 411 BRENTWOOD DRIVE
 READING, PA 19611
 PHONE: (610) 374-5189
 WWW.BRENTWOOD.COM

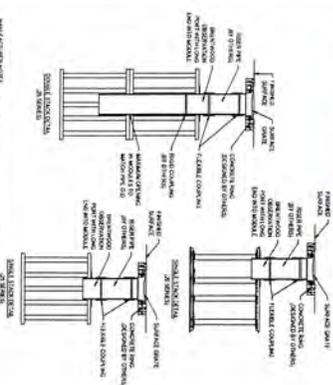


4.1.1 STORMWINK MODULE

1. INTRODUCTION TO THE PRODUCT: This product is designed for use in stormwater management applications.
2. PRODUCT DESCRIPTION: The product is a modular unit that can be used in a variety of applications.
3. INSTALLATION: The product is installed by placing it in the desired location and securing it to the ground.
4. MAINTENANCE: The product requires minimal maintenance and can be easily cleaned.
5. REFERENCES: For more information, please refer to the product manual and technical specifications.

BRENTWOOD

STORMWATER MANAGEMENT
 411 BRENTWOOD DRIVE
 READING, PA 19611
 PHONE: (610) 374-5189
 WWW.BRENTWOOD.COM

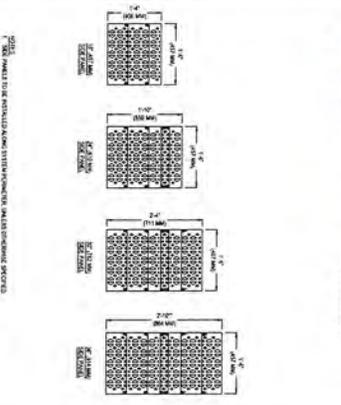


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 READING, PA 19611
 PHONE: (610) 374-5189
 WWW.BRENTWOOD.COM

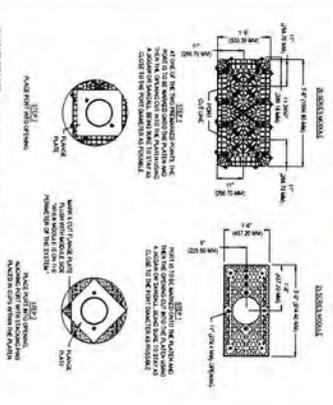


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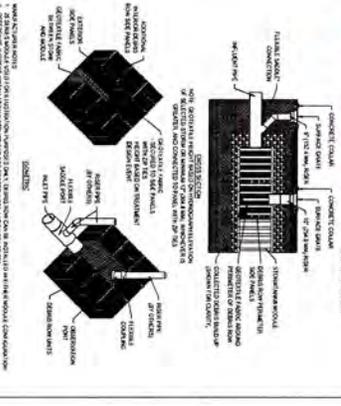


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 WWW.BRENTWOOD.COM

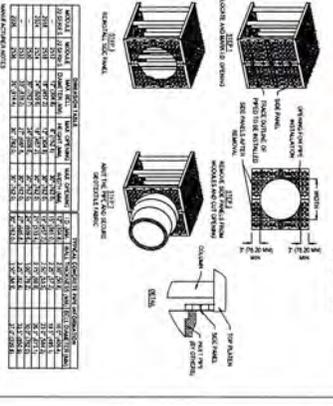


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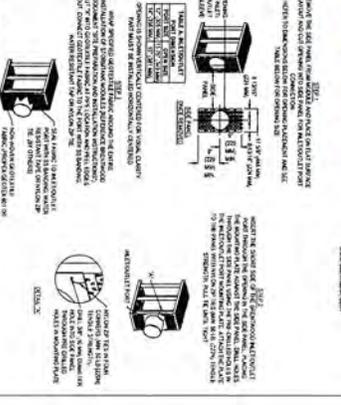


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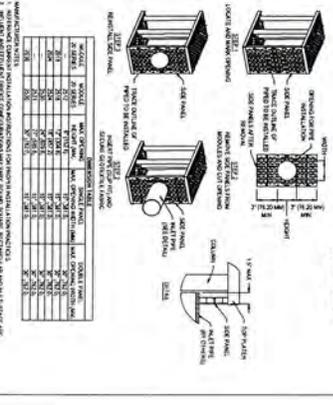


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SEVEN 7 BREW
 DRIVE THRU
 COFFEE

7 BREW COFFEE
 WHEATON, IL
 151 RICE LAKE SQ.
 WHEATON, ILLINOIS 60189



ATOOTH
 STORMWATER DETAILS

504 E. WHEELING ST. SUITE 100
 WHEATON, IL 60187



DESIGN PROPOSAL

PROJECT ID:	0429283A
CLIENT:	SEVEN 7B BREW COFFEE
ADDRESS:	225 RICE LAKE SQUARE WHEATON, IL
DATE:	7/31/2025
CONTACT:	WLF/TMZ
DESIGNER:	JMC

Pattison



1.866.635.1110
pattisonid.com

Project ID
0429283A

SEVEN BREW COFFEE
225 RICE LAKE SQUARE
WHEATON, IL

Date: 7/31/25
Contact: WLF/TMZ
Designer: JMC

Sign Item

Scale:

Revision Notes

Information Required
for Production

Customer Approval

Signature

MM/DD/YYYY

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It is the Customer's responsibility to ensure that the sign installation location is suitable to accept and support the installation of this sign being ordered. Notify Pattison ID immediately if further details are required.

Pattison



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SITE PLAN TBD

SITE PLAN

N.T.S.

Project ID 0429283A
SEVEN BREW COFFEE 225 RICE LAKE SQUARE WHEATON, IL
Date: 7/31/25 Contact: WLF/TMZ Designer: JMC
Sign Item SITE PLAN
Scale: N.T.S.
Revision Notes
Information Required for Production
Customer Approval
Signature _____ MM/DD/YYYY _____

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Project ID
0429283A

SEVEN BREW COFFEE
225 RICE LAKE SQUARE
WHEATON, IL

Date: 7/31/25
Contact: WLF/TMZ
Designer: JMC

Sign Item

FRONT ELEVATION

Scale: 3/16" = 1'-0"

Revision Notes

Information Required
for Production

Customer Approval

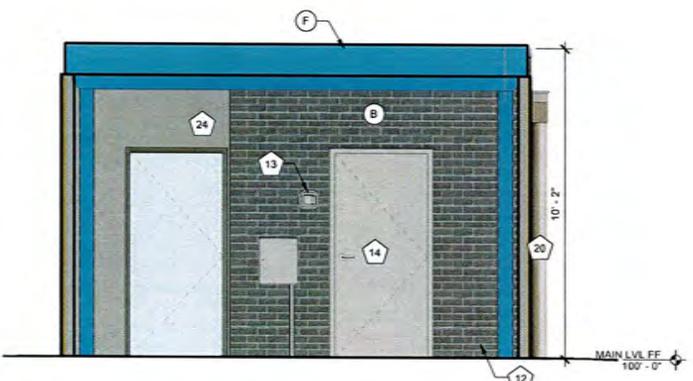
Signature

MM/DD/YYYY

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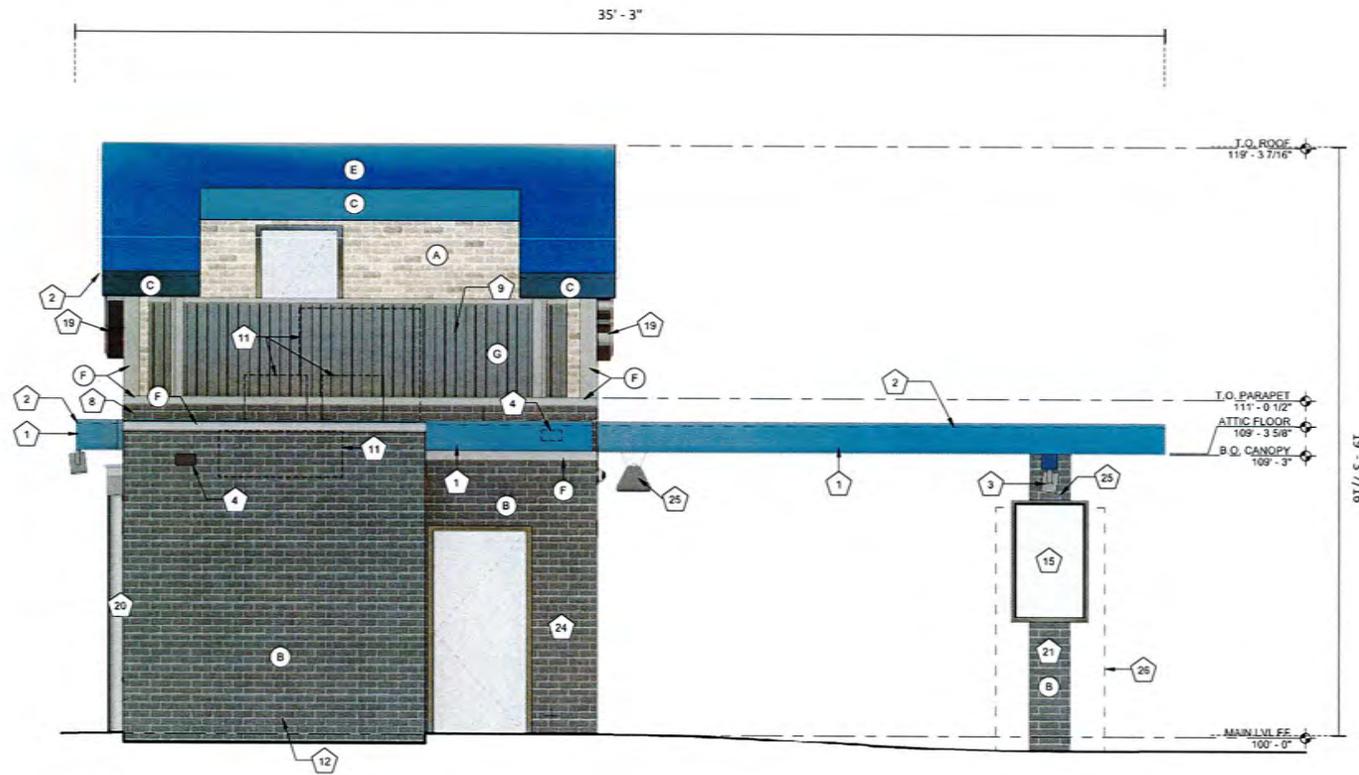
Pattison
 1.866.635.1110
pattisonid.com



COOLER FRONT ELEVATION - SCALE: 1/4" = 1'-0"



FRONT ELEVATION - SCALE: 1/4" = 1'-0"



○ FRONT ELEVATION - SCALE: 1/4" = 1' - 0"

Project ID
0429283A

SEVEN BREW COFFEE
225 RICE LAKE SQUARE
WHEATON, IL

Date: 7/31/25
Contact: WLF/TMZ
Designer: JMC

Sign Item

Scale:

Revision Notes

Information Required for Production

Customer Approval

Signature _____
MM/DD/YYYY

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Project ID
0429283A

SEVEN BREW COFFEE
225 RICE LAKE SQUARE
WHEATON, IL

Date: 7/31/25
Contact: WLF/TMZ
Designer: JMC

Sign Item

SIDE ELEVATION

Scale: 3/16" = 1'-0"

Revision Notes

Information Required
for Production

Customer Approval

Signature
MM/DD/YYYY

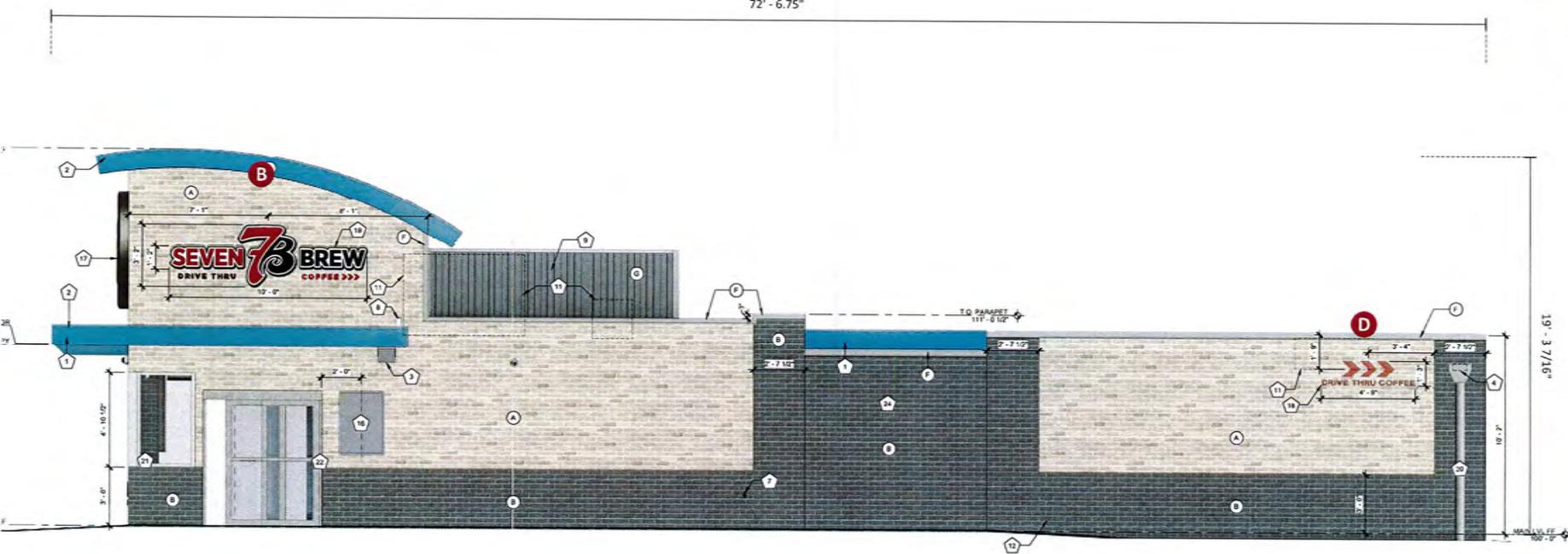
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Pattison
id 1.866.635.1110
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72' - 6.75"

19' - 3 7/16"



SIDE ELEVATION - SCALE: 3/16" = 1' - 0"

Project ID
0429283A

SEVEN BREW COFFEE
225 RICE LAKE SQUARE
WHEATON, IL

Date: 7/31/25
Contact: WLF/TMZ
Designer: JMC

Sign Item

Scale:

Revision Notes

Information Required
for Production

Customer Approval

Signature
MM/DD/YYYY

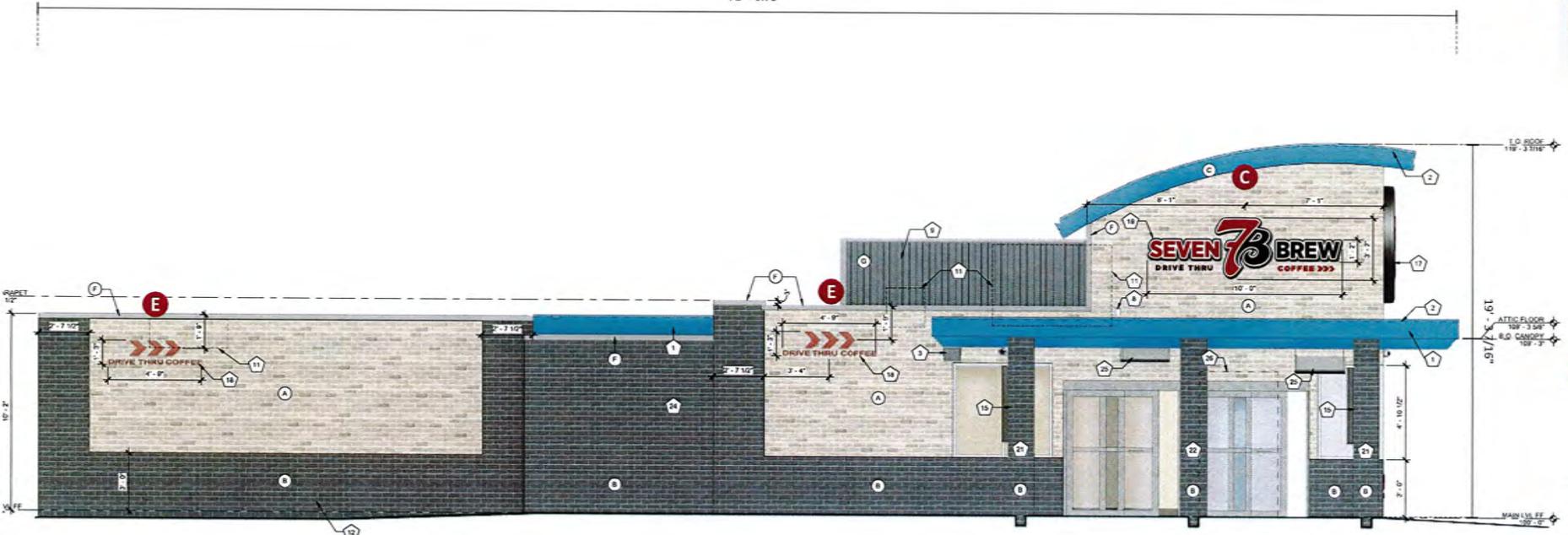
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72' - 6.75"



DRIVE THRU ELEVATION - SCALE: 3/16" = 1' - 0"



PERIMETER COPY, ARROWS & "7B"
TO BE EMBOSSED ADD'L 1/4"

4" DEEP FABRICATED ALUMINUM SIGN CABINET -
RETURNS & BACKS PAINTED BLACK -
INTERIOR PAINTED LIGHT-ENHANCING WHITE

FORMED & EMBOSSED PAN POLYCARBONATE
FACES w/ TRANSLUCENT FILM GRAPHICS
(SEE COLOR KEY) - BLOCKOUT FILM AS REQ'D -
WHITE CIRCLE AREA TO BE DEBOSSD AROUND
"7B" LOGO & COPY

INTERNALLY-ILLUMINATED w/ 7100k WHITE GE
TETRAMAX LED's - REMOTE POWER SUPPLIES -
CUSTOMER TO PROVIDE POWER TO SIGN

TO BE FLUSH-MOUNTED TO FRONT FASCIA
w/ NON-CORROSIVE HARDWARE AS REQ'D -
BLOCKING TO BE PROVIDED BY GC PRIOR TO
INSTALLATION



END VIEW

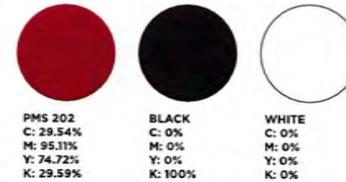
A S/F ILLUMINATED MEDALLION SIGN
ONE [1] REQUIRED - MANUFACTURE & INSTALL

SCALE: 3/4" = 1'-0"
28.27 Sq.Ft. CIRCLE



SIMULATED NIGHT VIEW

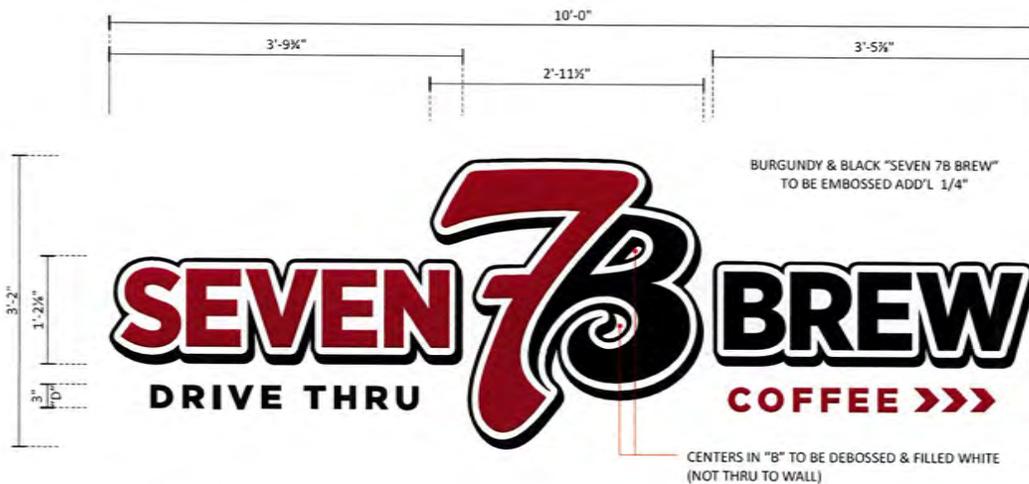
BRAND COLORS



Project ID 0429283A
SEVEN BREW COFFEE 225 RICE LAKE SQUARE WHEATON, IL
Date: 7/31/25 Contact: WLF/TMZ Designer: JMC
Sign Item
A: LOGO MEDALLION
Scale: 3/4" = 1'-0"
Revision Notes
Information Required for Production
Customer Approval
Signature _____
MM/DD/YYYY _____

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"SEVEN 7B BREW":
 4" DEEP SINGLE FACED ALUMINUM SIGN
 CABINETS - RETURNS PAINTED BLACK -
 INTERIOR PAINTED LIGHT-ENHANCING WHITE

FORMED & EMBOSSED PAN POLYCARBONATE
 FACES W/ TRANSLUCENT FILM GRAPHICS (SEE COLOR KEY) -
 BLOCK OUT VINYL AS REQ'D
 CENTERS IN "B" ON LOGO TO BE DEBOSSED -
 SEE EXAMPLE PHOTO BELOW

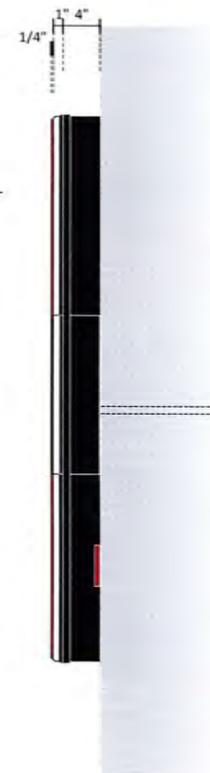
1/4" DIA. WEEP HOLES IN LOW POINTS OF
 CABINETS w/ ALUMINUM LIGHT SCREENS @
 EACH WEEP HOLE TO PREVENT LIGHT LEAKS

INTERNALLY ILLUMINATED w/ 7100K WHITE GE
 TETRAMAX LED'S - REMOTE POWER SUPPLIES -
 CUSTOMER TO PROVIDE POWER TO SIGN

120 - 277 VAC 20A 2-POLE SWITCH w/ BELL
 MX1050 COVER

TO BE FLUSH MOUNTED TO FASCIA w/ NON-
 CORROSIVE HARDWARE AS REQ'D

"DRIVE THRU" & "COFFEE>>>":
 1/2" DEEP ALUMINUM FLAT CUT-OUT LETTERS
 (SEE COLOR KEY) - TO BE STUD-MOUNTED FLUSH
 TO FASCIA



END VIEW

B C S/F ILLUMINATED SIGN
 ONE [1] SET(S) REQUIRED - MANUFACTURE & STOCK:

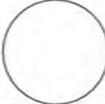
SCALE: 3/4" = 1'-0"
 32.08 Sq.Ft. EACH SET

5" DEEP ALUMINUM EMBOSSED-FACE, LED ILLUMINATED "SEVEN 7B BREW" WALL SIGN w/ RAISED VINYL GRAPHICS PER COLOR KEY -
 1/2" DEEP FCO'S TO READ "DRIVE THRU" & "COFFEE>>>" PAINTED PER COLOR KEY - BACKS DRILLED & TAPPED FOR STUD-MOUNTING



SIMULATED NIGHT VIEW

BRAND COLORS

		
PMS 202	BLACK	WHITE
C: 29.54%	C: 0%	C: 0%
M: 95.11%	M: 0%	M: 0%
Y: 74.72%	Y: 0%	Y: 0%
K: 29.59%	K: 100%	K: 0%

Project ID
0429283A

SEVEN BREW COFFEE
 225 RICE LAKE SQUARE
 WHEATON, IL

Date: 7/31/25
 Contact: WLF/TMZ
 Designer: JMC

Sign Item
B,C: LOGO COPY
 Scale: 3/4" = 1'-0"

Revision Notes

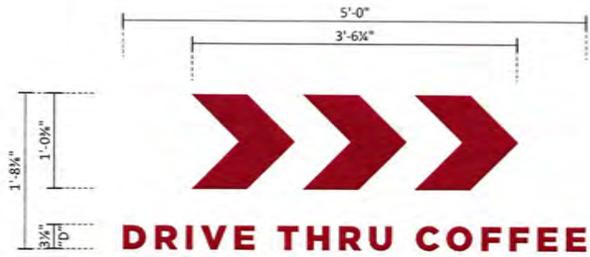
Information Required
 for Production

Customer Approval

Signature _____
 MM/DD/YYYY

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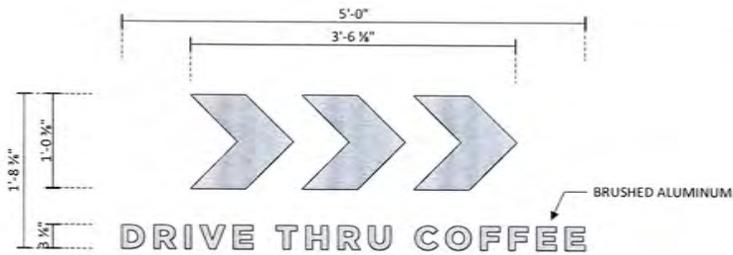
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SIDE VIEW N.T.S.

D E **FLAT CUT-OUT SIGN** SCALE: 3/4" = 1'-0"
THREE [3] SET(S) REQUIRED - MANUFACTURE & STOCK:

1/2" DEEP FCO'S TO READ "DRIVE THRU COFFEE>>>" -
PAINTED TO MATCH PMS 202c BURGUNDY - -
BACKS DRILLED & TAPPED FOR FLUSH STUD-MOUNTING -
NON-ILLUMINATED



SIDE VIEW N.T.S.

F **FLAT CUT OUT SIGN** SCALE: 3/4" = 1'-0"

ONE [1] SET REQUIRED - MANUFACTURE & INSTALL
1/2" DEEP FCO'S TO READ "DRIVE THRU COFFEE>>>" PIN MOUNT
FLUSH TO WALL - BRUSHED ALUMINUM, HORIZONTAL GRAIN
NON ILLUMINATED

**NOTE: EXACT SURVEY OF INSTALL AREA REQ'D PRIOR TO MANUFACTURE
EXACT PLACEMENT TO BE DETERMINED**

BRAND COLORS

			
PMS 202 C: 29.54% M: 95.11% Y: 74.72% K: 29.59%	BLACK C: 0% M: 0% Y: 0% K: 100%	WHITE C: 0% M: 0% Y: 0% K: 0%	PMS 293 C: 100% M: 63% Y: 0% K: 35%
			
BRUSHED ALUMINUM			

Project ID
0429283A

SEVEN BREW COFFEE
225 RICE LAKE SQUARE
WHEATON, IL

Date: 7/31/25
Contact: WLF/TMZ
Designer: JMC

Sign Item

Scale:

Revision Notes

Information Required for Production

Customer Approval

Signature

MM/DD/YYYY

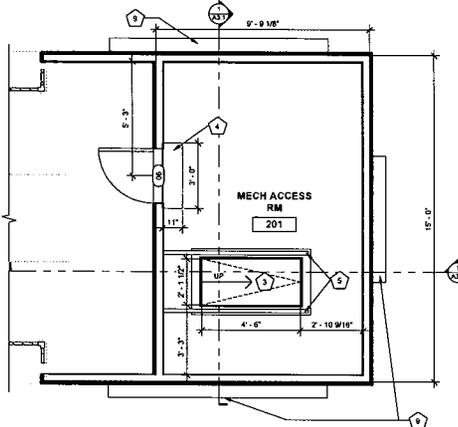
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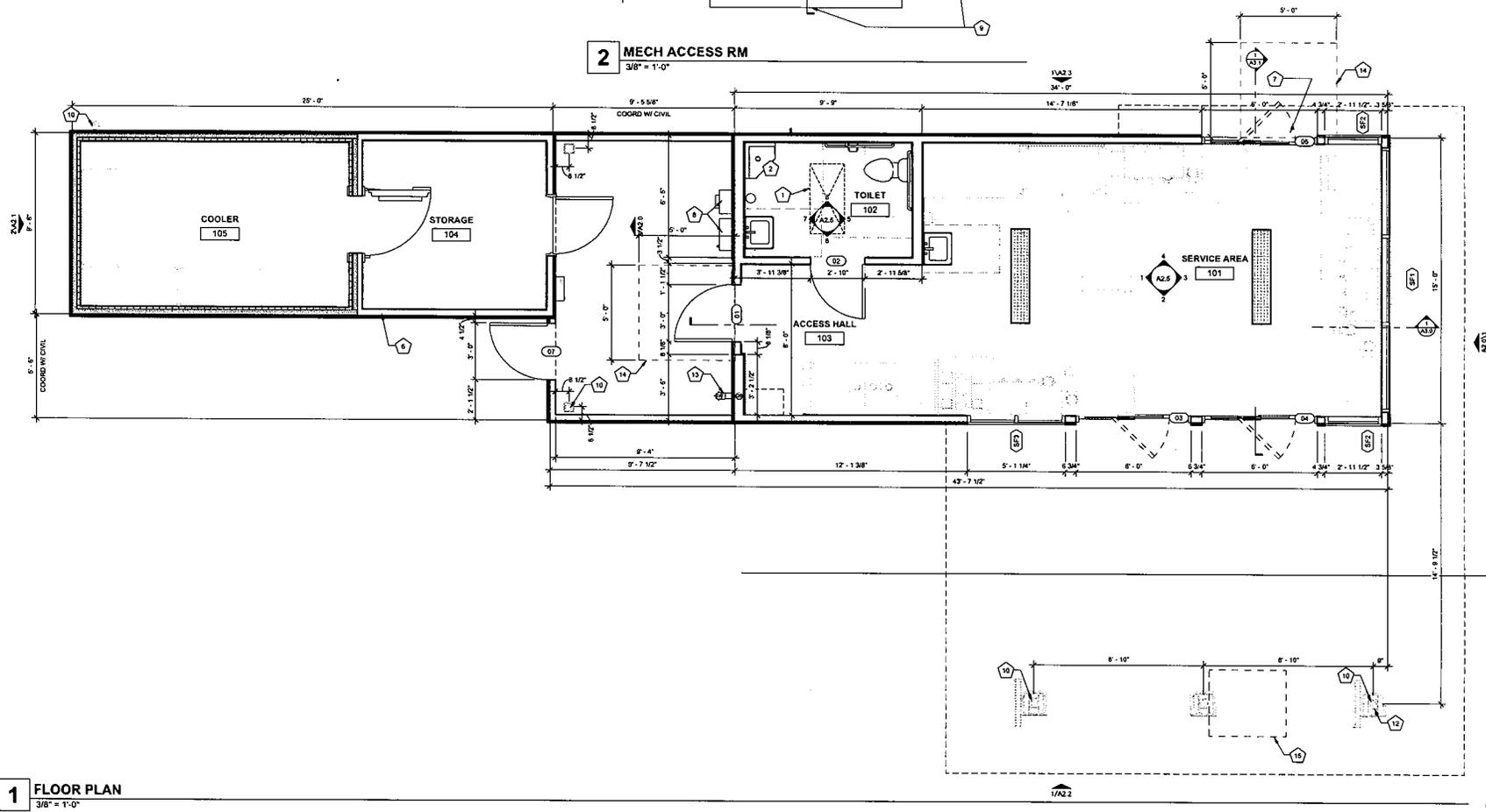


1.866.635.1110
pattisonid.com

FLOOR PLAN KEYNOTES	
MARK	DESCRIPTION
1	ACCESS DOOR FOR CRAWL SPACE ACCESS
2	MOP SINK REF PLUMBING
3	MECH. ACCESS DOOR AND LADDER - SUPPLIED BY OWNER
4	STEP, CENTER ON DOOR
5	PREFABRICATED COMPLIANT MECHANICAL SERVICE GUARDRAIL PER IBC SECTION 1015 - EACH SIDE
6	PREFABRICATED COOLER BY NATIONAL MODULAR MANUFACTURING; COORD LOCATION & SPECS WITH CIVIL & STRUCT
7	ADA AUTO/MANUAL EGRESS CAPABLE
8	ELECTRICAL EQUIPMENT, PAINTED TO MATCH BUILDING; REF ELECTRICAL
9	STOREFRONT SIGNS - SUPPLIED AND INSTALLED BY SIGN CONTRACTOR
10	DOWNSPOUT CONNECTION TO STORMWATER SYSTEM; REF CIVIL
11	DOWNSPOUT SCUPPER TO GRADE; REF CIVIL
12	SITE CONTRACTOR TO COORDINATE CIVIL AND STRUCTURAL DRAWINGS TO ENSURE ALL CANOPY COLUMN FOUNDATION PLATES AND BOLTS ARE CONSTRUCTED IN A MANNER THAT CONCEALS THEIR CONNECTIONS COMPLETELY BELOW GRADE; TYP.
13	DOWNSPOUT OUTLET - STORMWATER CONNECTION; COORD W/ CIVIL
14	FROST-PROTECTED EGRESS FOUNDATION PAD
15	WARMING HUT



2 MECH ACCESS RM
3/8" = 1'-0"



1 FLOOR PLAN
3/8" = 1'-0"



veritas
architecture + design

707 n. 6th Street
Kansas City, KS 66101
www.veritas-ad.com
913.308.1460

consulting engineer:

7 BREW DRIVE THRU - WHEATON IL - RICE LAKE

WHOBREW, LLC

WHEATON, IL - RICE LAKE

REVISIONS

No. Description

sheet issue date:

05/20/2025

project no.:

23.43.25

sheet contents:

FLOOR PLAN

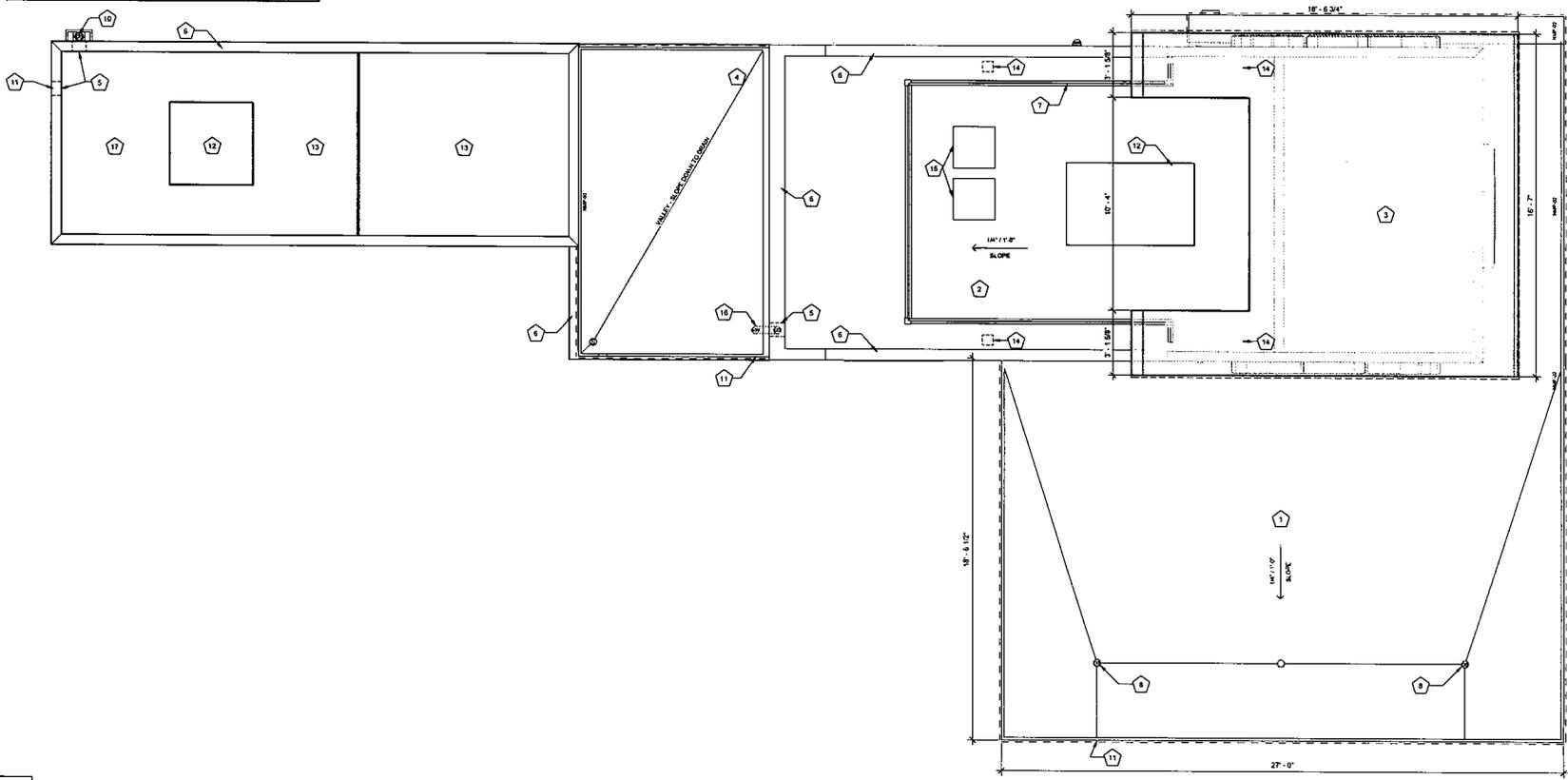
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 2025-11-20_LAYOUT V04

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ROOF PLAN KEYNOTES	
MARK	DESCRIPTION
1	PRE-ENGINEERED CANOPY W/ TPO ROOFING ON ROOF SHEATHING PER STRUCT ON BUILT-UP 2x CRICKET FRAMING; REF CANOPY SHOP DRAWINGS
2	TPO ROOFING ON ROOF SHEATHING PER STRUCT
3	CORRUGATED ARC METAL ROOF ON #15 FELT ON PLYWOOD ROOF SHEATHING
4	TPO ROOFING ON ROOF SHEATHING PER STRUCT ON BUILT-UP 2x CRICKET FRAMING
5	8" WIDE X 4" HIGH TPO ROOF SCUPPER WITH SHEET METAL UNDERLAYMENT
6	BRAKE METAL CAP; REF ELEVATIONS
7	3' - 6" GUARDRAIL
8	ROOF DRAIN WITHIN STRUCTURAL COLUMN; CONNECT TO STORMWATER COLLECTION SYSTEM; REF CIVIL
9	ROOF DRAIN WITHIN STRUCTURAL COLUMN; SCUPPER BASE OF DOWNSPOUT TO GRADE; REF CIVIL
10	ROOF DRAIN; DOWNSPOUT TO BE GALVANIZED, PAINTED, STEEL; CONNECT TO STORMWATER COLLECTION SYSTEM; REF CIVIL
11	OVERFLOW TO GRADE
12	HVAC EQUIPMENT
13	ROOFING PER COOLER MANUF
14	MODULAR BUILDING PICK POINTS WITH ROOFING COLLAR; REF STRUCT
15	ICE MACHINE CONDENSERS; SITE CONTRACTOR TO DETERMINE FINAL LOCATION
16	CONNECT ABOVE-GRADE DOWNSPOUT OUTLET TO SUB-GRADE STORMWATER COLLECTION SYSTEM; REF CIVIL
17	COOLER MANUF TO PROVIDE FALL ARREST/RESTRAINT ANCHORAGE DEVICE IN COMPLIANCE WITH ANSI/ASSP Z359.1



1 ROOF PLAN
3/8" = 1'-0"



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WHOBREW, LLC
WHEATON, IL - RICE LAKE

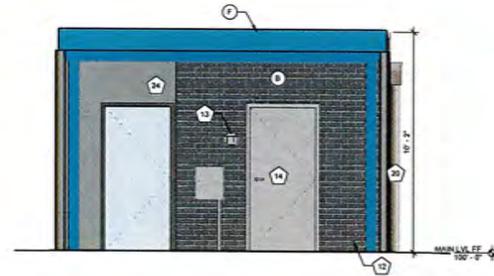
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Sheet issue date: 05/20/2025
 project no: 23.43.25
 Sheet contents: ROOF PLAN

Sheet no: **A1.6**

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7 Brew Templates V3.0



2 COOLER ELEVATION - FRONT
3/8" = 1'-0"



1 EXTERIOR ELEVATION - FRONT
3/8" = 1'-0"

EXTERIOR ELEVATION MATERIALS LEGEND

MARK	DESCRIPTION
A	ARCHITECTURAL CEMENT BOARD SIDING (BRK-2)
B	ARCHITECTURAL CEMENT BOARD SIDING (BRK-1)
C	BRAKE METAL FASCIA (MP-2)
D	SOFFIT PANELS (MP-3)
E	STANDING SEAM ROOF PANELS (MP-2)
F	METAL BRAKE CAP (MP-3)
G	SCREENING METAL PANEL (MP-1)

EXTERIOR ELEVATION KEYNOTES

MARK	DESCRIPTION
1	PRE-ENGINEERED ALUMINUM CANOPY BY OTHERS, REF STRUCTURAL
2	SURFACE-MOUNTED LED NEON FLEX LIGHTING AS INDICATED (SHOWN DASHED), TYP. REF ELECTRICAL
3	MOUNTED SPEAKER SYSTEM, REF SYSTEMS PLAN
4	THROUGH-WALL ROOF SCUPPER, TYP
5	ADDRESS NUMBERS TO BE 8" TALL X 2" BRUSH STROKE
6	ELECTRICAL EQUIPMENT, PAINTED TO MATCH BUILDING, REF ELECTRICAL
7	FROST-PROOF FLUSH HOSE BIB
8	EXTERIOR WEATHER-PROOF OUTLET, REF ELECTRICAL
9	GUARDRAIL, 3' - 6" ABOVE ATTIC FLOOR, CLAD W/ MP-1
10	KNOX BOX
11	OUTLINE OF MECHANICAL UNIT BEYOND
12	PREFABRICATED COOLER BY NATIONAL MODULAR MANUFACTURING, COORD LOCATION & SPECS WITH CIVIL & STRUCT
13	COOLER LOCK & CONTROLS
14	36" COOLER DOOR
15	SAMSUNG DIGITAL DISPLAYS, INSTALLED IN FIELD BY IT PROVIDER, CHASE FOR DATA CABLE INSTALLED AT BUILDING MANUFACTURING FACILITY
16	SURFACE-MOUNTED LIGHTED SIGN BOX
17	ROUND STOREFRONT SIGN, SUPPLIED AND INSTALLED BY SIGN CONTRACTOR
18	1/4" THICK ACRYLIC SIGNAGE APPLIED TO SIDING WITH VH DOUBLE SIDE TAPE
19	ILLUMINATED STOREFRONT SIGNAGE BY SIGN CONTRACTOR
20	EXPOSED DOWNSPOUT, GALVANIZED, PAINTED, CONNECT TO SUB-GRADE STORMWATER COLLECTION SYSTEM, REF CIVIL
21	STRUCTURAL CANOPY COLUMN W/ BRK-1 WRAP, RAINWATER DOWNSPOUT WITHIN, CONNECT BASE OF CANOPY COLUMN DOWNSPOUT TO STORMWATER MANAGEMENT SYSTEM, REF CIVIL
22	PAINTED STRUCTURAL CANOPY COLUMN, REF CIVIL
23	DOWNSPOUT OUTLET, CONNECT TO SUBGRADE STORMWATER CONNECTION, REF CIVIL
24	SITE CONSTRUCTED SCREEN WALL
25	CANOPY HEATER
26	WARMING HUT



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MANHATTAN IL - DIFE LAKE

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No. Description

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05/20/2025

Project no.:

23.43.25

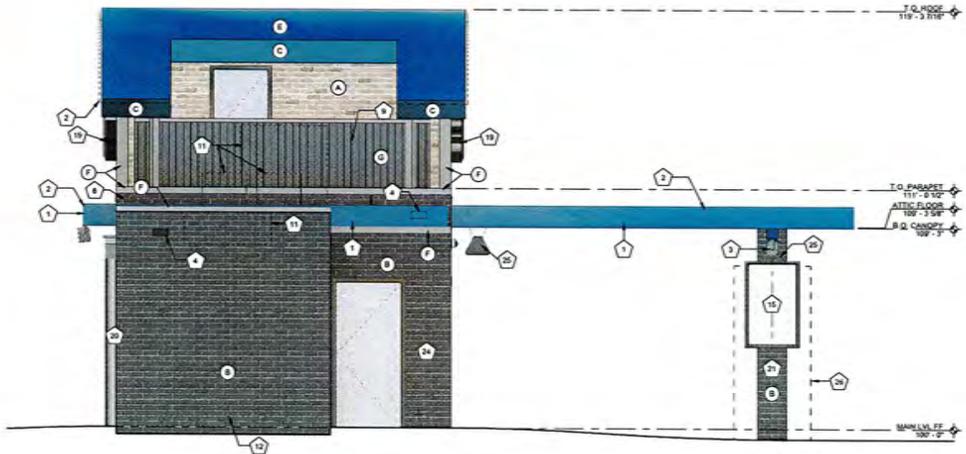
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EXTERIOR ELEVATION

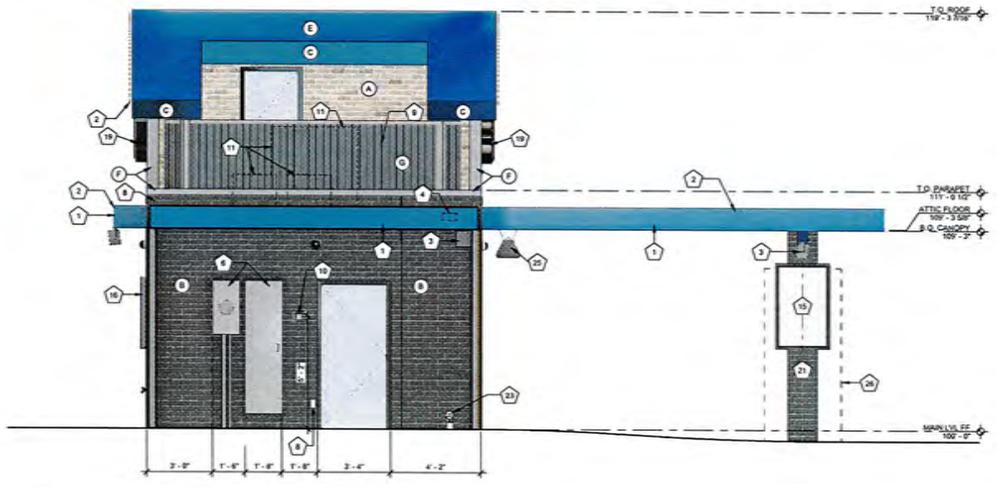
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2 EXTERIOR ELEVATION - BACK W/ COOLER
3/8" = 1'-0"



1 EXTERIOR ELEVATION - BACK
3/8" = 1'-0"

EXTERIOR ELEVATION MATERIALS LEGEND	
MARK	DESCRIPTION
A	ARCHITECTURAL CEMENT BOARD SIDING (BRK-2)
B	ARCHITECTURAL CEMENT BOARD SIDING (BRK-1)
C	BRAKE METAL FASCIA (MP-2)
D	SOFFIT PANELS (MP-2)
E	STANDING SEAM ROOF PANELS (MP-2)
F	METAL BRAKE CAP (MP-3)
G	SCREENING METAL PANEL (MP-1)

EXTERIOR ELEVATION KEYNOTES	
MARK	DESCRIPTION
1	PRE-ENGINEERED ALUMINUM CANOPY BY OTHERS; REF STRUCTURAL
2	SURFACE-MOUNTED LED NEON FLEX LIGHTING AS INDICATED (SHOWN DASHED), TYP. REF ELECTRICAL
3	MOUNTED SPEAKER SYSTEM; REF SYSTEMS PLAN
4	THROUGH-WALL ROOF SCUPPER; TYP
5	ADDRESS NUMBERS TO BE 8" TALL x 2" BRUSH STROKE
6	ELECTRICAL EQUIPMENT, PAINTED TO MATCH BUILDING; REF ELECTRICAL
7	FROST-PROOF FLUSH HOSE BIB
8	EXTERIOR WEATHER-PROOF OUTLET; REF ELECTRICAL
9	GUARDRAIL, 3' - 6" ABOVE ATTIC FLOOR; CLAD W/ MP-1
10	KNOX BOX
11	OUTLINE OF MECHANICAL UNIT BEYOND
12	PREFABRICATED COOLER BY NATIONAL MODULAR MANUFACTURING; COORD. LOCATION & SPECS WITH CIVIL & STRUCT
13	COOLER LOCK & CONTROLS
14	36" COOLER DOOR
15	SAMSUNG DIGITAL DISPLAYS, INSTALLED IN FIELD BY IT PROVIDER; CHASE FOR DATA CABLE INSTALLED AT BUILDING MANUFACTURING FACILITY
16	SURFACE-MOUNTED LIGHTED SIGN BOX
17	ROUND STOREFRONT SIGN; SUPPLIED AND INSTALLED BY SIGN CONTRACTOR
18	1/4" THICK ACRYLIC SIGNAGE APPLIED TO SIDING WITH VH DOUBLE SIDE TAPE
19	ILLUMINATED STOREFRONT SIGNAGE BY SIGN CONTRACTOR
20	EXPOSED DOWNSPOUT; GALVANIZED, PAINTED; CONNECT TO SUB-GRADE STORMWATER COLLECTION SYSTEM; REF CIVIL
21	STRUCTURAL CANOPY COLUMN W/ BRK-1 WRAP; RAINWATER DOWNSPOUT WITHIN; CONNECT BASE OF CANOPY COLUMN DOWNSPOUT TO STORMWATER MANAGEMENT SYSTEM; REF CIVIL
22	PAINTED STRUCTURAL CANOPY COLUMN; REF CIVIL
23	DOWNSPOUT OUTLET; CONNECT TO SUBGRADE STORMWATER CONNECTION; REF CIVIL
24	SITE CONSTRUCTED SCREEN WALL
25	CANOPY HEATER
26	WARMING HUT



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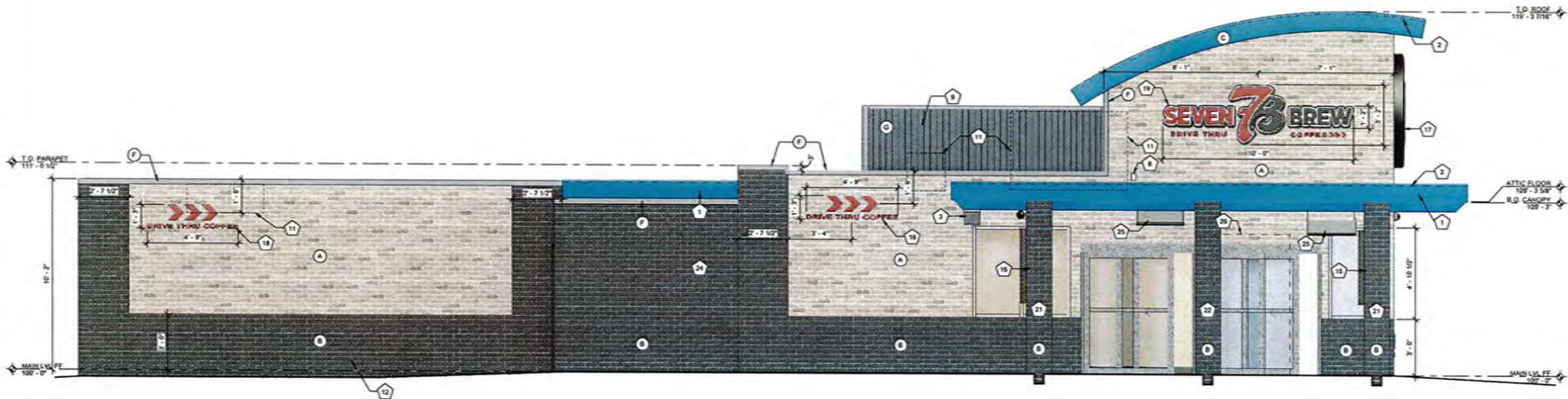
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7 Brew Template V1.0

EXTERIOR ELEVATION MATERIALS LEGEND	
MARK	DESCRIPTION
A	ARCHITECTURAL CEMENT BOARD SIDING (BRK-2)
B	ARCHITECTURAL CEMENT BOARD SIDING (BRK-1)
C	BRAKE METAL FASCIA (MP-2)
D	SOFFIT PANELS (MP-2)
E	STANDING SEAM ROOF PANELS (MP-2)
F	METAL BRAKE CAP (MP-3)
G	SCREENING METAL PANEL (MP-1)

EXTERIOR ELEVATION KEYNOTES	
MARK	DESCRIPTION
1	PRE-ENGINEERED ALUMINUM CANOPY BY OTHERS, REF STRUCTURAL
2	SURFACE-MOUNTED LED NEON FLEX LIGHTING AS INDICATED (SHOWN DASHED), TYP. REF ELECTRICAL
3	MOUNTED SPEAKER SYSTEM, REF SYSTEMS PLAN
4	THROUGH-WALL ROOF SCUPPER, TYP
5	ADDRESS NUMBERS TO BE 8" TALL x 2" BRUSH STROKE
6	ELECTRICAL EQUIPMENT, PAINTED TO MATCH BUILDING, REF ELECTRICAL
7	FROST-PROOF FLUSH HOSE BIB
8	EXTERIOR WEATHER-PROOF OUTLET, REF ELECTRICAL
9	GUARDRAIL, 3'-8" ABOVE ATTIC FLOOR, CLAD W/ MP-1
10	KNOX BOX
11	OUTLINE OF MECHANICAL UNIT BEYOND
12	PREFABRICATED COOLER BY NATIONAL MODULAR MANUFACTURING, COORD LOCATION & SPECS WITH CIVIL & STRUCT
13	COOLER LOCK & CONTROLS
14	30" COOLER DOOR
15	SAMSUNG DIGITAL DISPLAYS, INSTALLED IN FIELD BY IT PROVIDER, CHASE FOR DATA CABLE INSTALLED AT BUILDING MANUFACTURING FACILITY
16	SURFACE-MOUNTED LIGHTED SIGN BOX
17	ROUND STOREFRONT SIGN, SUPPLIED AND INSTALLED BY SIGN CONTRACTOR
18	1/4" THICK ACRYLIC SIGNAGE APPLIED TO SIDING WITH VHM DOUBLE SIDE TAPE
19	ILLUMINATED STOREFRONT SIGNAGE BY SIGN CONTRACTOR
20	EXPOSED DOWNSPOUT, GALVANIZED, PAINTED, CONNECT TO SUB-GRADE STORMWATER COLLECTION SYSTEM, REF CIVIL
21	STRUCTURAL CANOPY COLUMN W/ BRK-1 WRAP, RAINWATER DOWNSPOUT WITHIN, CONNECT BASE OF CANOPY COLUMN DOWNSPOUT TO STORMWATER MANAGEMENT SYSTEM, REF CIVIL
22	PAINTED STRUCTURAL CANOPY COLUMN, REF CIVIL
23	DOWNSPOUT OUTLET, CONNECT TO SUBGRADE STORMWATER CONNECTION, REF CIVIL
24	SITE CONSTRUCTED SCREEN WALL
25	CANOPY HEATER
26	WARMING HUT



1 EXTERIOR ELEVATION - RIGHT
3/8" = 1'-0"



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sheet contents: EXTERIOR ELEVATION

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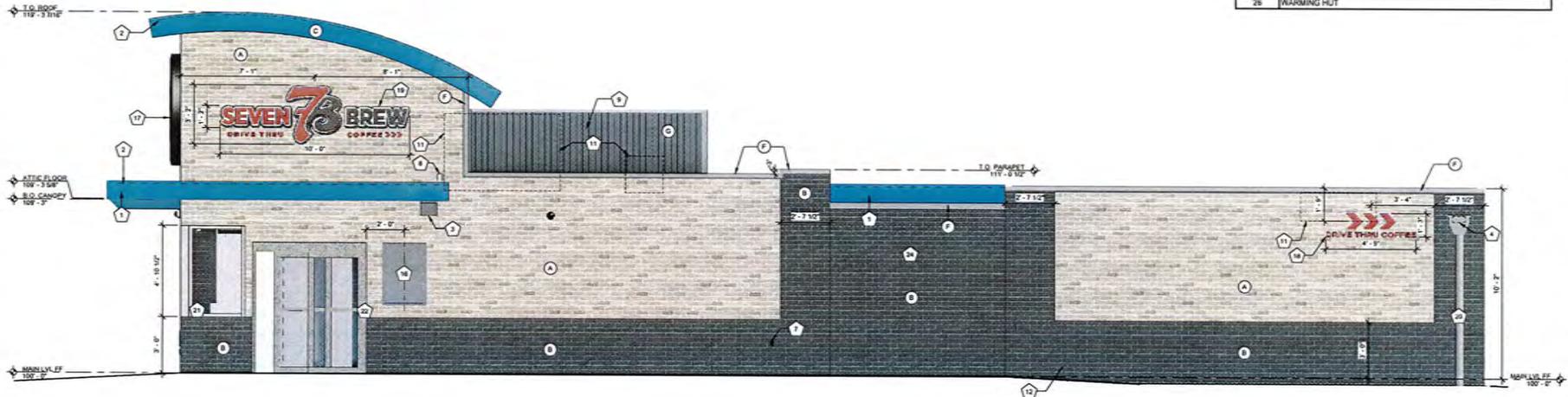
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EXTERIOR ELEVATION MATERIALS LEGEND

MARK	DESCRIPTION
A	ARCHITECTURAL CEMENT BOARD SIDING (BRK-2)
B	ARCHITECTURAL CEMENT BOARD SIDING (BRK-1)
C	BRAKE METAL FASCIA (MP-2)
D	SOFFIT PANELS (MP-2)
E	STANDING SEAM ROOF PANELS (MP-2)
F	METAL BRAKE CAP (MP-3)
G	SCREENING METAL PANEL (MP-1)

EXTERIOR ELEVATION KEYNOTES

MARK	DESCRIPTION
1	PRE-ENGINEERED ALUMINUM CANOPY BY OTHERS, REF STRUCTURAL
2	SURFACE MOUNTED LED NEON FLEX LIGHTING AS INDICATED (SHOWN DASHED), TYP. REF ELECTRICAL
3	MOUNTED SPEAKER SYSTEM, REF SYSTEMS PLAN
4	THROUGH-WALL ROOF SCUPPER, TYP
5	ADDRESS NUMBERS TO BE 6" TALL x 2" BRUSH STROKE
6	ELECTRICAL EQUIPMENT, PAINTED TO MATCH BUILDING, REF ELECTRICAL
7	FROST-PROOF FLUSH HOSE BIB
8	EXTERIOR WEATHER-PROOF OUTLET, REF ELECTRICAL
9	GUARDRAIL, 3' - 6" ABOVE ATTIC FLOOR, CLAD W/ MP-1
10	KNOX BOX
11	OUTLINE OF MECHANICAL UNIT BEYOND
12	PREFABRICATED COOLER BY NATIONAL MODULAR MANUFACTURING, COORD. LOCATION & SPECS WITH CIVIL & STRUCT
13	COOLER LOCK & CONTROLS
14	36" COOLER DOOR
15	SAMSUNG DIGITAL DISPLAYS, INSTALLED IN FIELD BY IT PROVIDER, CHASE FOR DATA CABLE INSTALLED AT BUILDING MANUFACTURING FACILITY
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22	PAINTED STRUCTURAL CANOPY COLUMN, REF CIVIL
23	DOWNSPOUT OUTLET, CONNECT TO SUBGRADE STORMWATER CONNECTION, REF CIVIL
24	SITE CONSTRUCTED SCREEN WALL
25	CANOPY HEATER
26	WARMING HUT



1 EXTERIOR ELEVATION - LEFT
3/8" = 1'-0"

7 BREW DRIVE THRU - WHEATON IL - RICE LAKE
WHOBREW, LLC
MANITOWISH - SHIRE LAKE

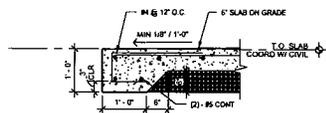
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project no.
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sheet contents:
EXTERIOR ELEVATION

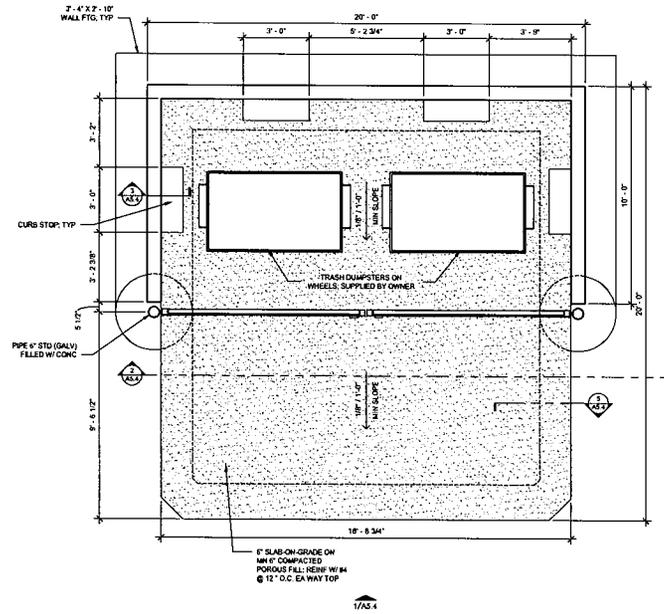
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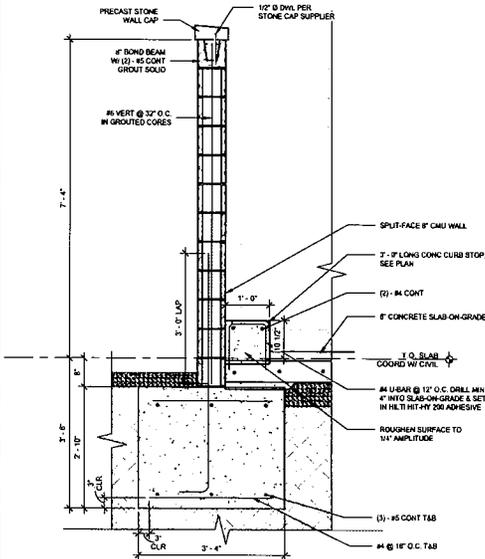


5 TRASH ENCLOSURE APRON DETAIL
3/4" = 1'-0"

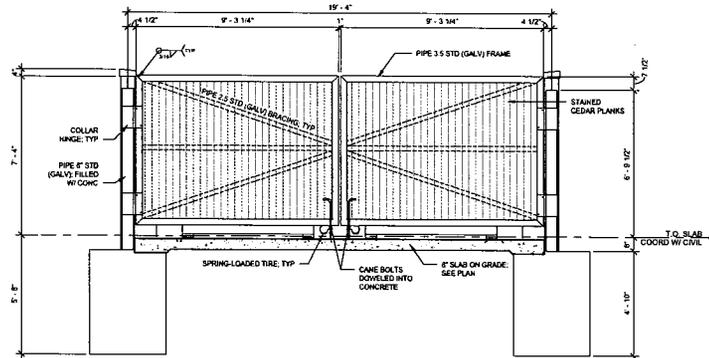


4 TRASH ENCLOSURE PLAN
3/8" = 1'-0"

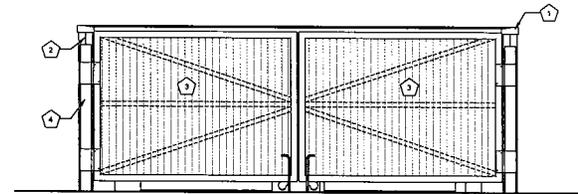
Note Number	Note Text
1	MASONRY CAP ON TOP OF CMU WALL; COLOR TO MATCH ZINC GREY MP-3
2	SPLIT FACE CMU; COLOR TO MATCH MIDNIGHT BRK-1
3	1X6 VERTICAL CLEAR SEALED CEDAR PLANKS
4	ALL METAL FRAMING, POST AND HARDWARE 1 COAT POR-15 PRIMER AND 2 COATS FINISH PAINT TO BE OIL BASED; COLOR TO MATCH ROYAL BLUE MP-2



3 TRASH ENCLOSURE WALL SECTION
3/4" = 1'-0"



2 TRASH ENCLOSURE SECTION
3/8" = 1'-0"



1 TRASH ENCLOSURE ELEVATION
3/8" = 1'-0"



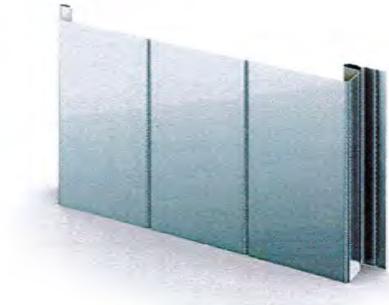
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TRASH ENCLOSURE

Sheet no.:
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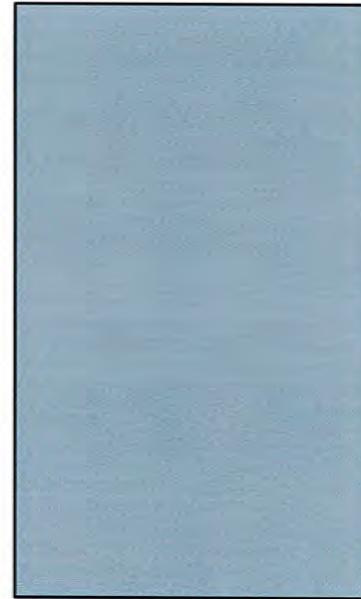
SCREENING METAL PANEL MP-1

BRAND: BERRIDGE
COLOR: ZINC GREY
FINISH: LOW SHEEN SMOOTH - REFLECTIVITY .39



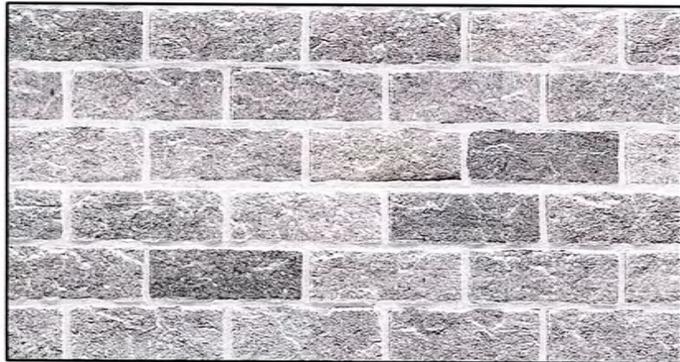
BLUE METAL PANEL MP-2

BRAND: BERRIDGE
COLOR: ROYAL BLUE
FINISH: LOW SHEEN SMOOTH - REFLECTIVITY .26



COPING TRIM METAL MP-3

BRAND: BERRIDGE
COLOR: ZINC GREY
FINISH: LOW SHEEN SMOOTH - REFLECTIVITY .39



FIBER-CEMENT PANEL SIDING - BRK-2

BRAND: NICHIIA
COLOR: SHALE BROWN
FINISH: CANYON BRICK



FIBER-CEMENT PANEL SIDING - BRK-1

BRAND: NICHIIA
COLOR: MIDNIGHT
FINISH: MODERN BRICK

23.43.25
7 BREW DRIVE THRU -
WHEATON IL - RICE
LAKE
05/20/2025

MATERIAL COLOR
BOARD



23.43.25
7 BREW DRIVE THRU -
WHEATON IL - RICE
LAKE
05/20/2025

RENDERINGS

January 27, 2026

Wheaton Planning and Zoning Board
303 West Wesley Street
Wheaton, IL 60187

RE: *ZA #26-04/ PUD Amendment and Special Use/ Rice Lake Square Shopping Center/ Seven Brew*

Dear Members of the Board:

Attached to this memorandum is an application requesting an amendment to a special use permit for a planned unit development to allow the construction and use of a one-story, 900 square foot coffee stand on a leased parcel of land in the Rice Lake Square Shopping Center parking lot between the former Houlihan's restaurant (at 321 Rice Lake Square) and Studio Movie Grill (at 301 Rice Lake Square). The property is zoned C-5 Planned Commercial District.

The application is further requesting a special use permit to Article 20.3 of the Wheaton Zoning Ordinance to allow sales or service directly to customers in vehicles.

The application has been submitted by Who Brew IL II LLC, 100 Powell Place, Suite 1320, Nashville, TN 37204 on behalf of the property owner, Core Rice Lake LLC, PO Box 1243, Northbrook, IL 60065.

Zoning Analysis

Proposal: An application requesting an amendment to a special use permit for a planned unit development to allow the construction and use of a one-story, 900 square foot coffee stand on a leased parcel of land in the Rice Lake Square Shopping Center parking lot between the former Houlihan's restaurant (at 321 Rice Lake Square) and Studio Movie Grill (at 301 Rice Lake Square). The property is zoned C-5 Planned Commercial District.

The application is further requesting a special use permit to Article 20.3 of the Wheaton Zoning Ordinance to allow sales or service directly to customers in vehicles.

Applicant: The application has been submitted by Who Brew IL II LLC, 100 Powell Place, Suite 1320, Nashville, TN 37204 on behalf of the property owner, Core Rice Lake LLC, PO Box 1243, Northbrook, IL 60065.

Subject Property: Rice Lake Square Shopping Center, Wheaton, IL 60187

Zoning Classification: C-5 Planned Commercial District



WHEATON MAYOR PHILIP J. SUESS

CITY MANAGER MICHAEL DZUGAN

CITY COUNCIL: ERICA BRAY-PARKER | LEAH BRICE | SCOTT BROWN | BRADLEY CLOUSING | LYNN ROBBINS | SCOTT WELLER

Surrounding Conditions: North: Commercial Properties/C-5 Planned Commercial District
 East: Commercial Properties/C-5 Planned Commercial District
 South: Commercial Properties/C-5 Planned Commercial District
 West: Commercial Properties/C-5 Planned Commercial District

Planning Department Comments

Background

Seven Brew was founded in Rogers, AR in 2017 and has more than 500 coffee stands nationwide. The store specializes in espresso-based drinks, chillers, teas, infused energy drinks, sodas and smoothies. Seven Brew is a drive-thru concept with a dual drive-thru configuration. The closest existing Seven Brew is located at 1203 Iroquois Avenue in Naperville.

Hours of operation are 5:30 a.m. to 10 p.m. weekdays and 5:30 a.m. to 11 p.m. weekends. Seven Brew operates with up to 5 employees at peak times. On average, each stand generates 750 orders per day, serving an estimated 1,125 customers daily.

Site Plan and Landscaping

The applicant is proposing to lease a parcel of land in the shopping center parking lot between the former Houlihan's restaurant (at 321 Rice Lake Square) and Studio Movie Grill (at 301 Rice Lake Square). The site plan shows dual drive-thru lanes, operating in a counterclockwise direction, that wrap around the building. The site has been designed to accommodate stacking for 44 vehicles on-site. Parking of 14 spaces, including one ADA space, is proposed just west of the building. Sixty (60) shopping center parking spaces would be sacrificed for this development. However, if this request is approved, the parking for the shopping center would still be compliant with six spaces per 1,000 sf of space. A dumpster enclosure is proposed on the north edge of the leased parcel.

New landscaping is planned along the west side of East Loop Road, around the proposed dumpster enclosure, on the east side of the building and along the exit drive from the leased parcel to the shopping center parking lot. The plan includes a mix of canopy and ornamental trees, deciduous and evergreen shrubs, perennials and ornamental grasses.

Floor Plan and Building Elevations

The building is designed with a covered employee entry in the middle of the structure with an access hall, service area, and bathroom to the south and a storage area and cooler to the north.

Per the building elevations, the building will be clad with fiber cement panel siding with finishes of canyon brick in shale brown and modern brick in midnight. The building elevations also show blue metal panels and zinc grey metal coping trim. Two roof-top mechanical units are proposed. The building elevations show the units being screened by a metal screening panel in zinc grey. Article 3.4C.2 of the Wheaton Zoning Ordinance requires that any such units are fully screened by a building parapet wall equal in height to the units. Staff recommends that the building parapet wall be raised to fully screen the rooftop mechanical units.

Special Use Permit

A special use permit is required to amend the existing planned unit development and to allow sales or service directly to customers in vehicles. According to Article 5.10D of the Wheaton Zoning Ordinance, the applicant must provide sufficient evidence at the public hearing that the following special use permit will be met:

1. The establishment, maintenance, or operation of the special use shall not be detrimental to the public health, safety, morals, comfort, convenience, and general welfare.
2. The special use shall not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, not substantially diminish property values within the neighborhood.
3. The establishment of the special use shall not impede the normal and orderly development and improvement of the surrounding property for uses already permitted.
4. Adequate utilities, access ways, drainage, and other necessary facilities shall be provided.
5. Adequate measures shall be taken to provide ingress and egress designed to minimize traffic congestion in the public streets.
6. The special use shall comply with the objectives of the Wheaton Comprehensive Plan.
7. The special use shall conform to the applicable requirements of the district in which it is located as well as any other applicable requirements of this ordinance, except as many be varied by the Planning and Zoning Board or City Council.

Engineering Department Comments

The subject site does not contain a floodplain or a wetland pursuant to the regulatory maps used for such determinations.

The proposed project is located in a current stormwater detention area and is displacing existing stormwater detention volume with the proposed construction. This stormwater detention volume is required to be compensated for, and it is proposed to be provided for in the proposed underground storage system. The proposed development also triggers the City of Wheaton requirement to provide detention for the project. The additional detention required for the project is also located in the proposed underground storage system.

The proposed development does not meet the trigger to provide a Best Management Practice (BMP) to reduce pollutants in their stormwater discharge.

The proposed development has provided a traffic report for the development by KLOA, Inc titled "Traffic Impact Study - Proposed 7 Brew Coffee Shop". The proposed use of a Coffee Shop is one of, if not the highest driver of traffic queueing and congestion issues possible. The existing Seven Brew locations in Lake Zurich and Naperville are very busy locations. The location in Naperville, for example, has an on-site queue of only 23 vehicles provided, but the queue line based on traffic observations by KLOA in March and May of 2025 showed a maximum queue of 71 vehicles, which stretches down the adjoining side street and at times onto the adjoining major roadway. It should be noted that the time period that this queue length was observed does directly correlate to the same time period when there was only a total of 4 Chicagoland stores open. Since that time, three additional Chicagoland stores are now open and the maximum observed queue at the Naperville store has decreased to 55 vehicles per a KLOA

report dated December of 2025. Seven Brew has continued their roll out into the Chicagoland market and have proposed additional locations which would decrease the pull into the proposed Wheaton location (See attached map of open locations, locations under construction, locations in permitting, and locations proposed but not through zoning). The nearest store that would affect this is a Bloomingdale location which is already under construction and expected to open in early March of 2026. A second store in Bloomingdale has also already made it through all zoning applications and is now in final permitting.

Throughout the pre-application process and the development of this Zoning Application, the applicant has listened to Staff concerns and has improved the proposed plan to currently show an available queueing "on-site" of 44 vehicles. The provided traffic report states that when the market stabilizes, it is estimated that the total queue at the Wheaton location will be a peak of 33 to 35 vehicles. Current Staff concern relates to the fact that there is no definitive timeline as to when the market could stabilize. Additionally, while there is large availability to queue vehicles throughout the existing shopping center parking lot, the question remains as to whether onsite staff will be able to manage a large queueing event and keep the queue off the adjoining East Loop Road. Any queueing on East Loop Road would significantly disrupt traffic flow and is deemed unacceptable by City Staff.

In order to safeguard against any queueing on East Loop Road during a high queue event, the applicant has provided a Drive Through Traffic Exhibit which routes traffic through the shopping center parking lot and provides an approximate additional queueing for 46 vehicles above the "on-site" queue of 44 vehicles. If managed by on-site Staff, the maximum available queue provided would be 90 vehicles, which is above the maximum observed at the Naperville store in the KLOA Traffic Impact Study for the proposed 7 Brew Coffee Shop.

Based on the Traffic Reports provided and the Drive Through Traffic Exhibit, Staff believes that while there is the possibility of traffic congestion problems due to the new Seven Brew location in the Rice Lake Square Shopping Center, adequate provisions have been made to safeguard against problems. However, Engineering Staff recommends the addition of the following condition:

"No queueing from the subject property shall be allowed to occur onto the East Loop Road right-of-way and all queueing must be contained on-site at the subject property. Staff shall be provided by the applicant during all hours of operation to monitor the queue, direct traffic as needed in the shopping center, and manage the queueing throughout the shopping center parking lot to prevent the queue from extending onto East Loop Road at either the entrance north or south of the proposed development."

The preliminary engineering plan shall be subject to further staff review prior to the issuance of a site development permit.

Staff Recommendation

While the City would like to see additional development at the Rice Lake Square Shopping Center, staff does not want it to come at the expense of the existing tenants or the public trying to navigate through the area. At the public hearing, the applicant should provide adequate testimony to address the traffic/

queueing concerns discussed in this report and the special use standards. If the applicant is able to provide this testimony, staff would be supportive of granting this request, subject to the following conditions:

1. Staff recommends that the building parapet wall be raised to fully screen the rooftop mechanical units;
2. No queueing from the subject property shall be allowed to occur onto the East Loop Road right-of-way and all queueing must be contained on-site at the subject property. Staff shall be provided by the applicant during all hours of operation to monitor the queue, direct traffic as needed in the shopping center, and manage the queueing throughout the shopping center parking lot to prevent the queue from extending onto East Loop Road at either the entrance north or south of the proposed development; and
3. The preliminary engineering plan shall be subject to further staff review prior to the issuance of a site development permit.

Respectfully submitted,



Joseph E. Tebrugge, PE
Director of Engineering



Tracy L. Jones, AICP
Staff Planner

Attachments



Response to Standards in Article 5.10.D of Zoning Ordinance:

1. *The establishment, maintenance, or operation of the special use shall not be detrimental to the public health, safety, morals, comfort, convenience, and general welfare.*

The project will not be detrimental to public health, safety, morals, comfort, convenience, or general welfare. The site will meet all City building, fire, and safety codes. The drive-through will adequately address traffic through appropriate vehicle stacking and circulation. The project will activate an underutilized parking lot, providing the public with a convenient drive-through coffee option within the commercial corridor.

2. *The special use shall not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, not substantially diminish property values within the neighborhood.*

The proposed drive-through coffee shop is compatible with the surrounding commercial uses, which include a movie theater, restaurants, and a variety of stores. The use will not negatively impact neighboring properties or property values but rather enhance use of this area by encouraging drive-by traffic of the various adjoining retail establishments.

3. *The establishment of a special use shall not impede the normal and orderly development and improvement of the surrounding property for uses already permitted.*

The C-5 Planned Commercial District is intended for commercial and service-oriented uses such as restaurants and coffee shops, and this proposal is fully consistent with that intent. Infill of underutilized parking is a logical improvement of the surrounding property, and a Special Use for a drive-through establishment will improve the diversity of service options in the commercial corridor.

4. *Adequate utilities, access ways, drainage, and other necessary facilities shall be provided.*

The site is currently served by all necessary public utilities, including water, sanitary sewer, and electric service. A Stormwater Management Report will be submitted with this application to demonstrate that the redevelopment will meet all City of Wheaton and DuPage County requirements. The project will incorporate appropriate grading, drainage, and detention facilities to manage runoff and prevent any adverse impact to neighboring properties.

5. *Adequate measures shall be taken to provide ingress and egress designed to minimize traffic congestion in the public streets.*



Adequate measures have been taken to provide safe and efficient ingress and egress while minimizing traffic impacts on surrounding streets. A Traffic Impact Study, prepared by a professional transportation engineer, will be submitted with this application. The report analyzes existing and projected traffic conditions and concludes that the proposed use can operate safely within the existing roadway network. The site plan accommodates ample on-site vehicle stacking within dual drive-through lanes, preventing queueing onto public streets.

6. *The special use shall comply with the objectives of the Wheaton Comprehensive Plan.*

The Special Use will comply with the objectives of the City of Wheaton's Comprehensive Plan. The project will enhance the corridor's vitality, encourage investment, and contribute to the City's ongoing commercial development goals. The proposed 7 Brew will meet the Comprehensive Plan's goal to provide local jobs and convenient shopping opportunities for Wheaton residents, and it will provide highly sought-after entry levels jobs for the community.

7. *The special use shall conform to the applicable requirements of the district in which it is located, as well as other applicable requirements of this ordinance, except as may be varied by the Board or City Council.*

The project will comply with all applicable requirements of the C-5 Planned Commercial District and other provisions of the City's Zoning Ordinance. All building, landscape, lighting, and signage requirements will be met or exceeded. Any necessary variations or site-specific approvals will be clearly identified and justified as part of this application.

MEMORANDUM

TO: The Honorable Mayor and City Council

FROM: Tracy L. Jones, AICP, Staff Planner *TJ*
Joseph E. Tebrugge, PE, Director of Engineering

DATE: February 17, 2026

SUBJECT: ZA #25-25/ Special Use/ 2175 W. Roosevelt Road/ Mister Car Wash

Request

Consideration of a special use permit pursuant to Article 20.3 of the Wheaton Zoning Ordinance to allow the construction and use of a 4,800 square-foot car wash located at the site of a former McDonald's restaurant at 2175 W. Roosevelt Road.

Planning and Zoning Board Recommendation

On Tuesday, October 28, 2025, the Planning and Zoning Board held a public hearing on this application and recommended approval of the special use request, with a 6-0 vote, subject to the following conditions:

1. The property owner shall either dedicate right-of-way to the State based upon the State's current takings plan (and revise their site plan to adhere to the applicable Wheaton Zoning Ordinance setback requirements from the new property line) or revise their site plan to adhere to the applicable Wheaton Zoning Ordinance setback requirements from where the State's current takings plan indicates the property line will be. (Since the conclusion of the public hearing, however, the City Attorney has opined that the City cannot require a right-of-way dedication.)
2. The height of the proposed parapet shall fully screen the rooftop mechanical units as required by Article 3.4C.2 of the Wheaton Zoning Ordinance.
3. The light levels from the building and parking lot lights shall not exceed .5 footcandles at the property lines and all lighting must direct light downward as required by Article 22.4.9 of the Wheaton Zoning Ordinance.
4. The applicant shall install silencers on the dryer blowers and the 8-foot-tall wall at the tunnel exit per the recommendations of the noise impact study.
5. The monument sign shall be relocated to an alternate location 10 feet from where the State's current takings plan indicates the property line will be and maintain a maximum height of 7 feet as required by the Wheaton Zoning Ordinance.
6. The preliminary engineering plan shall be subject to further staff review prior to the issuance of a site development permit.
7. The existing curb cut onto County Farm Road shall be restricted to right-in right-out.

Several property owners submitted emails in opposition to the proposed car wash. Most of these property owners don't feel a car wash is needed at this location and would prefer to see another food and/or beverage user instead of the proposed use.

WHEATON MAYOR PHILIP J. SUESS



CITY MANAGER MICHAEL DZUGAN

Site Plan

The proposed development consists of a 4,800 square-foot car wash with 21 vacuum stations and 3 employee parking spaces. Access to the site would be provided via the existing curb cut on County Farm Road and the westernmost shopping center curb cut on Roosevelt Road. The car wash would operate in a clockwise direction around the perimeter of the building with three queueing lanes. Vacuum stations and employee parking are proposed on the north side of the building.

Potential Illinois Department of Transportation (IDOT) Taking

The Illinois Department of Transportation (IDOT) is considering a potential taking at the intersection of Roosevelt and County Farm Roads to accommodate additional turn lanes (please see the IDOT ROW Taking Exhibit for reference). As currently designed, the proposed IDOT taking includes 18.5 feet of property along the east side of County Farm Road and 28.5 feet of property along the north side of Roosevelt Road.

While the plan is fully compliant with the bulk regulations contained in Article 20.5 of the Wheaton Zoning Ordinance as the property currently exists prior to the taking, at the time of public hearing, the applicant was proposing a 9.9-foot landscape setback on Roosevelt Road in lieu of the required 15.0-foot landscape setback from the proposed IDOT taking line, or an encroachment of 5.1 feet.

Changes/ Modifications to Site Plan since the Public Hearing

Following the public hearing, the applicant made several revisions to the site plan in an attempt to provide a 15.0-foot landscape setback on Roosevelt Road following the taking. These revisions resulted in the site plan not meeting the 8.0-foot foundation landscaping requirement on both the north and south sides of the building. The applicant was advised that any reduction to the foundation landscape requirement would require a new public hearing for a zoning variation. To address this issue, the applicant further revised their site plan to comply with the foundation landscaping requirement but this resulted in a 6.5-foot landscape setback on Roosevelt Road in lieu of the required 15.0-foot landscape setback from the proposed IDOT taking line, or an encroachment of 8.5 feet (please see the attached site plan revised January 12, 2026 and the letter from the applicant dated February 9, 2026 for reference).

Special Use Permit

A special use permit is required for a car wash. According to Article 5.10D of the Wheaton Zoning Ordinance, the applicant must provide sufficient evidence at the public hearing that the following special use permit will be met:

1. The establishment, maintenance, or operation of the special use shall not be detrimental to the public health, safety, morals, comfort, convenience, and general welfare.
2. The special use shall not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, not substantially diminish property values within the neighborhood.
3. The establishment of the special use shall not impede the normal and orderly development and improvement of the surrounding property for uses already permitted.
4. Adequate utilities, access ways, drainage, and other necessary facilities shall be provided.
5. Adequate measures shall be taken to provide ingress and egress designed to minimize traffic congestion in the public streets.

6. The special use shall comply with the objectives of the Wheaton Comprehensive Plan.
7. The special use shall conform to the applicable requirements of the district in which it is located as well as any other applicable requirements of this ordinance, except as many be varied by the Planning and Zoning Board or City Council.

The proposed plan does not comply with the landscape setback requirement on Roosevelt Road following the taking by the state.

Floor Plan and Building Elevations

The floor plan includes a business area, office, break room, restrooms, mechanical room, and wash tunnel. The elevations include a mix of white stone veneer, tumbleweed and brown brick veneer, and a small amount navy synthetic stucco at the building's cornice, all in compliance with the City's masonry requirement. Aluminum storefront systems with clear glass doors and dark bronze frames are proposed.

The building elevations provided do not illustrate any rooftop mechanical units. Article 3.4C.2 of the Wheaton Zoning Ordinance requires that any such units be fully screened by a building parapet wall equal in height to the units. At the public hearing, the applicant stated that they were agreeable to this requirement and provided a building section that was in compliance.

Lighting and Noise Levels

A photometrics plan has been submitted as part of this application. The plan shows light levels up to 1.0 footcandles along the north property line. Per the requirements of Article 22.4.9 of the Wheaton Zoning Ordinance, the light levels from the building and parking lot lights should not exceed .5 footcandles at the property lines and all lighting must direct light downward. At the public hearing, the applicant stated that they were agreeable to this requirement and provided a revised photometrics plan that was in compliance.

A noise impact study has also been submitted as part of this application. Based on this study, the applicant is proposing that silencers be installed on the dryer blowers to reduce noise levels to comply with the city's daytime noise limit for commercial properties of 62 db. However, even with the silencers, noise levels would still exceed the city's daytime noise limit for residential properties of 55db (Marian Park Apartments located south of the subject property). To address this, the applicant is further proposing the installation of an 8-foot-tall wall at the tunnel exit in order to comply with the city's daytime limit for residential properties.

Landscaping

A landscape plan has been submitted as part of this application. The plans shows a mix of trees, evergreen trees, shrubs, evergreen shrubs, and ornamental grasses. Most of the proposed landscaping is proposed at the car wash entrance and exit and along the north property line, to screen the vacuum and parking spaces from public view.

Monument Sign

A monument sign is proposed at the southwest corner of the site. Prior to the potential Illinois Department of Transportation (IDOT) taking (discussed in the Site Plan and Potential Illinois Department of Transportation Taking section above), the sign complies with the required 10-foot setback as the

property currently exists. However, after the IDOT taking, the sign will have almost no setback. The Board recommends that the monument sign be relocated to an alternate location 10 feet from where the State's current takings plan indicates the property line will be and maintain a maximum height of 7 feet as required by the Wheaton Zoning Ordinance.

Engineering Department Comments

The subject site does not contain a floodplain nor a wetland pursuant to the regulatory maps used for such determinations.

The proposed development triggers the City of Wheaton requirement to provide detention for the project. A preliminary stormwater report has been provided as a part of the planning and zoning submittal, and the proposed development plan shows detention being provided in an underground detention system. Final design of the required detention will be reviewed as a part of the site development permit to ensure that all City codes and policies are met.

The proposed development does not meet the trigger to provide a Best Management Practice (BMP) to reduce pollutants in their stormwater discharge.

The provided traffic report shows that the proposed use of a car wash is less intense compared to the previous use of a fast-food restaurant. As such, there will be a decrease in traffic on the site, and the use will not have a negative impact on the adjoining roadway system. Additionally, the traffic report delineates that sufficient stacking is being provided on site and queued traffic is not expected to affect Roosevelt Road nor County Farm.

The preliminary engineering plan shall be subject to further staff review prior to the issuance of a site development permit.

Staff Recommendation

As proposed, the plan complies with the landscape setback requirement along Roosevelt Road, as well as the foundation landscaping and monument sign setback requirements. However, following the proposed land acquisition by the state, the plan would no longer meet the required landscape setback along Roosevelt Road, or the monument sign setback standards.

Based on ongoing communication with the Illinois Department of Transportation, staff is confident that the widening of Roosevelt Road will move forward. The project is on an accelerated schedule, and quick-take actions are already underway. In light of the anticipated right-of-way acquisition, staff recommends that the applicant revise the site plan to ensure continued compliance with all applicable setback and landscaping requirements.

EXH

SHEET NUMBER

PROJECT NO.

DATE

ORIGINAL ISSUE

21 W ROOSEVELT ROAD

WHEATON, IL 60187

MISTER CAR WASH

IDOT ROW TAKING EXHIBIT

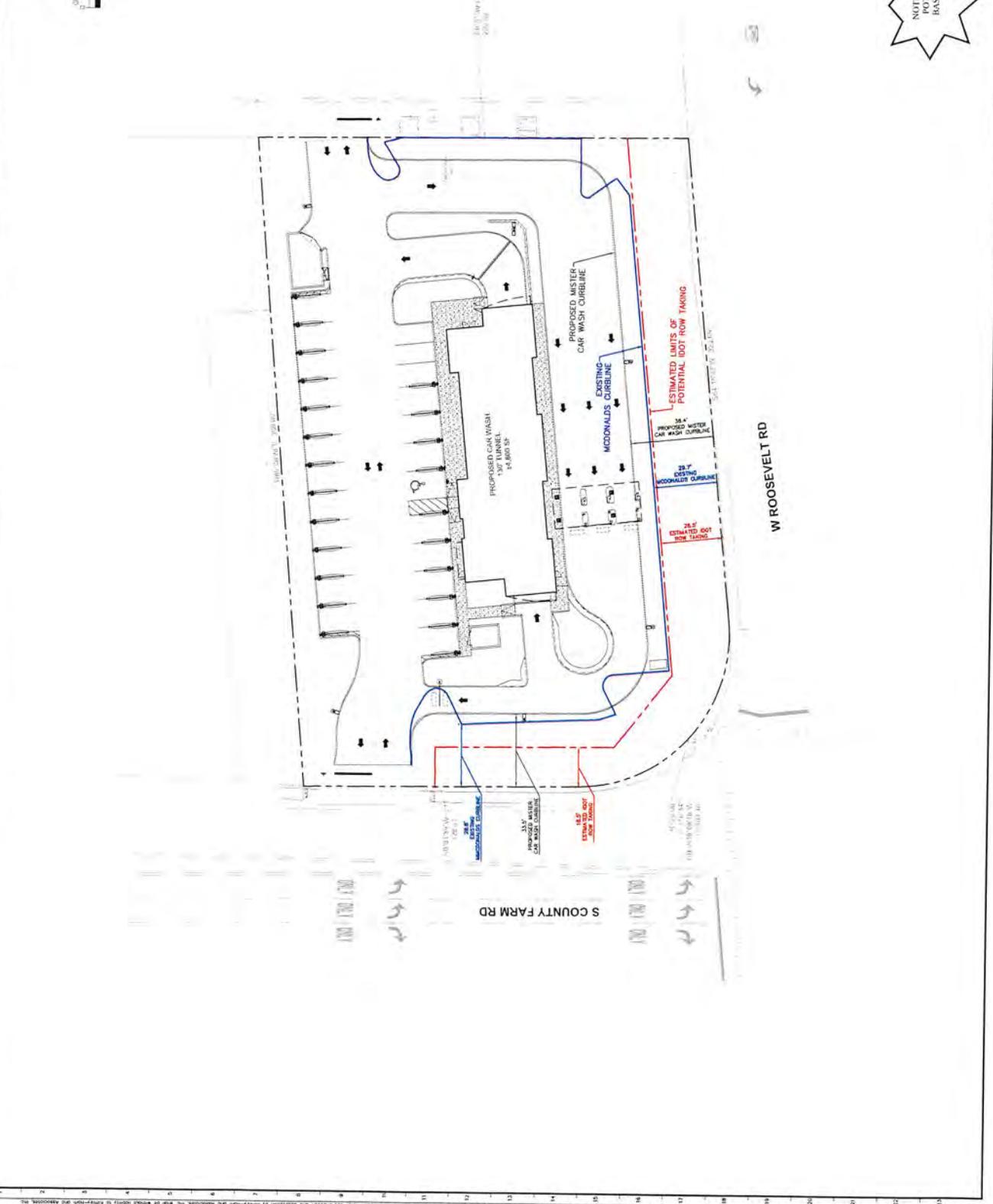
Mister

SCALE AS SHOWN
DRAWN BY: TRM
CHECKED BY: TRM
DATE: 08/11/2023

Kimley-Horn
2222 KIMLEY-HORN AVENUE
ANN ARBOR, MI 48106
PH: 734.769.1200
WWW.KH.COM

NO.	REVISIONS	DATE	BY

NOTE: THE ESTIMATED LIMITS OF THE POTENTIAL IDOT ROW TAKING ARE BASED ON CONCEPTUAL PLANS AND ARE YET TO BE APPROVED.



Kimley-Horn & Associates, Inc. (KHA) has prepared this plan for the project shown. KHA is not responsible for any errors or omissions in this plan or for any consequences arising therefrom. This plan is to be used only for the project and site shown. KHA is not responsible for any other use of this plan. KHA is not responsible for any other use of this plan. KHA is not responsible for any other use of this plan.



CWP West, LLC (d/b/a Mister Car Wash)
222 East Fifth Street
Tucson, AZ 85705

February 9, 2025

Jim Kozik, AICP
Director of Planning and Economic Development | City of Wheaton
303 West Wesley Street
Wheaton, IL 60187-0727

Dear Mr. Kozik,

On behalf of Mister Car Wash, I am writing to you regarding our request to be placed on the February 17 City Council meeting to discuss our proposed project at 2175 West Roosevelt Road. As you are aware, we presented our project to the Planning and Zoning Board on October 28. At that meeting we received unanimous approval with several conditions based on the Staff Recommendation. Mister Car Wash has committed to satisfying all the conditions except for one that we have been coordinating with you. That condition requires us to update our site plan to adhere to the City's Zoning Ordinance regarding setbacks, based on the potential future ROW from the expansion of Roosevelt Road and County Farm Road.

At the time of the Planning and Zoning Board meeting, we were able to provide a site plan that was compliant with the potential future setbacks except for a 5.1' encroachment into the Roosevelt Road front yard landscape setback. Based on several iterations to the site plan stemming from comments provided by the City, Mister Car Wash has prepared a revised site plan that has reduced the potential future encroachment down to a maximum of 1.5'. During the iterative process with you and your team, however, another issue was presented regarding the required building foundation landscaping we're currently providing. In order to move forward with the current design, the City would require a Zoning Variance to the ordinance.

Mister Car Wash has now provided a site plan with the necessary landscaping around the building while still meeting the current landscape setbacks along both Roosevelt Road and County Farm Road. We do understand, however, that the City's priority may be to accommodate the potential future landscape setbacks along Roosevelt Road due to the project listed above. Building foundation landscaping that has been added can be allocated to the buffer along Roosevelt Road if the City chooses to do so. To be fully compliant with current City ordinances at this time, we have made the following changes to our site plan:

- 1) **Northernmost Curb Line Adjustment**
 - a. The northernmost curb line along the vacuum stall area was rotated and moved to parallel both the 10' landscape setback and the 10' public utility easement owned by both the City and local utility providers.
- 2) **North Access Drive Width Reduction**
 - a. The width of the main drive aisle north of the building was reduced to 27'.
- 3) **South Building Sidewalk Reduction**
 - a. The sidewalk located along the south end of the building for our onsite staff was reduced to 4' in width and was reduced in length to terminate at the edge of our POS canopy.
- 4) **North and South Building Foundation Landscaping Addition**
 - a. To fully comply with City Ordinance, 3' of landscape buffer was added to the north side of the building to provide 8' of buffer inclusive of the sidewalk. 4' of landscape buffer was added to the south side of the building to provide 8' of buffer in total, inclusive of the sidewalk where it exists.



5) *POS Canopy Change and Access Drive Taper*

- a. By changing our Point-of-Sale canopy to a standard configuration rather than a cantilevered design as approved by the P&Z Board, we were able to reduce the width of our queueing drive to 33.5' from 34.5'. Also, the southernmost curb line was tapered to increase the landscape buffer along Roosevelt Road to the fullest extent possible. The taper results in a variable impact to the setback rather than a continuous one along the entire south property line.

We look forward to presenting this updated site plan to the City Council on the 17th. As we look to obtain our project's Special Use Permit approval, Mister Car Wash hopes this latest version of our site plan best meets both the current requirements of the City as well as the desire to have as much landscaping buffer along Roosevelt Road.

Sincerely,

A handwritten signature in black ink, appearing to read 'Peter Galzki'.

Peter Galzki, PE
Development Project Manager | Mister Car Wash
(612) 799-2903 | pgalzki@mistercarwash.com

Enclosure: Mister Car Wash Wheaton – Revised Site Plan

cc: Tracy Jones | Staff Planner | City of Wheaton
Chris Campbell | Director of Project Management and Engineering | Mister Car Wash
Taylor Eschbach | Project Manager | Kimely-Horn

Fw: Car Wash at County Farm/Roosevelt

From Andrea Rosedale <arosedale@wheaton.il.us>
Date Fri 10/31/2025 2:19 PM
To Tracy Jones <TJones@wheaton.il.us>; Jim Kozik <JKozik@wheaton.il.us>

FYI

Andrea Rosedale

Executive Assistant / City Clerk
City of Wheaton
www.wheaton.il.us
630.260.2012

From:
Sent: Thursday, October 30, 2025 12:02 PM
To: _City Council <_CityCouncil@wheaton.il.us>
Subject: Car Wash at County Farm/Roosevelt

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Dear Council Member—

I am responding to an article I just read on Patch that reports you are considering approval for a new car wash at the old McDonald's site on the corner of Roosevelt Rd and County Farm Rd.

Please do not allow this to happen. I live a few blocks from there and trade regularly at the stores at that mall. We do not need a car wash there—we need a food option at that site. Over the years we lost a Boston Market, the McDonald's, an Einstein Bagel store, all of which provided a variety of choices for shoppers and neighborhood customers, not to mention lunch options for the kids at St Francis across the street or travelers along Roosevelt and visitors/employees to the county offices just north of there. WE WANT FOOD SHOPS, NOT ANOTHER CAR WASH!!! The traffic issues on that corner will be intensified with a car wash, and the safety of kids from St Francis crossing into that area will be jeopardized significantly. Please, please, please do not capitulate to this ridiculous idea that has no merit for your constituents in the surrounding neighborhoods. We want a place where we can sit and have fellowship with other human beings, not a place that encourages car traffic and opportunities for

Sent from my iPhone
Patricia W. Edwards

Planning and Zoning -- reject Mister Car Wash special use permit

From

Date Tue 10/28/2025 12:09 PM

To Tracy Jones <TJones@wheaton.il.us>

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Hi Tracy,

I know there is a discussion tonight about the special use permit at 2175 W. Roosevelt Rd. for a Mister Car Wash.

I just wanted to express my concern with approving this plan for the town of Wheaton. As the owner of the Tommy's Express on the corner of Gary and Geneva, we are weeks away from opening our state-of-the-art car wash car wash and are excited to be the best option for all the residents of the town. We have been out in the community – downtown events, high-school football games, the Cosley Zoom etc. – and residents are very excited for us to begin operations. Our construction costs have been close to \$7M, as we are overinvesting to bring the highest quality equipment and customer service experience to the town and residents.

Simply put, the town does not need another car wash, particularly on Roosevelt Rd. And if this site does not live up to expectations the community will be saddled with another vacant lot, only this time handcuffed with very expensive, isosteric equipment. In Holland Michigan, a new Mister was put up in close proximity to a Tommy's and the Tommy's is one of the top performing sites in the system while the Mister is one of their lowest.

I believe residents would be much better served with a revitalization of that corner with new fast casual food to reinvigorate that entire shopping center. I am also certain that nearby residents will not be happy with the noise a car wash will generate, regardless of whatever sound mitigation is required.

I would appreciate it if you could pass along these sentiments to the planning and zoning board and I would be happy to talk with anyone involved who would like to hear my concerns.

I hope you will take this into consideration as you determine what is in the best interest of your residents and other local businesses.

Many thanks.

Best,
Zach Johnston

Owner, Tommy's Express on Gary and Geneva in Wheaton, IL

Re: Corner of Roosevelt and County Farm

From Tracy Jones <TJones@wheaton.il.us>

Date Tue 10/21/2025 7:54 AM

To

Received. I'll pass this on to the Planning and Zoning Board and City Council.

Tracy L. Jones, AICP

Staff Planner

City of Wheaton

www.wheaton.il.us

630.260.2080 desk

From:

Sent: Thursday, October 16, 2025 3:41 PM

To: Tracy Jones <TJones@wheaton.il.us>

Subject: Re: Corner of Roosevelt and County Farm

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Greetings!

I was referred to you by a fellow member of a Wheaton FB group. They stated there was a plan for a car wash at the old McDonalds on County Farm and Roosevelt. I just wanted to express as a resident that we don't really don't need another car wash locally. That corner needs some quality fast food restaurants. Panera, Chipotle, 5 Guys..anything.

Thank you for your attention to this matter.

Regards,

Jennifer Glaser

[Yahoo Mail: Search, Organize, Conquer](#)



Outlook

Re: Car Wash

From Tracy Jones <TJones@wheaton.il.us>

Date Thu 10/16/2025 8:06 AM

To

Received. I'll pass this on the Planning and Zoning Board and City Council.

Tracy L. Jones, AICP

Staff Planner

City of Wheaton

www.wheaton.il.us

630.260.2080 desk

From:

Sent: Wednesday, October 15, 2025 11:26 PM

To: Tracy Jones <TJones@wheaton.il.us>

Subject: Car Wash

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<https://aka.ms/LearnAboutSenderIdentification>]

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Do we really need yet another car wash?

Sent from my I-phone

Bernie Gerard

Re: Country farm rd/roosevelt rd hearing

From Tracy Jones <TJones@wheaton.il.us>

Date Thu 10/16/2025 8:06 AM

To

Received. I'll pass this on the Planning and Zoning Board and City Council.

Tracy L. Jones, AICP

Staff Planner

City of Wheaton

www.wheaton.il.us

630.260.2080 desk

From:

Sent: Wednesday, October 15, 2025 9:05 PM

To: Tracy Jones <TJones@wheaton.il.us>

Subject: Country farm rd/roosevelt rd hearing

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To whom it may concern..

Do we really need another car wash in Dupage county? Wouldn't Wheaton be better off with a Aldi grocery store in this location? Some time back, there was information floating around that that was a possibility of Aldi going in on that corner. I'm aware that cub foods and Ultra foods closed in this particular shopping center years ago. But times have changed....Even a drive thru Starbucks...with the county buildings just down the street id think that they would welcome an establishment such as that. I realize Dunkin is just west of this property but you see the two establishments across the street from each other in many other areas.

Something other than a car wash...it's got to be a better choice. I do hope you find something else to occupy this corner.

Thanks for listening..

Katie Loffredo

Adare farm.

**REPORT OF THE WHEATON PLANNING & ZONING BOARD
TO THE
MAYOR OF WHEATON AND CITY COUNCIL**

ZA #25-25/ Special Use Permit/ 2175 W. Roosevelt Road/ Mister Car Wash

Pursuant to notice duly published on October 10, 2025, and letters mailed to neighboring property owners on October 8, 2025, Chair Aranas called to order the October 28, 2025, public hearing requesting a special use permit pursuant to Article 20.3 of the Wheaton Zoning Ordinance to allow the construction and use of a 4,800 square-foot car wash located at 2175 W. Roosevelt Road. The former Mc Donald's building would be demolished. A narrative addressing the special use standards was received and incorporated into the record.

Several property owners submitted emails in opposition to the proposed car wash that were incorporated into the record. Most of these property owners didn't feel a car wash was needed at this location and would prefer to see another food and/or beverage user instead of the proposed use.

Peter Galzki, 222 East 5th Street, Tucson, Arizona, was sworn in. Mr. Galzki stated that he was the project manager for Mister Car Wash. He stated that the subject property is located at the northeast corner of Roosevelt and County Farm Roads. The property is improved with a corporate-owned McDonald's Restaurant that closed in November 2023. The existing structure would be demolished if the proposed car wash is approved.

Mr. Galzki stated that they were requesting approval to allow the construction and use of a 4,800 square-foot car wash with 21 vacuum stations and 3 employee parking spaces. Access to the site would be provided via the existing curb cut on County Farm Road and the westernmost shopping center curb cut on Roosevelt Road. The car wash would operate in a clockwise direction around the perimeter of the building with three queuing lanes. Vacuum stations and employee parking are proposed on the north side of the building.

Mr. Galzki stated that the proposed site plan and building is fully compliant with the bulk regulations contained in Article 20.5 of the Wheaton Zoning Ordinance as the property currently exists. The Illinois Department of Transportation (IDOT), however, is considering a potential taking at the intersection of Roosevelt and County Farm Roads to accommodate additional turn lanes.

Mr. Galzki stated that on Roosevelt Road, the car wash curbline is currently proposed at 38.4 feet. With a 28.5-foot IDOT taking, this would result in a 9.9-foot landscape setback. On County Farm Road, the car wash curb line is proposed at 33.5 feet. With an 18.5-foot IDOT taking, this would result in a 15.0-foot landscape setback. The required front and corner side yard landscape setbacks are 15.0 feet, so a variation of 5.1 feet would be required along Roosevelt Road with the taking.

Staff Planner Jones stated that the current development design would not comply with the landscape setback requirements on Roosevelt Road following the proposed right-of-way acquisition, staff recommends that the property owner dedicate the proposed right-of-way to the State and reconfigure their site plan to adhere to the applicable Wheaton Zoning Ordinance requirements.

Mr. Galzki stated that a photometrics plan has been submitted as part of this application. The plan shows light levels up to 1.0 footcandles along the north property line. Per the requirements of the Wheaton Zoning Ordinance, the light levels from the building and parking lot lights should not exceed .5 footcandles at the

property lines and all lighting must direct light downward. He stated that they were agreeable to this requirement and provided a revised photometrics plan that was in compliance.

Mr. Galzki stated that a noise impact study has also been submitted as part of this application. Based on this study, the applicant is proposing that silencers be installed on the dryer blowers to reduce noise levels to comply with the city's daytime noise limit for commercial properties of 62 db. However, even with the silencers, noise levels would still exceed the city's daytime noise limit for residential properties of 55db (Marian Park Apartments located south of the subject property). To address this, the applicant is further proposing the installation of an 8-foot-tall wall at the tunnel exit in order to comply with the city's daytime limit for residential properties.

Mr. Galzki stated that a monument sign is proposed at the southwest corner of the site. Prior to the potential Illinois Department of Transportation (IDOT) taking (discussed in the Site Plan and Potential Illinois Department of Transportation Taking section above), the sign complies with the required 10-foot setback as the property currently exists. However, after the IDOT taking, the sign will have almost no setback. Staff recommends that the monument sign be relocated to an alternate location to maintain the required 10-foot setback from the potential IDOT taking.

Mr. Galzki stated that a maximum height for a monument sign permitted by the Wheaton Zoning Ordinance is 7 feet, however they are proposing a 9-foot-tall sign, since there is a 2-foot elevation change from the road to the site.

Mr. Dabovich moved and then Mr. Blume seconded the motion to close the public hearing. On a voice vote, all voted aye.

Mr. Dabovich moved and then Mr. Blume second the motion to waive their regular rules and vote tonight. On a voice vote, all voted aye.

Recommendation

Mr. Dabovich moved and then Mr. Blume seconded the motion to recommend approval of ZA # 25-25, requesting a special use permit the construction and use of a 4,800 square-foot car wash located at 2175 W. Roosevelt Road, subject to the following conditions:

1. The property owner shall dedicate right-of-way to the State based upon their "IL Route 38 (Roosevelt Road) Winfield Road to County Farm Road" plan and reconfigure their site plan to adhere to the applicable Wheaton Zoning Ordinance requirements based upon the potential IDOT taking or dedication should that occur.
2. The height of the proposed parapet shall fully screen the rooftop mechanical units as required by Article 3.4C.2 of the Wheaton Zoning Ordinance.
3. The light levels from the building and parking lot lights shall not exceed .5 footcandles at the property lines and all lighting must direct light downward as required by Article 22.4.9 of the Wheaton Zoning Ordinance.
4. The applicant shall install silencers on the dryer blowers and the 8-foot-tall wall at the tunnel exit per the recommendations of the noise impact study.

5. The monument sign shall be relocated to an alternate location to maintain the required 10-foot setback based upon the potential IDOT taking or dedication should that occur and maintain a maximum height of 7 feet as required by the Wheaton Zoning Ordinance.
6. The preliminary engineering plan shall be subject to further staff review prior to the issuance of a site development permit; and
7. The existing curb cut onto County Farm Road shall be restricted to right-in right-out.

Roll Call Vote
Ayes: Nicole Aranas
Ben Blume
Chris Dabovich
Bob Gudmundson
Cecilia Horejs
Philip Spittler

Nays: None

Absent: Mark Plunkett

Motion Passed Unanimously

Nicole Aranas, Chair
Wheaton Planning and Zoning Board

Findings of Fact

1. The Board unanimously finds that the establishment, maintenance, and operation of the special use would not be detrimental to the public health, safety, morals, comfort, convenience, and general welfare.
2. The Board unanimously finds that the special use would not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, and not substantially diminish property values within the neighborhood.
3. The Board unanimously finds that the establishment of the special use would not impede the normal and orderly development and improvement of the surrounding property for uses already permitted.
4. The Board unanimously finds that adequate utilities, access ways, drainage, and other necessary facilities would be provided.
5. The Board unanimously finds that adequate measures would be taken to provide ingress and egress designed to minimize traffic congestion in the public streets.
6. The Board unanimously finds that the special use would comply with the objectives of the Wheaton Comprehensive Plan.
7. The Board unanimously finds that the special use would conform to the applicable requirements of the district in which it is located as well as any other applicable requirements of this ordinance.

FINAL ENGINEERING PLANS

MISTER CAR WASH WHEATON

2175 WEST ROOSEVELT ROAD
WHEATON, IL 60187



UTILITY AND GOVERNING AGENCY CONTACTS

CITY OF WHEATON PUBLIC WORKS DEPARTMENT
521 W. LIBERTY DRIVE
WHEATON, IL 60187
TEL: (630) 260-2110
CONTACT: VINCE LADANG

SANITARY SEWER SERVICE
WHEATON SANITARY DISTRICT
649 SHAFNER ROAD
WHEATON, IL 60189
TEL: (630) 668-1515

STORM SEWER SERVICE
WHEATON PUBLIC WORKS
521 W. LIBERTY DRIVE
WHEATON, IL 60187
TEL: (630) 260-2121
CONTACT: SEAN WALSH

WATER SERVICE
WHEATON PUBLIC WORKS
210 REBER STREET
WHEATON, IL 60187
TEL: (630) 260-2090
CONTACT: AL MCMILLEN

CITY OF WHEATON ENGINEERING DEPARTMENT
303 W. WESLEY STREET, 1ST FLOOR
WHEATON, IL 60187
TEL: (630) 260-2085
CONTACT: JOSEPH TEBRIDGE

ROADWAY AUTHORITY
DUPAGE COUNTY DIVISION OF TRANSPORTATION
421 N. COUNTY FARM ROAD, 2ND FLOOR
WHEATON, IL 60187-2553
TEL: (630) 407-8920

PROJECT TEAM

DEVELOPER/OWNER
CWP WEST, LLC
222 E. 5TH AVE
TUCSON, AZ 85705
TEL: (612) 799-2903
CONTACT: PETER GALZKI, P.E.

CIVIL ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
4201 WINFIELD RD, SUITE 600
WARRENVILLE, IL 60555
TEL: (630) 487-5550
EMAIL: TAYLOR.ESCHBACH@KIMLEY-HORN.COM
CONTACT: TAYLOR ESCHBACH, P.E.

SUBVISOR
KIMLEY-HORN AND ASSOCIATES, INC.
4201 WINFIELD RD, SUITE 600
WARRENVILLE, IL 60555
TEL: (630) 487-5550
EMAIL: BRAD.STROHL@KIMLEY-HORN.COM
CONTACT: BRAD STROHL, PLS

LANDSCAPE
KIMLEY-HORN AND ASSOCIATES, INC.
4201 WINFIELD RD, SUITE 600
WARRENVILLE, IL 60555
TEL: (630) 487-5550
EMAIL: JOE.COGSWELL@KIMLEY-HORN.COM
CONTACT: JOE COGSWELL



BENCHMARKS

REFER TO V0.0 FOR BENCHMARKS LISTED BY LICENSED LAND SURVEYOR

LEGAL DESCRIPTION

REFER TO V0.0 FOR ALTA LAND TITLE AND TOPOGRAPHIC SURVEY LEGAL DESCRIPTION.

Sheet List Table

Sheet Number	Sheet Title
C0.0	COVER SHEET
V0.0	SITE SURVEY
C0.1	GENERAL NOTES
C1.0	EX. CONDITIONS AND DEMO PLAN
C2.0	SITE PLAN
C3.0	EROSION CONTROL PLAN
C3.1	EROSION CONTROL DETAILS
C4.0	GRADING PLAN
C5.0	UTILITY PLAN
C6.0	CONSTRUCTION DETAILS
C6.1	CONSTRUCTION DETAILS
L0.0	TREE PRESERVATION PLAN
L1.0	LANDSCAPE PLAN
L2.0	LANDSCAPE NOTES & DETAILS
L2.1	LANDSCAPE SPECIFICATIONS
L3.0	IRRIGATION PLAN
L3.1	IRRIGATION SCHEDULES & NOTES
L3.2	IRRIGATION DETAILS

PROFESSIONAL ENGINEER'S CERTIFICATION

I, TAYLOR ESCHBACH, A LICENSED PROFESSIONAL ENGINEER OF IL, HEREBY CERTIFY THAT THIS SUBMISSION, PERTAINING ONLY TO THE "C" SERIES CIVIL SHEETS LISTED ABOVE (BUT EXCLUDING DETAILS PREPARED BY OTHERS, WAS PREPARED ON BEHALF OF MISTER CAR WASH BY KIMLEY-HORN AND ASSOCIATES, INC. UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS 13TH DAY OF OCTOBER, A.D., 2025.

Taylor Eschbach

IL LICENSED PROFESSIONAL ENGINEER 062-069246
MY LICENSE EXPIRES ON NOVEMBER 30, 2025
DESIGN FIRM REGISTRATION NUMBER: 184002012-0006



Kimley-Horn
KIMLEY-HORN AND ASSOCIATES, INC.
1000 W. WASHINGTON ST., SUITE 100
WARRENVILLE, IL 60555
TEL: (630) 487-5550

Mister

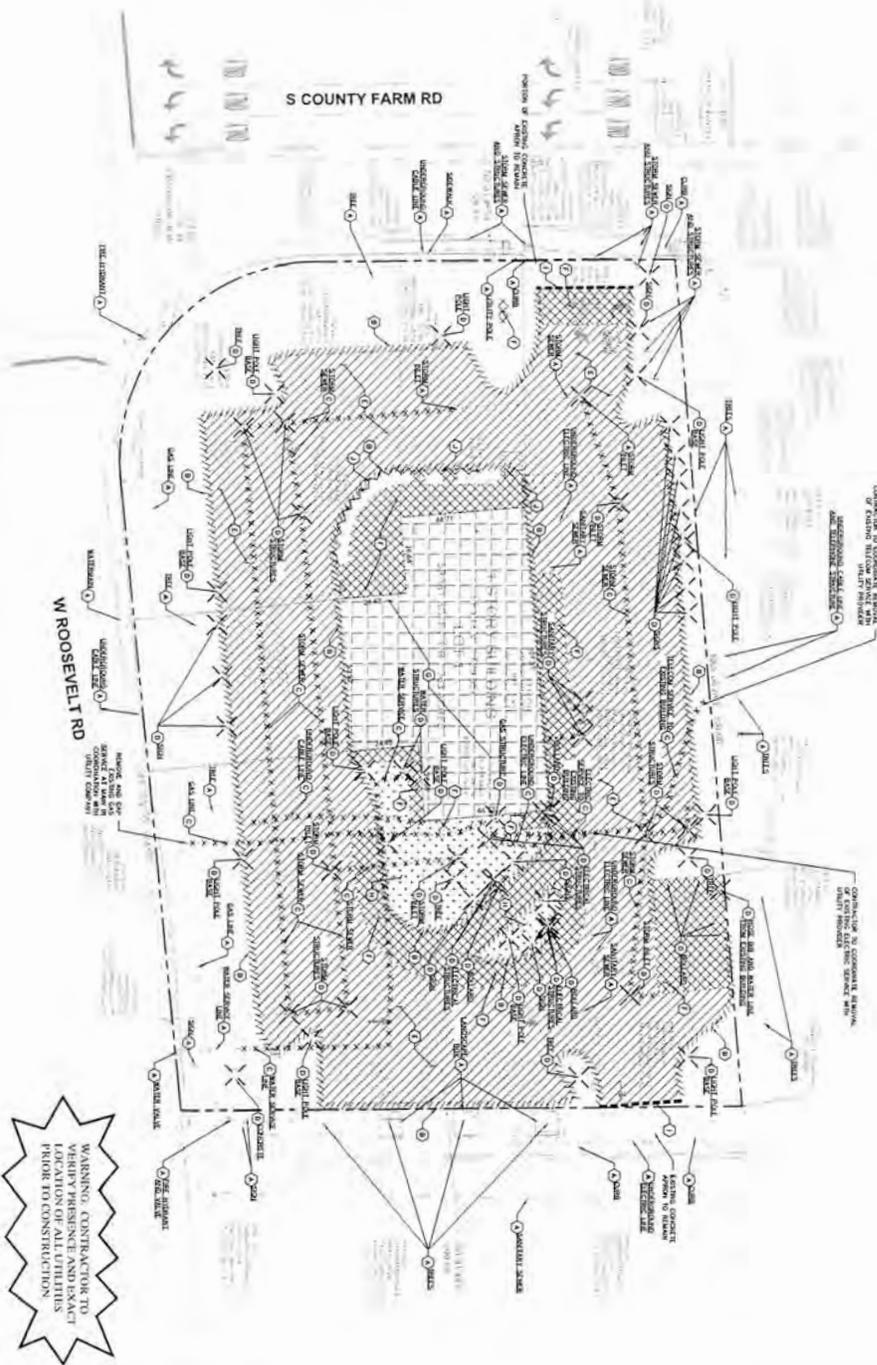
COVER SHEET

MISTER CAR WASH
2175 W. ROOSEVELT ROAD
WHEATON, IL 60187

ORIGINAL ISSUE:
9/15/25
KHA PROJECT NO.
268416001

SHEET NUMBER
C0.0

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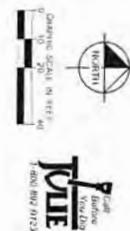
WARNING CONTRACTOR TO VERIFY PRESENCE AND EXACT POSITION OF ALL UTILITIES PRIOR TO CONSTRUCTION

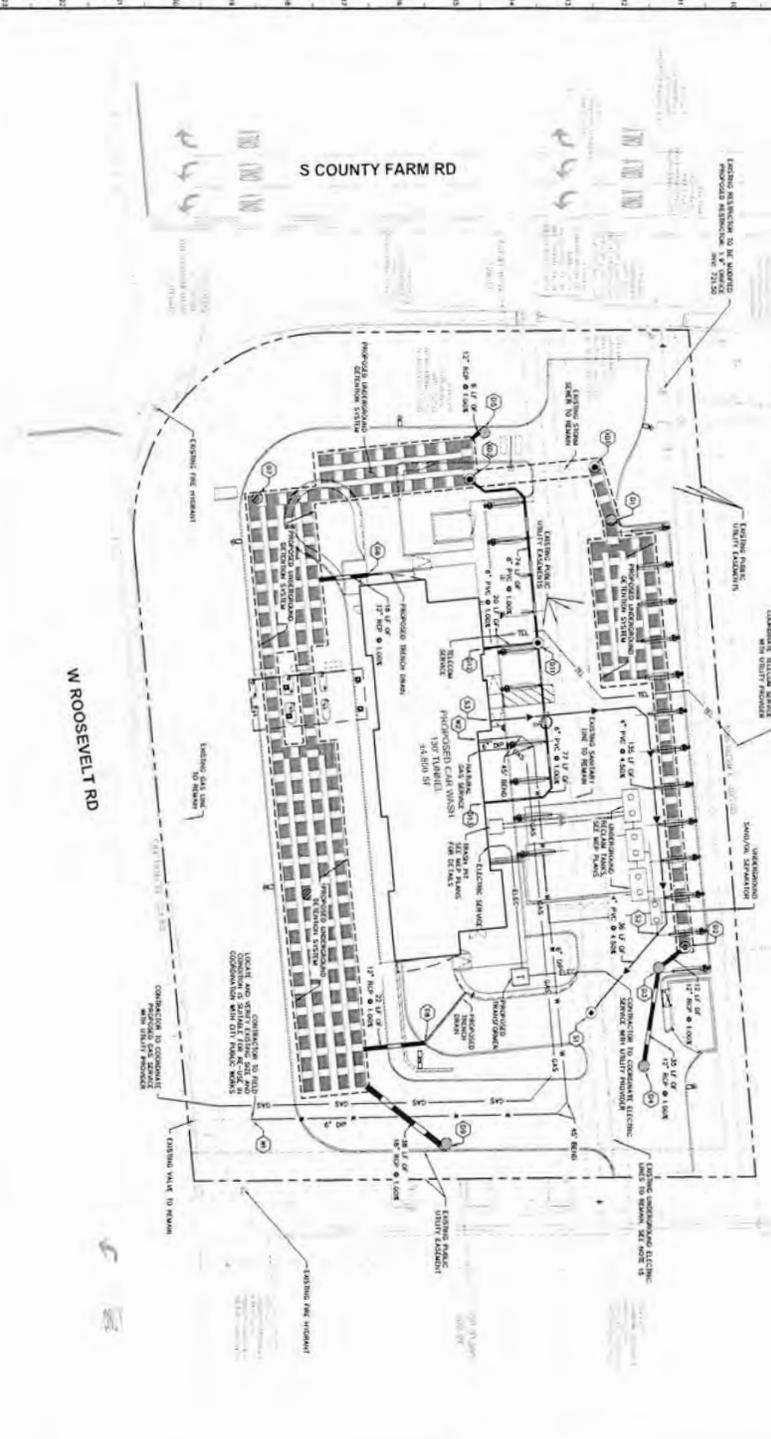
DEMOLITION NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING IMPROVEMENTS AS NOTED.
2. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL EXISTING PAVING AND ASPHALT SURFACING, INCLUDING CURBS AND GUTTERS, AND ALL OTHER EXISTING IMPROVEMENTS AS NOTED.
3. THE EXISTING CONSTRUCTION SHALL BE REMOVED IN ACCORDANCE WITH THE LOCAL, STATE AND FEDERAL REGULATIONS AND ALL APPLICABLE PERMITS AND ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND ORDINANCES.
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DEMOLITION LEGEND

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- 18. EXISTING CONSTRUCTION
- 19. EXISTING CONSTRUCTION
- 20. EXISTING CONSTRUCTION





STRUCTURE NAME	DETAILS
S1	15" DIA. 10' LONG PER DATE 7/24-08 (S-187)
S2	15" DIA. 10' LONG PER DATE 7/24-08 (S-187)
S3	15" DIA. 10' LONG PER DATE 7/24-08 (S-187)

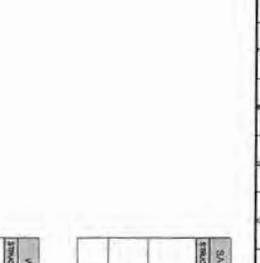
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W2	12" DIA. 10' LONG PER DATE 7/24-08 (S-187)

STRUCTURE NAME	DETAILS
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D2	15" DIA. 10' LONG PER DATE 7/24-08 (S-187)
D3	15" DIA. 10' LONG PER DATE 7/24-08 (S-187)
D4	15" DIA. 10' LONG PER DATE 7/24-08 (S-187)
D5	15" DIA. 10' LONG PER DATE 7/24-08 (S-187)
D6	15" DIA. 10' LONG PER DATE 7/24-08 (S-187)
D7	15" DIA. 10' LONG PER DATE 7/24-08 (S-187)
D8	15" DIA. 10' LONG PER DATE 7/24-08 (S-187)

STRUCTURE NAME	DETAILS
D9	15" DIA. 10' LONG PER DATE 7/24-08 (S-187)
D10	15" DIA. 10' LONG PER DATE 7/24-08 (S-187)
D11	15" DIA. 10' LONG PER DATE 7/24-08 (S-187)
D12	15" DIA. 10' LONG PER DATE 7/24-08 (S-187)
D13	15" DIA. 10' LONG PER DATE 7/24-08 (S-187)
D14	15" DIA. 10' LONG PER DATE 7/24-08 (S-187)
D15	15" DIA. 10' LONG PER DATE 7/24-08 (S-187)

- ### UTILITY NOTES
- ALL WATER LINES 1" SHALL BE INSTALLED WITH 18" COVER.
 - ALL SANITARY LINES SHALL BE 15" DIA. WITH 18" COVER.
 - ALL STORM LINES SHALL BE 15" DIA. WITH 18" COVER.
 - ALL GAS LINES SHALL BE 1/2" DIA. WITH 18" COVER.
 - ALL ELECTRIC LINES SHALL BE 1/2" DIA. WITH 18" COVER.
 - CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM WITHIN THE PROJECT AREA WITHOUT THE WRITTEN CONSENT OF THE CITY OF HOUSTON.
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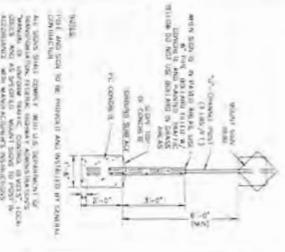
- ### UTILITY LEGEND
- 15" SANITARY LINE
 - 15" STORM LINE
 - 1/2" GAS LINE
 - 1/2" ELECTRIC LINE
 - 15" WATER MAIN
 - 15" SANITARY MANHOLE
 - 15" STORM MANHOLE
 - 15" WATER VALVE
 - 15" GAS VALVE
 - 15" ELECTRIC VALVE
 - 15" SANITARY CLEANOUT
 - 15" STORM CLEANOUT
 - 15" WATER METER
 - 15" GAS METER
 - 15" ELECTRIC METER
 - 15" SANITARY CLEANOUT
 - 15" STORM CLEANOUT
 - 15" WATER METER
 - 15" GAS METER
 - 15" ELECTRIC METER



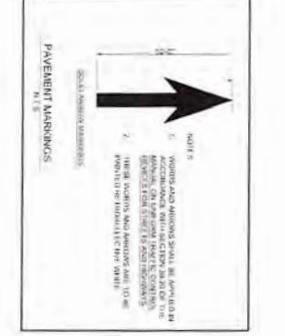
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(Symbol)	15" STORM LINE
(Symbol)	1/2" GAS LINE
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(Symbol)	15" WATER MAIN
(Symbol)	15" SANITARY MANHOLE
(Symbol)	15" STORM MANHOLE
(Symbol)	15" WATER VALVE
(Symbol)	15" GAS VALVE
(Symbol)	15" ELECTRIC VALVE
(Symbol)	15" SANITARY CLEANOUT
(Symbol)	15" STORM CLEANOUT
(Symbol)	15" WATER METER
(Symbol)	15" GAS METER
(Symbol)	15" ELECTRIC METER

MISTER CAR WASH
 9/13/25
 HHA PROJECT NO. 24846001
 SHEET NUMBER CS.0

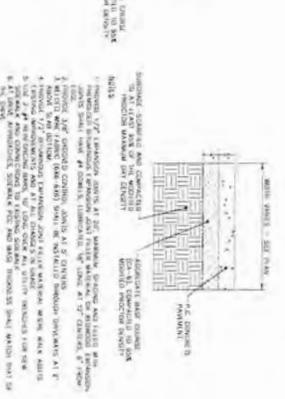
Kimley-Horn
 10000 Katy Road, Suite 200, Houston, TX 77054
 (281) 465-4000
 www.kimley-horn.com



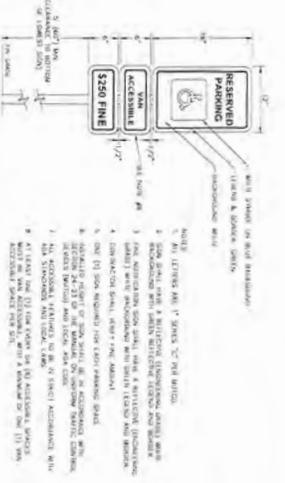
STANDARD SIGN BASE
S1.1



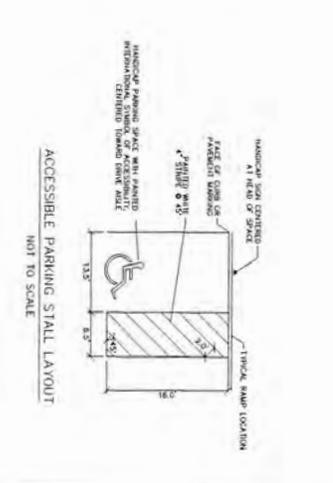
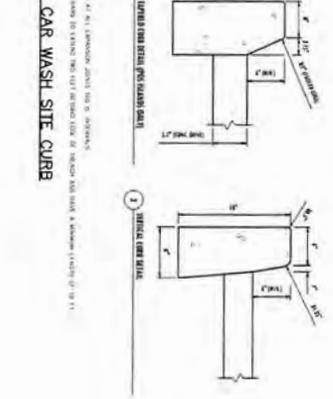
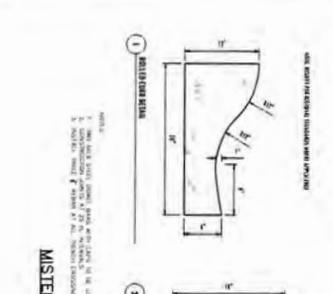
HEAVY DUTY CONCRETE PAVEMENT SECTION
S1.2



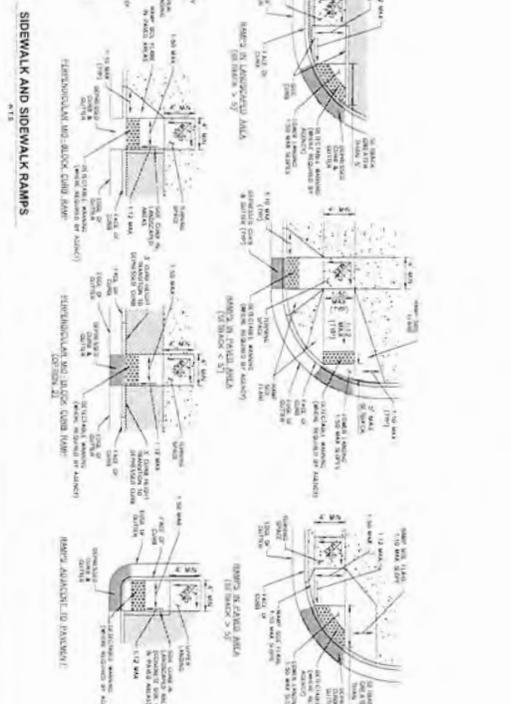
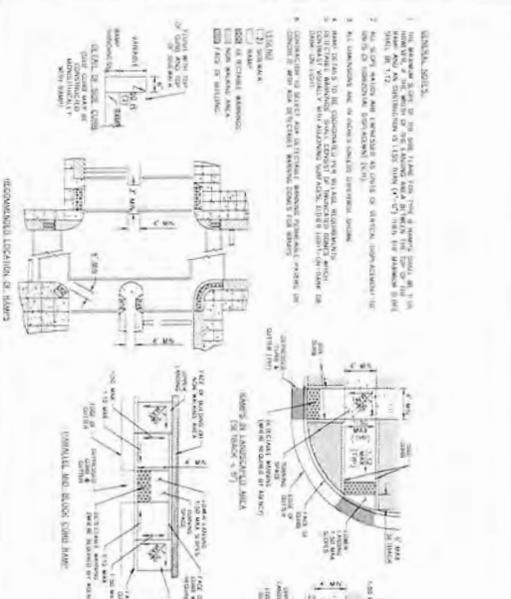
CONCRETE SIDEWALK
S1.3



ACCESSIBLE PARKING SIGNAGE
S1.4



ACCESSIBLE PARKING SIGNAGE
S1.4



STOP SIGN & ARROW SIGN
S1.5

MISTER CAR WASH
3175 W. ROOSEVELT ROAD
WABATEON, N.C. 28167

CONSTRUCTION
DETAILS



Kimley-Horn
INCORPORATED
1000 W. BROADWAY
SUITE 200
DURHAM, NC 27701
919.286.7000
WWW.KIMLEY-HORN.COM

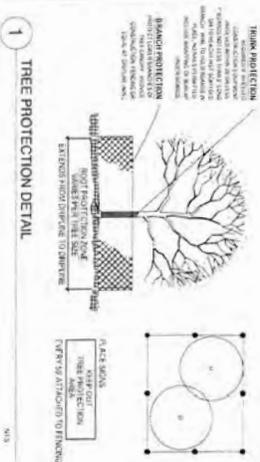
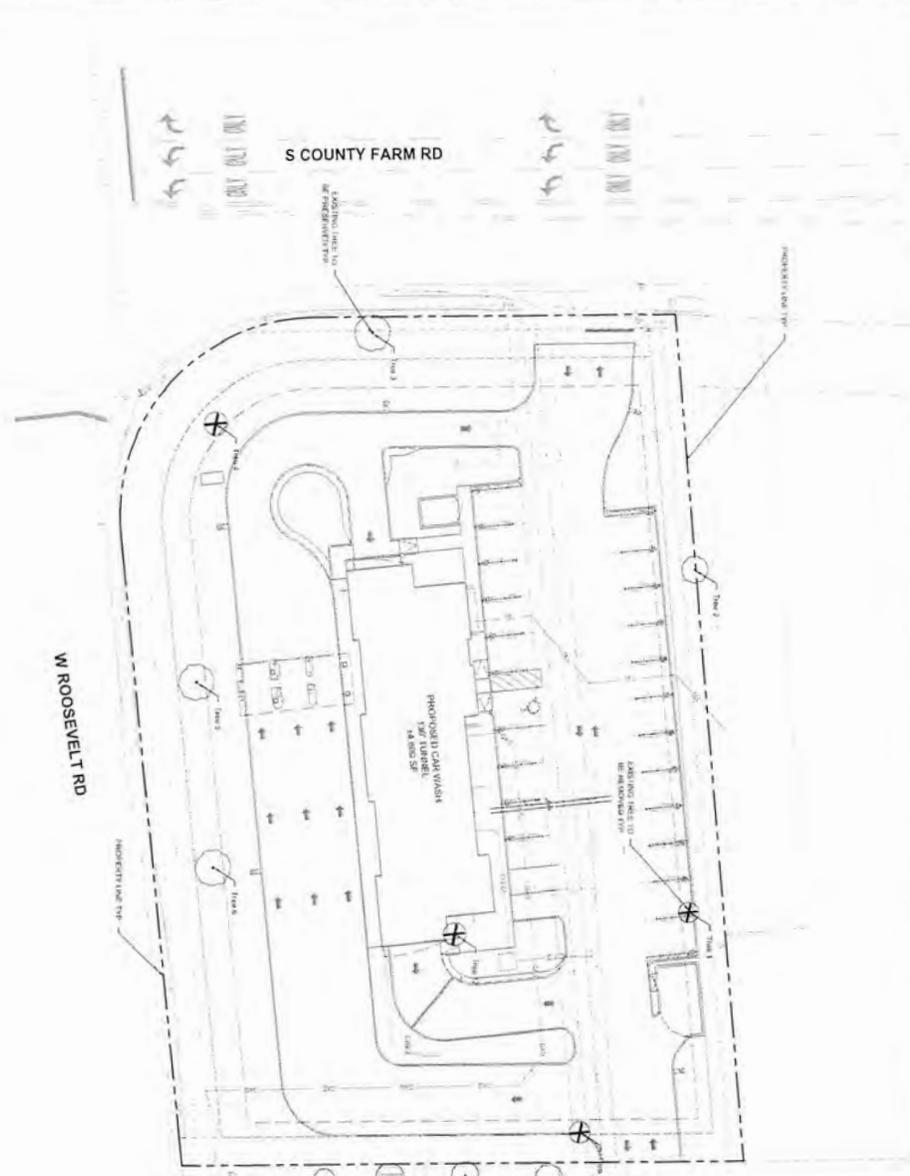
SCALE: AS NOTED
DESIGNED BY: TW
DRAWN BY: TW
CHECKED BY: TW

NO.	REVISION	DATE

PROJECT NO. 2014-001
SHEET NUMBER 10

DATE: 9/15/2014
DRAWN BY: TW
CHECKED BY: TW

PROJECT NO. 2014-001
SHEET NUMBER 10



- 1 TREE PROTECTION NOTES**
1. ALL TREES TO BE PROTECTED AND PRESERVED SHALL BE PER DETAIL. GRADING OF MORE THAN ONE TREE MAY OCCUR.
 2. TREES TO BE PROTECTED AND PRESERVED SHALL BE IDENTIFIED ON THE TRUNK WITH WHITE SURVEY TAPE.
 3. WITHIN THE DAP AND CANOPY, 5 FEET FOR A TREE TRUNK, SURVEY TAPE SHALL NOT BE PLACED OR STORED.
 4. TRUNK PROTECTION SHALL NOT BE CUT UNLESS CUTTING IS UNAVOIDABLE.
 5. TRUNK PROTECTION SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
 6. TRUNK PROTECTION SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
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 12. TRUNK PROTECTION SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
 13. TRUNK PROTECTION SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.

- 2 TREE PROTECTION NOTES**
1. ALL TREES TO BE PROTECTED AND PRESERVED SHALL BE PER DETAIL. GRADING OF MORE THAN ONE TREE MAY OCCUR.
 2. TREES TO BE PROTECTED AND PRESERVED SHALL BE IDENTIFIED ON THE TRUNK WITH WHITE SURVEY TAPE.
 3. WITHIN THE DAP AND CANOPY, 5 FEET FOR A TREE TRUNK, SURVEY TAPE SHALL NOT BE PLACED OR STORED.
 4. TRUNK PROTECTION SHALL NOT BE CUT UNLESS CUTTING IS UNAVOIDABLE.
 5. TRUNK PROTECTION SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
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 12. TRUNK PROTECTION SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
 13. TRUNK PROTECTION SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.

TREE DISPOSITION SCHEDULE

TREE #	TREE PLANT NAME	THE PROPOSER'S RELATION	DATE	STATUS	REMARKS
1	Small Tree	11/00	Remove	11	
2	Small Tree	11/00	Remove	11	
3	Small Tree	11/00	Remove	11	
4	Small Tree	11/00	Remove	11	
5	Small Tree	11/00	Remove	11	
6	Small Tree	11/00	Remove	11	
7	Small Tree	11/00	Remove	11	
8	Small Tree	11/00	Remove	11	
9	Small Tree	11/00	Remove	11	
10	Small Tree	11/00	Remove	11	
11	Small Tree	11/00	Remove	11	
12	Small Tree	11/00	Remove	11	
13	Small Tree	11/00	Remove	11	

MISTER CAR WASH
 2173 W. ROOSEVELT ROAD
 WHEATON, IL 60187

TREE PRESERVATION PLAN

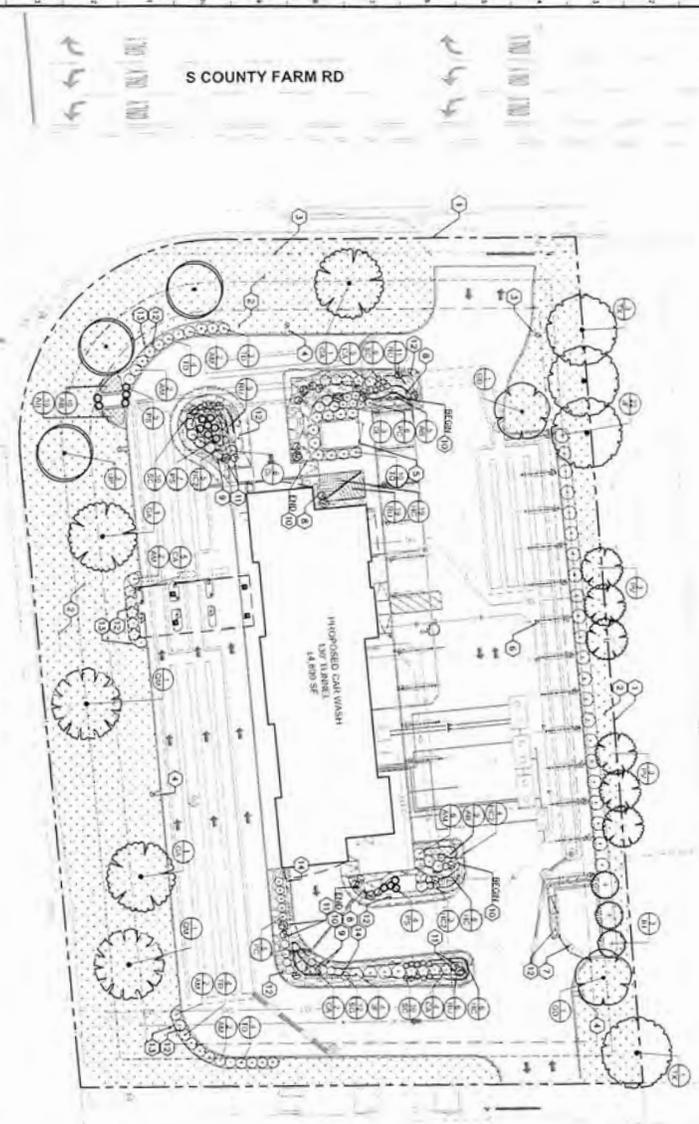
Mister

SCALE: AS NOTED
 DESIGNED BY: HL
 DRAWN BY: HL
 CHECKED BY: JSE

Kimley-Horn
 CONSULTING ENGINEERS AND ARCHITECTS, INC.
 1000 N. WASHINGTON ST., SUITE 200
 WHEATON, IL 60187
 PHONE: 630.441.1000
 WWW.KIMLEY-HORN.COM

Original Issue: 9/17/2014
 KHA PROJECT NO.:
 SHEET NUMBER: LO.0

NO. REVISIONS DATE BY



SECTION	DESCRIPTION	REQUIREMENTS	NOTES
SECTION 1	MINIMUM LANDSCAPE REQUIREMENTS	20% TOTAL PLANTING FOR ALL AREAS	
SECTION 2	MINIMUM PLANTING REQUIREMENTS FOR LIGHT PARKING SPACES	20% TOTAL PLANTING FOR ALL AREAS	
SECTION 3	MINIMUM PLANTING REQUIREMENTS FOR HEAVY PARKING SPACES	30% TOTAL PLANTING FOR ALL AREAS	
SECTION 4	MINIMUM PLANTING REQUIREMENTS FOR DRIVEWAYS	20% TOTAL PLANTING FOR ALL AREAS	
SECTION 5	MINIMUM PLANTING REQUIREMENTS FOR SIDEWALKS	20% TOTAL PLANTING FOR ALL AREAS	
SECTION 6	MINIMUM PLANTING REQUIREMENTS FOR BIKEWAYS	20% TOTAL PLANTING FOR ALL AREAS	
SECTION 7	MINIMUM PLANTING REQUIREMENTS FOR TRAILS	20% TOTAL PLANTING FOR ALL AREAS	
SECTION 8	MINIMUM PLANTING REQUIREMENTS FOR PLAY AREAS	20% TOTAL PLANTING FOR ALL AREAS	
SECTION 9	MINIMUM PLANTING REQUIREMENTS FOR SPORTS AREAS	20% TOTAL PLANTING FOR ALL AREAS	
SECTION 10	MINIMUM PLANTING REQUIREMENTS FOR UTILITIES	20% TOTAL PLANTING FOR ALL AREAS	

LANDSCAPE KEYNOTES

- 1 PROPERTY LINE (TYP)
- 2 CURB SIDE UP TO LIMITS OF DISTURBANCE (TYP)
- 3 EXISTING TREE, PROJECT IN PLACE, SEE SHEET 1.00
- 4 LIGHT POLE, BY OTHERS (TYP)
- 5 VERTICAL SIGNAGE, BY OTHERS (TYP)
- 6 VERTICAL SIGNAGE, BY OTHERS (TYP)
- 7 SIGNAGE, BY OTHERS (TYP)
- 8 SIGNAGE, BY OTHERS (TYP)
- 9 SIGNAGE, BY OTHERS (TYP)
- 10 SIGNAGE, BY OTHERS (TYP)
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- 15 SIGNAGE, BY OTHERS (TYP)
- 16 SIGNAGE, BY OTHERS (TYP)
- 17 SIGNAGE, BY OTHERS (TYP)
- 18 SIGNAGE, BY OTHERS (TYP)
- 19 SIGNAGE, BY OTHERS (TYP)
- 20 SIGNAGE, BY OTHERS (TYP)

PLANT SCHEDULE

SYMBOL	CODE	PLANT NAME	SIZE	QUANTITY
(Symbol)	01	PLANT NAME	SIZE	QTY
(Symbol)	02	PLANT NAME	SIZE	QTY
(Symbol)	03	PLANT NAME	SIZE	QTY
(Symbol)	04	PLANT NAME	SIZE	QTY
(Symbol)	05	PLANT NAME	SIZE	QTY
(Symbol)	06	PLANT NAME	SIZE	QTY
(Symbol)	07	PLANT NAME	SIZE	QTY
(Symbol)	08	PLANT NAME	SIZE	QTY
(Symbol)	09	PLANT NAME	SIZE	QTY
(Symbol)	10	PLANT NAME	SIZE	QTY
(Symbol)	11	PLANT NAME	SIZE	QTY
(Symbol)	12	PLANT NAME	SIZE	QTY
(Symbol)	13	PLANT NAME	SIZE	QTY
(Symbol)	14	PLANT NAME	SIZE	QTY
(Symbol)	15	PLANT NAME	SIZE	QTY
(Symbol)	16	PLANT NAME	SIZE	QTY
(Symbol)	17	PLANT NAME	SIZE	QTY
(Symbol)	18	PLANT NAME	SIZE	QTY
(Symbol)	19	PLANT NAME	SIZE	QTY
(Symbol)	20	PLANT NAME	SIZE	QTY



NOTE: CONSULT THE CONTRACTOR AND ARCHITECT FOR ALL PLANTING REQUIREMENTS AND SPECIFICATIONS. THIS SCHEDULE IS SUBJECT TO CHANGE WITHOUT NOTICE.

Kimley-Horn
 1915 W. WASHINGTON AVE. SUITE 200
 DENVER, CO 80202
 TEL: 303.733.8900
 WWW.KIMLEY-HORN.COM

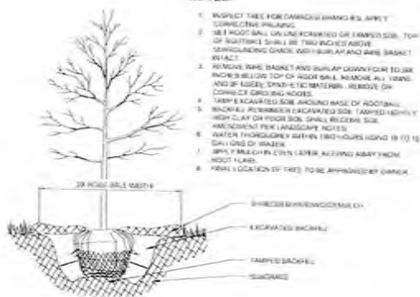
MISTER CAR WASH
 LANDSCAPE PLAN
 2775 W. ROOSEVELT ROAD
 WHEATON, CO 80187

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DATE: 11/13/2019

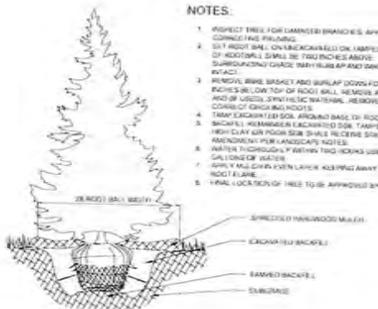
BY: TAYLOR HESTON

NOTES:

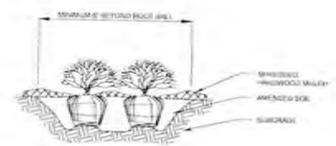


1 TREE PLANTING

NOTES:



2 EVERGREEN TREE PLANTING



NOTES:

1. APPLY CONNECTIVE FRAMING.
2. SET TREE BALL ON CONCRETE OR UNCONCRETE ON TAMPED SOIL. TOP OF CONTAINER SHALL BE ONE INCH ABOVE SUBGRADE SURFACE.
3. REMOVE EXCESSIVE SOIL FROM TOP OF HOLE. REMOVE EXCESSIVE SOIL FROM UNDER SIDE OF HOLE. REMOVE EXCESSIVE SOIL FROM UNDER SIDE OF HOLE.
4. REMOVE EXCESSIVE SOIL FROM TOP OF HOLE. REMOVE EXCESSIVE SOIL FROM UNDER SIDE OF HOLE. REMOVE EXCESSIVE SOIL FROM UNDER SIDE OF HOLE.
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6. REMOVE EXCESSIVE SOIL FROM TOP OF HOLE. REMOVE EXCESSIVE SOIL FROM UNDER SIDE OF HOLE. REMOVE EXCESSIVE SOIL FROM UNDER SIDE OF HOLE.

3 SHRUB PLANTING

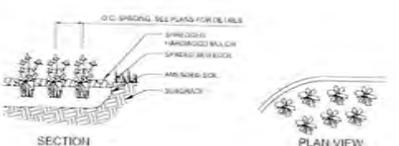
NOTES:



4 ORNAMENTAL GRASS PLANTING

NOTES:

1. 4" HIGH PLANTER BENCH.
2. 4" HIGH PLANTER BENCH.
3. 4" HIGH PLANTER BENCH.
4. 4" HIGH PLANTER BENCH.
5. 4" HIGH PLANTER BENCH.
6. 4" HIGH PLANTER BENCH.



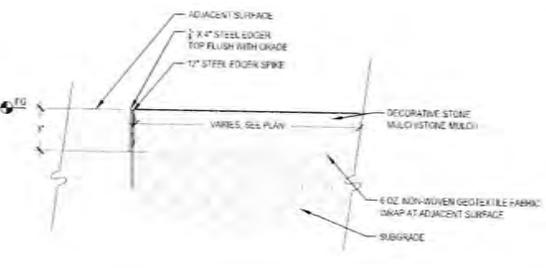
5 PERENNIAL PLANTING

LANDSCAPE NOTES

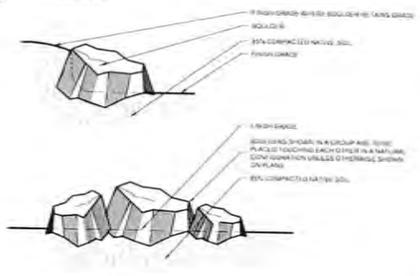
1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING MATERIALS AND PLANTS SHOWN ON THE LANDSCAPE PLAN. THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTORS OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
2. THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLANS, FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
3. NO PLANTING SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
5. ALL PLANTS TO BE SPECIMEN GRADE, WELL BRANCHED, HEALTHY, FULL, PRE-INOCULATED AND FERTILIZED. PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, AND SCARS. PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES. PLANTS SHALL BE FREE FROM HARMFUL DAMAGE. THE LANDSCAPE CONTRACTOR SHALL REMOVE THE WRAP AT THE PROPER TIME AS PART OF THIS CONTRACT.
6. THE OWNER'S REPRESENTATIVE MAY REJECT ANY PLANT MATERIALS THAT ARE DISEASED, DEFORMED OR OTHERWISE NOT EXHIBITING SUPERIOR QUALITY.
7. ALL NURSERY STOCK SHALL BE GUARANTEED BY THE CONTRACTOR FOR ONE YEAR FROM DATE OF FINAL INSPECTION. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
8. PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60-1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
9. PRIME PLANTS AS NECESSARY FOR STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
10. TOP SOIL SHALL BE PROVIDED AND GRADED BY THE GENERAL CONTRACTOR UP TO 6 INCHES BELOW FINISHED GRADE IN TURF AREAS AND 18 INCHES IN PLANTING AREAS.
11. SEED SOIL MUST BE 5% COMPOST APPROXIMATE. CONTRACTOR SHALL SEED SOIL ALL AREAS WHICH ARE DISTURBED BY GRADING WITH THE SPECIFIED SEED SOIL MIXES.
12. FLOORING TO BE SPREAD EDGE UNLESS INDICATED OTHERWISE ON THE PLANS. SPREAD EDGE JOI PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MIXED AND GRASS. A SPREAD BED EDGE SHALL BE SEPARATE MULCH BEDS FROM TURF OR SEED SOIL AREAS. A SPREAD EDGE IS NOT REQUIRED ALONG CURBED EDGES.
13. CONTRACTOR SHALL INSTALL RIVER ROCK MULCH AT A 3" DEPTH TO ALL TREES, SHRUBS, PERENNIAL AND GROUND COVER AREAS. TREES PLACED IN AREA COVERED BY TURF SHALL RECEIVE A 4 FT WIDE MAXIMUM TREE RING WITH 3" DEPTH RIVER ROCK MULCH.
14. INSTALLATION OF TREES WITHIN PARKWAYS SHALL BE COORDINATED IN THE FIELD WITH LOCATIONS OF UNDERGROUND UTILITIES. TREES SHALL NOT BE LOCATED CLOSER THAN 5' FROM UNDERGROUND UTILITY LINES AND NO CLOSER THAN 10' FROM LIGHTING STRUCTURES.
15. DO NOT DISTURB THE EXISTING PAVING, LIGHTING, OR LANDSCAPING THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLAN.
16. ALL DISTURBED AREAS TO BE SEEDDED OR SEEDED, UNLESS OTHERWISE NOTED. SEEDS SHALL BE LOCAL, HARDY TURF GRASS MIX UNLESS OTHERWISE NOTED.
17. PLANT QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE OWNER AND JURISDICTIONAL REVIEW AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES AS DRAWN. THE CONTRACTOR'S MAINTENANCE OF ALL REQUIRED LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY ON WHICH SAID MATERIALS ARE REQUIRED. ALL PLANT MATERIALS REQUIRED BY THIS SECTION SHALL BE MAINTAINED AS LIVING VEGETATION AND SHALL BE PROMPTLY REPLACED IF THE PLANT MATERIAL HAS DIED PRIOR TO FINAL ACCEPTANCE. PLANTING AREAS SHALL BE KEPT FREE OF TRASH, LITTER, AND WEEDS AT ALL TIMES.

NOTES:

1. PLACE ALL Boulders EQUIDISTANT TO THE TOTAL SPAN OF EACH BOLLER IS BOLLER FINISH GRADE.
2. BOLLER PIPE AND COLLAR SHALL BE APPROVED BY OWNER, CONTRACTOR AND GENERALIST.

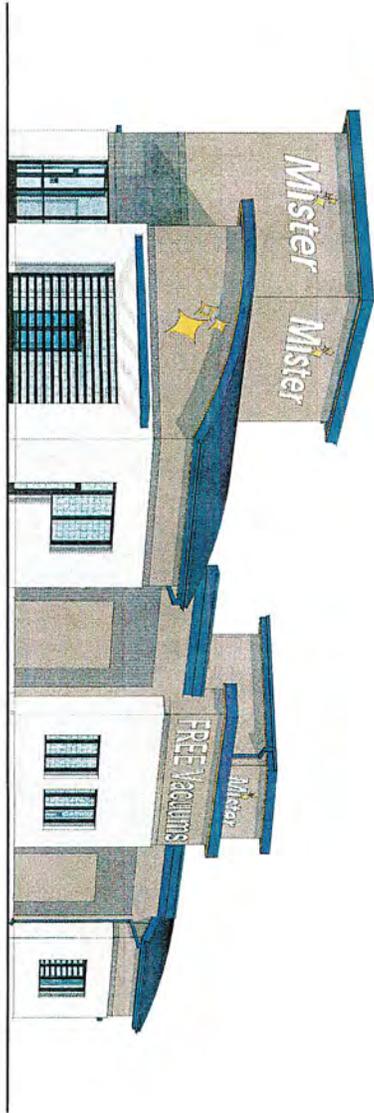


6 STONE MULCH

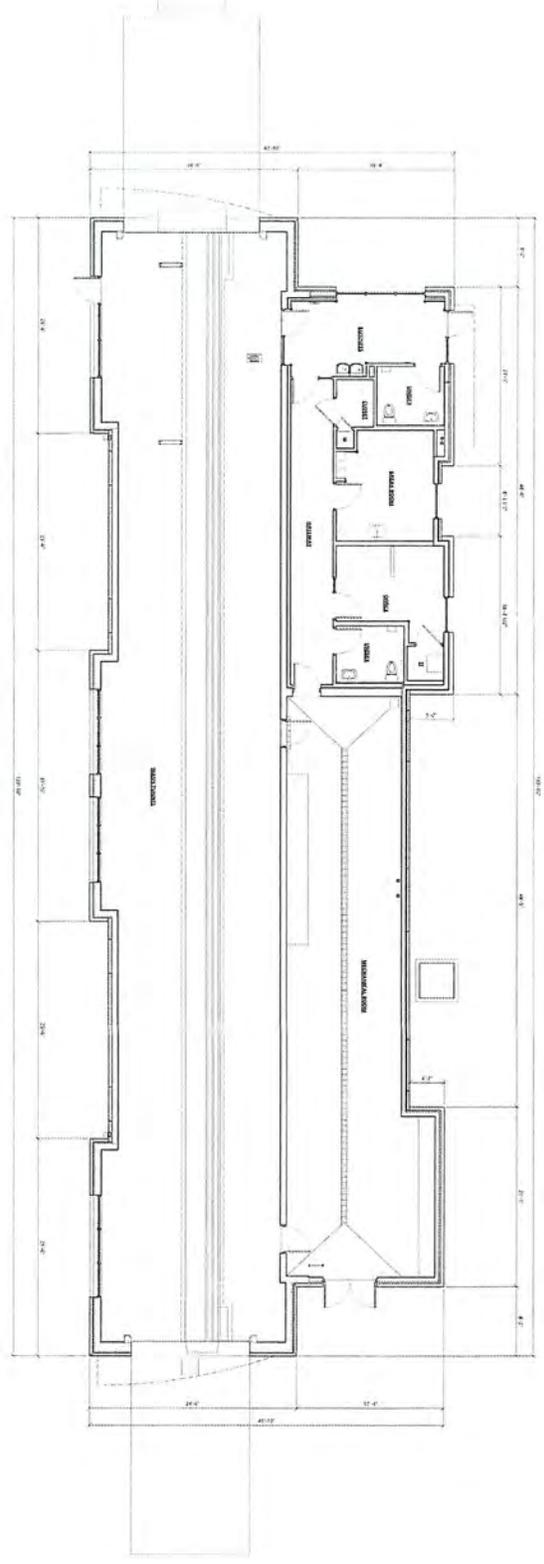


7 BOULDER INSTALLATION

DATE	
REVISIONS	
SCALE	AS NOTED
DESIGNED BY	REVIEWED BY
DRAWN BY	INCHES BY
DATE	
Kimley-Horn	
400 WEST 10TH AVENUE, SUITE 200 DENVER, COLORADO 80202 TEL: 303.733.8900 FAX: 303.733.8901 WWW.KIMLEY-HORN.COM	
Mister	
LANDSCAPE NOTES & DETAILS	
MISTER CAR WASH	
1715 W. ROSSBORO, 1 FLOOR DENVER, CO 80202	
ORIGINAL ISSUE:	9/15/25
RHA PROJECT NO:	262410001
SHEET NUMBER:	L2.0

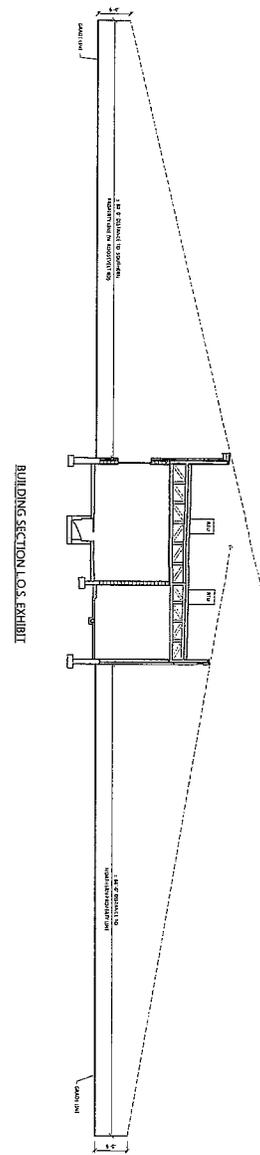
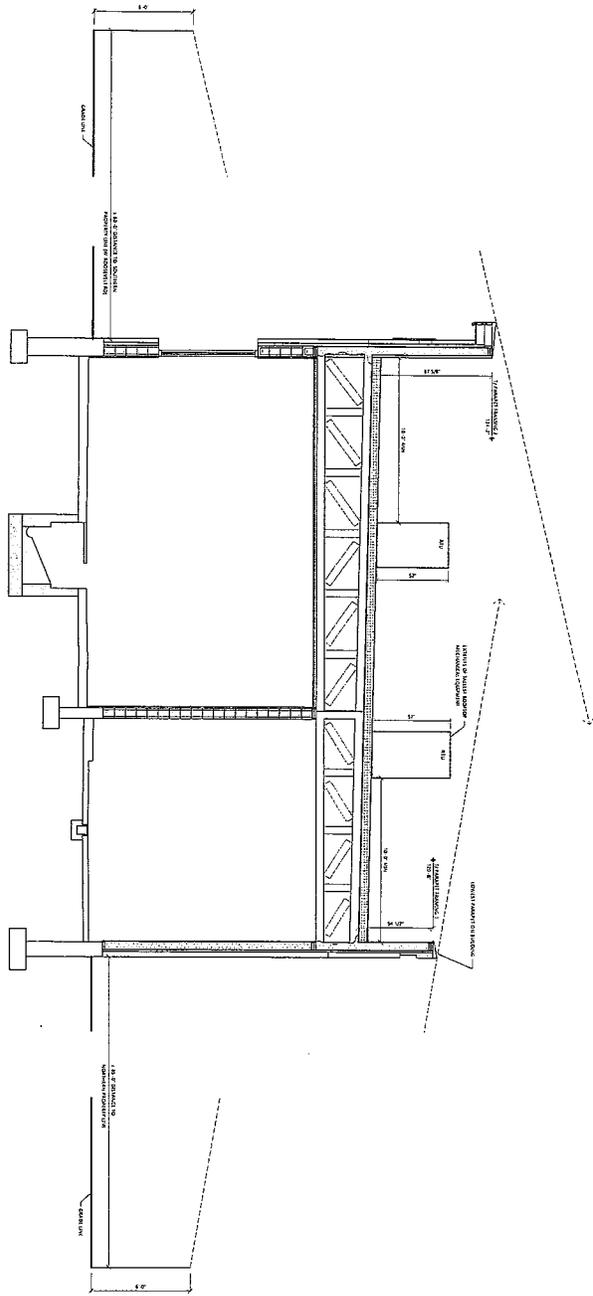


FLOOR PLAN
 1/8" = 1'-0"
 1/4" = 3'-0"
 1/2" = 6'-0"



PRELIMINARY FLOOR PLAN

<p>EXCEL AGENCY & DESIGN 180 Dundas Street West Toronto, ON M5G 1S8 416-593-9339 www.excelgroup.com</p>	<p>Mister PROJECT INSURANCE</p>	<p>PROPOSED CAR WASH FOR: MISTER CAR WASH - IL 2630 WHEATON 2175 W. ROOSEVELT RD. • WHEATON, IL 60187</p>	<p>(196 - 021 - ZONE II) PROFESSIONAL SEAL</p>	<p>PRELIMINARY STATUS MAY 16, 2015 NOT FOR CONSTRUCTION</p>	<p>JOB NUMBER 250105100 SHEET NUMBER PRE-2</p>
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BUILDING SECTION LOS, EXHIBIT

BUILDING SECTION LOS, EXHIBIT

PRELIMINARY LINE OF SIGHT STUDY

<p>EXCEL Always a Better Plan 100 Corporate Drive PO Box 322, Wheaton 404-874-7000 www.excelplan.com</p>	<p>Mister PROJECT IMPLEMENTATION, INC.</p>	<p>PROPOSED CAR WASH FOR: MISTER CAR WASH - IL 2630 WHEATON 2175 W. ROOSEVELT RD. • WHEATON, IL 60187</p>	<p>DATE: 11/21/2002 PROJECT NUMBER: 250105100 SHEET NUMBER: PRE-7 NOT FOR CONSTRUCTION</p>
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October 28, 2025

Wheaton Planning and Zoning Board
303 West Wesley Street
Wheaton, IL 60187

RE: ZA #25-25/ Special Use/ 2175 W. Roosevelt Road/ Mister Car Wash

Dear Members of the Board:

Attached to this memorandum is an application requesting a special use permit pursuant to Article 20.3 of the Wheaton Zoning Ordinance to allow the construction and use of a 4,800 square-foot car wash located at 2175 W. Roosevelt Road. The former Mc Donald's building would be demolished.

The application has been submitted by CWP West, LLC, 222 E. 5th Avenue, Tucson, AZ 85705 on behalf of the property owner, McDonald's USA, LLC, 110 N. Carpenter Street, Chicago, IL 60607.

Zoning Analysis

Proposal: An application requesting a special use permit pursuant to Article 20.3 of the Wheaton Zoning Ordinance to allow the construction and use of a 4,800 square-foot car wash located at 2175 W. Roosevelt Road. The former Mc Donald's building would be demolished.

Applicant: The application has been submitted by CWP West, LLC, 222 E. 5th Avenue, Tucson, AZ 85705 on behalf of the property owner, McDonald's USA, LLC, 110 N. Carpenter Street, Chicago, IL 60607.

Subject Property: 2175 W. Roosevelt Road, Wheaton, IL 60187

Zoning Classification: C-5 Planned Commercial District

Surrounding Conditions: North: Commercial Properties/ C-5 Planned Commercial District
East: Commercial Properties/ C-5 Planned Commercial District
South: High School and Forest Preserve /R-1 Residential District
West: Commercial Properties/ C-5 Planned Commercial District

Planning Department Comments

Background

The subject property is located at the northeast corner of Roosevelt and County Farm Roads. The property is improved with a corporate-owned McDonald's Restaurant that closed in November 2023. The existing structure would be demolished if the proposed car wash is approved.



WHEATON MAYOR PHILIP J. SUESS

CITY MANAGER MICHAEL DZUGAN

CITY COUNCIL: ERICA BRAY-PARKER | LEAH BRICE | SCOTT BROWN | BRADLEY CLOUSING | LYNN ROBBINS | SCOTT WELLER

Site Plan and Potential Illinois Department of Transportation (IDOT) Taking

The applicant is requesting approval to allow the construction and use of a 4,800 square-foot car wash with 21 vacuum stations and 3 employee parking spaces. Access to the site would be provided via the existing curb cut on County Farm Road and the westernmost shopping center curb cut on Roosevelt Road. The car wash would operate in a clockwise direction around the perimeter of the building with three queueing lanes. Vacuum stations and employee parking are proposed on the north side of the building.

The proposed site plan and building is fully compliant with the bulk regulations contained in Article 20.5 of the Wheaton Zoning Ordinance as the property currently exists. The Illinois Department of Transportation (IDOT), however, is considering a potential taking at the intersection of Roosevelt and County Farm Roads to accommodate additional turn lanes (please see the IDOT ROW Taking Exhibit for reference).

On Roosevelt Road, the car wash curblines are currently proposed at 38.4 feet. With a 28.5-foot IDOT taking, this would result in a 9.9-foot landscape setback. On County Farm Road, the car wash curb line is proposed at 33.5 feet. With an 18.5-foot IDOT taking, this would result in a 15.0-foot landscape setback. The required front and corner side yard landscape setbacks are 15.0 feet, so a variation of 5.1 feet would be required along Roosevelt Road with the taking.

As the current development design would not comply with the landscape setback requirements on Roosevelt Road following the proposed right-of-way acquisition, staff recommends that the property owner dedicate the proposed right-of-way to the State and reconfigure their site plan to adhere to the applicable Wheaton Zoning Ordinance requirements.

Floor Plan and Building Elevations

The floor plan includes a business area, office, break room, restrooms, mechanical room, and wash tunnel.

The elevations include a mix of white stone veneer, tumbleweed and brown brick veneer, and a small amount navy synthetic stucco at the building's cornice, all in compliance with the City's masonry requirement. Aluminum storefront systems with clear glass doors and dark bronze frames are proposed.

The building elevations provided do not illustrate any rooftop mechanical units. Article 3.4C.2 of the Wheaton Zoning Ordinance requires that any such units be fully screened by a building parapet wall equal in height to the units.

Lighting and Noise Levels

A photometrics plan has been submitted as part of this application. The plan shows light levels up to 1.0 footcandles along the north property line. Per the requirements of the Wheaton Zoning Ordinance, the light levels from the building and parking lot lights should not exceed .5 footcandles at the property lines and all lighting must direct light downward.

A noise impact study has also been submitted as part of this application. Based on this study, the applicant is proposing that silencers be installed on the dryer blowers to reduce noise levels to comply with the city's daytime noise limit for commercial properties of 62 db. However, even with the silencers, noise levels would still exceed the city's daytime noise limit for residential properties of 55db (Marian

Park Apartments located south of the subject property). To address this, the applicant is further proposing the installation of an 8-foot-tall wall at the tunnel exit in order to comply with the city's daytime limit for residential properties.

The noise study also states the noise level for the vacuum stations are at 64.9 db, but does not address whether the noise level is for the vacuum equipment, one vacuum station or for multiple vacuum stations used simultaneously. The applicant shall provide testimony at the public hearing pertaining to the noise levels for multiple vacuum stations used simultaneously and whether or not it is in compliance with the city's performance standards.

Landscaping

A landscape plan has been submitted as part of this application. The plans shows a mix of trees, evergreen trees, shrubs, evergreen shrubs, and ornamental grasses. Most of the proposed landscaping is proposed at the car wash entrance and exit and along the north property line, to screen the vacuum and parking spaces from public view.

Monument Sign

A monument sign is proposed at the southwest corner of the site. Prior to the potential Illinois Department of Transportation (IDOT) taking (discussed in the Site Plan and Potential Illinois Department of Transportation Taking section above), the sign complies with the required 10-foot setback as the property currently exists. However, after the IDOT taking, the sign will have almost no setback. Staff recommends that the monument sign be relocated to an alternate location to maintain the required 10-foot setback from the potential IDOT taking.

The maximum height permitted by the Wheaton Zoning Ordinance is 7 feet, however the applicant is proposing a 9-foot-tall sign, since there is a 2-foot elevation change from the road to the site. Staff has no concerns about the proposed height given the elevation change.

Special Use Permit

A special use permit is required for a car wash. According to Article 5.10D of the Wheaton Zoning Ordinance, the applicant must provide sufficient evidence at the public hearing that the following special use permit will be met:

1. The establishment, maintenance, or operation of the special use shall not be detrimental to the public health, safety, morals, comfort, convenience, and general welfare.
2. The special use shall not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, not substantially diminish property values within the neighborhood.
3. The establishment of the special use shall not impede the normal and orderly development and improvement of the surrounding property for uses already permitted.
4. Adequate utilities, access ways, drainage, and other necessary facilities shall be provided.
5. Adequate measures shall be taken to provide ingress and egress designed to minimize traffic congestion in the public streets.
6. The special use shall comply with the objectives of the Wheaton Comprehensive Plan.
7. The special use shall conform to the applicable requirements of the district in which it is located as well as any other applicable requirements of this ordinance, except as many be varied by the Planning and Zoning Board or City Council.

Engineering Department Comments

The subject site does not contain a floodplain nor a wetland pursuant to the regulatory maps used for such determinations.

The proposed development triggers the City of Wheaton requirement to provide detention for the project. A preliminary stormwater report has been provided as a part of the planning and zoning submittal, and the proposed development plan shows detention being provided in an underground detention system. Final design of the required detention will be reviewed as a part of the site development permit to ensure that all City codes and policies are met.

The proposed development does not meet the trigger to provide a Best Management Practice (BMP) to reduce pollutants in their stormwater discharge.

The provided traffic report shows that the proposed use of a car wash is less intense compared to the previous use of a fast-food restaurant. As such, there will be a decrease in traffic on the site, and the use will not have a negative impact on the adjoining roadway system. Additionally, the traffic report delineates that sufficient stacking is being provided on site and queued traffic is not expected to affect Roosevelt Road nor County Farm.

The preliminary engineering plan shall be subject to further staff review prior to the issuance of a site development permit.

Staff Recommendation

The proposed use is situated at a busy commercial intersection that serves as a gateway entrance to the City. To mitigate existing traffic congestion issues, the Illinois Department of Transportation is contemplating a potential acquisition at the intersection of Roosevelt and County Farm Roads to accommodate additional turn lanes as part of a broader roadway improvement project.

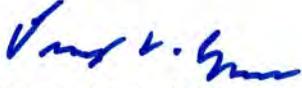
Staff will only support the special use permit request if the applicant adequately addresses the special use standards during the public hearing and agrees to the following conditions:

1. The property owner shall dedicate the proposed right-of-way to the State and reconfigure their site plan to adhere to the applicable Wheaton Zoning Ordinance requirements.
2. The height of the proposed parapet shall fully screen the rooftop mechanical units as required by Article 3.4C.2 of the Wheaton Zoning Ordinance.
3. The light levels from the building and parking lot lights shall not exceed .5 footcandles at the property lines and all lighting must direct light downward.
4. The applicant shall install silencers on the dryer blowers and the 8-foot-tall wall at the tunnel exit per the recommendations of the noise impact study.
5. The monument sign shall be relocated to an alternate location to maintain the required 10-foot setback with or without the potential IDOT taking.
6. The preliminary engineering plan shall be subject to further staff review prior to the issuance of a site development permit.

Respectfully submitted,

A handwritten signature in blue ink, appearing to read "J. Tebrugge, PE".

Joseph E. Tebrugge, PE
Director of Engineering

A handwritten signature in blue ink, appearing to read "Tracy L. Jones, AICP".

Tracy L. Jones, AICP
Staff Planner

Attachments

September 12, 2025

Jim Kozik
City of Wheaton Planning Director
303 W Wesley Street
Wheaton, IL 60187

**RE: *Proposed Mister Car Wash Development – Special Use Standards Narrative
2175 W Roosevelt Road
Wheaton, IL 60187***

Dear Mr. Kozik,

CWP West, LLC is proposing to re-develop the existing McDonald's site located at 2175 W. Roosevelt Road into a proposed Mister Car Wash. This development will utilize the existing driveway connections and is expected to materially decrease the traffic generated by the site when compared to the previous use. The project will include demolition of the existing structure and site features, minor re-grading, proposed utility installation, proposed building construction, and paving. The project will also include new landscaping and new stormwater management facilities in compliance with the current City ordinance.

It is our understanding that a Special Use Permit will be required for the proposed re-development. This narrative is intended to outline how the proposed development will address and comply with the required Special Use standards as contained in Article 5.10.D of the City of Wheaton Zoning Ordinance. The applicant is committed to ensuring that the establishment, maintenance, and operation of the car wash aligns with the governing requirements and contributes positively to the community.

- 1. The establishment, maintenance, or operation of the special use shall not be detrimental to the public health, safety, morals, comfort, convenience, and general welfare.**

The re-development of the existing McDonald's into a Mister Car Wash will not be detrimental to the public health, safety, morals, comfort, convenience, and general welfare of the Community. The car wash operation will adhere to all health and safety regulations, utilizing environmentally friendly cleaning agents and efficient water use systems. Noise and emissions will be minimized through modern equipment and proper ventilation, ensuring a comfortable environment for the surrounding area. Mister Car Wash intends to provide a service to the surrounding Community and takes pride in operating a business with exceptional customer service.

- 2. The special use shall not be injurious to the uses and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish property values within the neighborhood.**

The proposed car wash is anticipated to be a complimentary use to the surrounding retail properties and will not detract from the customers generated by nearby businesses. Care will be taken to mitigate any potential noise or environmental impacts, minimizing any negative effects on the use and enjoyment of neighboring properties. The aesthetic enhancements and improved infrastructure accompanying the Mister Car Wash are not anticipated to diminish property values within the neighborhood.

- 3. The establishment of a special use shall not impede the normal and orderly development and improvement of the surrounding property for uses already permitted.**

The establishment of the proposed Mister Car Wash will not impede the normal and orderly development of surrounding properties. The project utilizes the existing infrastructure of the McDonald's development, ensuring minimal disruption to neighboring developments. The car wash is anticipated to stimulate local economic activity and complement other commercial uses in the vicinity.

- 4. Adequate utilities, access ways, drainage, and other necessary facilities shall be provided.**

Adequate utilities, access ways, and drainage systems will be provided with the re-development and some are already in place from the existing McDonald's infrastructure. These facilities will be enhanced and adapted to meet the needs of the proposed Mister Car Wash development and the requirements of the City of Wheaton as shown in the Final Engineering Plans. Existing utility services will be re-purposed where possible and new utility services will be installed where needed. The existing access driveways are intended to be maintained to minimize impacts to the adjacent roadways. Modern drainage solutions will be installed to manage storm water runoff from the car wash, ensuring compliance with environmental standards and preventing any adverse effects on surrounding properties.

- 5. Adequate measures shall be taken to provide ingress and egress designed to minimize traffic congestion in the public streets.**

The proposed car wash intends to re-use the current access driveway locations from the existing McDonald's to minimize the impact to the adjacent roadways and mimic the existing traffic pattern. The Trip Generation Memorandum included with this application states that the total anticipated vehicular trips generated by the site will be decreased from the previous restaurant use, minimizing congestion on the adjacent roadways. Signage and on-site traffic guidance measures will be employed to further streamline vehicle movement.

- 6. The special use shall comply with the objectives of the Wheaton Comprehensive Plan.**

The re-development of this property aligns with the objectives of the Wheaton Comprehensive Plan which shows this area as Community Commercial and the current zoning of C5 – Planned Commercial District. It appears that this property is outside the limits of the current Roosevelt Road Corridor Plan. The car wash will provide a useful service that contributes to the local economy while maintaining the community's character and supporting its developmental goals.

- 7. The special use shall conform to the applicable requirements of the district in which it is located, as well as any other applicable requirements of this ordinance, except as may be varied by the Board or City Council.**

The proposed Mister Car Wash development intends to conform to all applicable zoning requirements and district regulations, requiring no variances from the Board or City Council.

In conclusion, it is our belief that the proposed Mister Car Wash development meets all of the Special Use Standards and will further enhance the surrounding commercial area. We are confident that the car wash will be a valuable and welcomed addition to the community, contributing positively to the overall urban landscape and community objectives.

Sincerely,



Taylor Eschbach, P.E.
Kimley-Horn and Associates, Inc.
Phone: 630-487-3392
Email: Taylor.Eschbach@kimley-horn.com



MEMORANDUM

To: Peter Galzki, P.E.
Development Project Manager
CWP West, LLC.

From: Brandon Forsythe, P.E. (TX)
Kimley-Horn and Associates, Inc.

Date: August 4, 2025

Subject: Trip Generation Estimates for Proposed Car Wash Redevelopment
2175 W. Roosevelt Road, Wheaton, IL

Kimley-Horn was retained by CWP West, LLC. to evaluate trip generation projections for a proposed redevelopment at 2175 W. Roosevelt Road in Wheaton, Illinois. The subject site is located on the northeast quadrant of the intersection of W. Roosevelt Road/S. County Farm Road. The proposed redevelopment would replace the former McDonald's restaurant with a Mister Car Wash. As summarized below, the redevelopment would result in a net decrease in site-generated traffic when compared to trip estimates for the former McDonald's restaurant. The redevelopment is not expected to materially impact traffic conditions on the area network. A copy of the proposed site plan is provided as **Attachment A**.

DEVELOPMENT CHARACTERISTICS

The site is currently vacant, but did serve an approximately 6,000 square foot fast food restaurant with a drive-through that would be removed prior to the development of the proposed car wash. The proposed development would include a 4,800 square foot car wash. The car wash is anticipated to have similar weekday evening and Saturday peak hour characteristics as the adjacent street network. The evening peak hour is expected to occur between 4:00 to 6:00PM and Saturday midday peak hour is expected to occur between 12:00 to 2:00PM.

The development would include one car wash tunnel, three queueing lanes, 23 vacuum spaces and three additional parking spaces. Access to the site would be provided via the existing driveways, with one $\frac{3}{4}$ access (no left in) along S. County Farm Road west of the site and one right-in/right-out access east of the site. No access changes are proposed.

Trip Generation

The Institute of Transportation Engineers (ITE) *Trip Generation Manual*, 11th Edition is a compilation of traffic count data collected at sites throughout the United States for a range of land uses based on building floor area, unit count, and other relevant variables. Trip generation data for ITE Land Use Code (LUC) 934, Fast-Food Restaurant with Drive-Through Window was used for this analysis when comparing back to the existing land use. For the proposed development, the land use code (LUC) for an Automated Car Wash (LUC 948) was used to provide trip generation data. LUC 934 uses building floor area to calculate trip generation for the existing site, while LUC 948 uses car wash tunnels to calculate trip generation for the proposed site. A summary of the ITE data for a Fast-Food Restaurant with Drive-Through Window (LUC 934) and Automated Car Wash (LUC 948) is provided in **Table 1**.

Table 1. ITE Trip Generation Data

ITE Land Use	Unit	Weekday			Saturday
		Daily	AM Peak Hour	PM Peak Hour	Midday Peak Hour
Fast-Food Restaurant with Drive-Through Window (LUC 934)	Per 1,000 sq. ft	T = 467.48X 50% in/50% out	T = 44.61X 51% in/49% out	T = 33.03X 52% in/48% out	T = 55.25X 51% in/49% out
Automated Car Wash (LUC 948) ¹	Per Car Wash Tunnel	T = (77.5X)*10 50% in/50% out	T = 41X 46% in/54% out	T = 77.5X 50% in/50% out	T = 41X 46% in/54% out

X = 1,000 square feet gross floor area for Fast-Food Restaurant use or car wash tunnel(s) for Car Wash use

T = Trips

¹The ITE *Trip Generation Manual*, 11th Edition manual does not provide Daily traffic volumes for an Automated Car Wash (LUC 948); therefore 10 times the PM Peak hour was assumed. Weekday AM Peak hour for an Automated Car Wash (LUC 948) is not provided; therefore, Saturday Midday peak hour data was assumed.

The estimated site generated trips for the previous fast-food with drive-through land use to exhibit multiple routing patterns when traveling to and from the subject site, as described below.

- Primary Trips** - Vehicles that travel to the subject development and then return directly to their place of origin are called "primary trips". Primary trips reflect new traffic volumes generated by the proposed development that would approach and depart on the same route. Trips to/from the site that are not pass-by trips are expected to be primary trips.
- Pass-By** - Pass-by traffic reflects the travel patterns of motorists who are already traveling on the adjacent study roadways and stop at the site en-route to another primary destination. Data in the ITE *Trip Generation Manual*, 11th Edition, reveals that 50 percent of vehicles at a Fast-Food Restaurant with Drive-Through Window (LUC 934) are pass-by trips during the morning peak hour, and 55 percent of vehicles are pass-by trips during the evening peak hour. Pass-by rates for Saturday peak hour are not provided by ITE; for purposes of the analysis, pass-by trips for the Saturday peak hour were assumed to be consistent with the evening peak hour of 55 percent. For daily trips, ITE data for the evening peak hour (55 percent) was referenced. ITE pass-by data is not provided for Automated Car Wash (LUC 948); therefore, pass-by rates were not included for the car wash, though it is anticipated that a portion of the site-generated trips would be pass-by.

Based on the existing and proposed development plan and ITE data, **Table 2** summarizes the projected trips on a typical weekday and Saturday when comparing the existing and proposed development.

Table 2. Site-Generated Traffic Projections¹

Land Use	Units	Weekday							Saturday		
		Daily	AM Peak Hour			PM Peak Hour			Midday Peak Hour		
			In	Out	Total	In	Out	Total	In	Out	Total
Existing Fast-Food Restaurant	6,000 sq. ft.	2,805	135	135	270	105	95	200	170	160	330
<i>Less Pass-by Trips</i>		-1,540	-65	-65	-130	-55	-55	-110	-90	-90	-180
<i>Net New Existing Project Trips</i>		1,265	70	70	140	50	40	90	80	70	150
Proposed Car Wash	One Tunnel	800	20	20	40	40	40	80	20	20	40
<i>Net New Driveway Trips</i>		-2,005	-115	-115	-230	-65	-50	-120	-150	-140	-290
<i>Net New Project Trips</i>		-465	-50	-50	-100	-10	--	-10	-60	-50	-110

¹ For purposes of this review, daily trips were rounded to the nearest multiple of ten, and peak-hour trips were rounded to the nearest multiple of five.

With the proposed redevelopment, a net decrease of 465 daily, 100 morning peak hour, 10 evening peak hour, and 110 Saturday midday peak hour project trips are projected at site driveways. With the proposed redevelopment, a net decrease of 2,005 daily, 230 morning peak hour, 120 evening peak hour, and 290 Saturday midday peak hour trips are projected along the adjacent roadway network. Due to pass-by rates not being provided for the proposed land use, it is anticipated that there will be a further decrease in traffic than projected. Therefore, the redevelopment is not expected to materially impact traffic conditions on the area roadway network.

Queueing Analysis

Based on a review of the proposed site plan, there are three queueing lanes provided on site at the proposed order boards. Each queueing lane is approximately 135 feet. Additionally, there is approximately 95 feet of space provided prior to the queue lanes and 150 feet between the end of the queue lanes and the entrance of the car wash tunnel. Based on the approximate lengths of storage space between the car wash tunnel entrance and the east access, approximately 25 vehicles (645 feet) can be accommodated on site. Typically, when planning for on-site queueing, a length of at least 15% of peak hour inbound trips should be provided. This would equate to a minimum of six vehicles (150 feet) for the proposed use. The proposed car wash provides over four times this queue length when compared to the 15% of peak hour inbound trips. Approximately 30% more on-site queueing is provided with the redevelopment when compared to the existing use, which is shown to generate more traffic. Spillback into the public roadway network is not anticipated and queueing is anticipated to be held on site.

TRAFFIC REVIEW

Based on a review of the available Illinois Department of Transportation (IDOT) traffic count data, **Table 3** provides a summary of the existing Average Annual Daily Traffic (AADT) on key roadways in the site vicinity.

Table 3. Average Annual Daily Traffic Volumes

Roadway Segment	Year	Vehicles per Day (vpd)
S. County Farm Road north of W. Roosevelt Road (IL-38)	2024	21,600
W. Roosevelt Road (IL-38) west of S. County Farm Road	2023	25,000
W. Roosevelt Road (IL-38) east of S. County Farm Road	2023	32,700

The proposed car wash is projected to generate approximately 2,005 less total daily trips, 230 less morning peak hour trips, 120 less evening peak hour trips, and 290 less Saturday midday peak hour trips as compared to the former restaurant development. As a result of the lower anticipated trip generation, redevelopment of the site is not expected to negatively impact traffic conditions on the surround roadway network.

SUMMARY

Based on Kimley-Horn’s review of the site plan, existing roadway network, estimated trip generation, and comparison to the existing development, the proposed Mister Car Wash is not expected to materially impact the roadway network as a result of the redevelopment. The existing access configuration is expected to adequately accommodate traffic generated by the proposed Mister Car Wash development and on-site queueing is increased by about 30% for a total of 645 feet when compared to the existing site. Based on operational characteristics of the proposed car wash, queue spillback to S. County Farm Road or the mixed-use development driveway is not anticipated.

Please do not hesitate to contact us with any questions related to the information in this memorandum.

Attachments: Conceptual Site Plan

MEMORANDUM

TO: The Honorable Mayor and City Council
FROM: Sarang A. Lagvankar, P.E. Senior Project Engineer
DATE: February 17, 2026
SUBJECT: **Recommendation for Change Order #1 to Phase 3 Construction Engineering Services for the Gary Avenue Reconstruction Project**

Request

Approve a resolution authorizing the execution of Change Order #1 for Phase 3 Construction Engineering Services for the Gary Avenue Reconstruction Project.

Background

On March 18, 2024, the City Council approved Agreement No. 455 with Thomas Engineering Group, LLC (TEG) for Phase 3 Construction Engineering Services for the Gary Avenue Reconstruction Project for \$524,965. The project is administered and approved by the Illinois Department of Transportation (IDOT) through a Local Public Agency Engineering Services Agreement. Additionally, the agreement set forth the City’s share of construction engineering costs. The City’s share of construction engineering costs are partially reimbursable up to \$350,000 through federal funds administered by the DuPage Mayors and Managers Conference (DMMC). To date, the City has been reimbursed \$217,345.97.

Change Order

The project experienced a substantial delay due to the relocation of AT&T utility infrastructure within the project limits. While construction was originally scheduled to begin in March 2024, the start of construction was delayed until spring 2025 to allow AT&T sufficient time to complete utility relocations within the right-of-way. The extended project duration resulted in additional construction engineering costs beyond the original estimate. TEG’s proposal in 2024 for the project estimated a total of 26 calendar weeks to monitor, document, and track construction-related activities. These additional costs include extended construction monitoring services as well as limited field redesign efforts required to address incomplete utility relocations encountered during construction.

The table below summarizes the original agreement and proposed change order. The change order is anticipated to cover the remaining construction engineering costs for the project.

Description	Amount
Original Agreement	\$ 524,965
Previously Approved Change Orders	\$ -
Change Order #1	\$ 124,742
Revised Agreement	\$ 649,707



Budget Impact

Staff did not anticipate additional costs carrying forward to 2026 for construction engineering during the development of the 2026 Budget. Change Order #1 increases the total contract amount to \$649,707. The Capital Projects Fund has the reserves available to accommodate the additional cost.

City staff has submitted a request to the DuPage Mayors and Managers Conference (DMMC) for additional funding to offset a portion of the additional construction engineering costs. If approved, 70% of the \$124,742 construction engineering costs would be reimbursed (\$87,319), reducing the City's share to approximately \$37,423.

Recommendation

Staff recommends that the City Council adopt a resolution authorizing the execution of Change Order #1 to Agreement No. 455 with Thomas Engineering Group, LLC for Phase 3 Construction Engineering Services for the Gary Avenue Reconstruction Project, in an amount not to exceed \$124,742. Approval of this change order will bring the total engineering agreement to \$649,707.

RESOLUTION R-2026-

A RESOLUTION AUTHORIZING THE EXECUTION OF CHANGE ORDER #1 TO AGREEMENT NO. 455 WITH THOMAS ENGINEERING GROUP, LLC FOR PHASE 3 CONSTRUCTION ENGINEERING SERVICES FOR THE GARY AVENUE RECONSTRUCTION PROJECT FOR A TOTAL AMOUNT NOT TO EXCEED \$124,742 AND A TOTAL AWARD OF \$649,707

WHEREAS, the City of Wheaton, Illinois, (“City”) is an Illinois Home Rule Municipality pursuant to the provisions of Article VII, Section 6, of the Illinois Constitution of 1970; and as such the City may exercise any power and perform any function pertaining to its government and affairs; and

WHEREAS, on March 18, 2024, the City Council approved Resolution No. R-2024-26 authorizing the City to enter into Agreement No. 455 with Thomas Engineering Group, LLC for Professional Construction Engineering Services for the Gary Avenue Reconstruction Project in the amount of \$524,965; and

WHEREAS, the Gary Avenue Reconstruction Project was originally scheduled to begin in March 2024 but was delayed due to the relocation of AT&T utility infrastructure; and

WHEREAS, the extended project duration resulted in additional construction engineering costs; and

WHEREAS, Thomas Engineering Group, LLC is requesting Change Order #1 in the amount of \$124,742, bringing the total final agreement amount to \$649,707; and

WHEREAS, staff did not anticipate additional costs carrying forward to 2026 during the development of the 2026 Budget. The Capital Projects Fund has the reserves available to accommodate the additional cost; and

WHEREAS, staff has submitted a request to the DuPage Mayors and Managers Conference (DMMC) for additional funding to offset a portion of the additional construction engineering costs. If approved, 70% of the \$124,742 construction engineering costs would be reimbursed (\$87,319), reducing the City’s share to approximately \$37,423; and

WHEREAS, the corporate authorities of the City of Wheaton, DuPage County, Illinois find it reasonable and appropriate to enter into Change Order #1 to Agreement No. 455 with Thomas Engineering Group, LLC at 762 Shoreline Drive, Suite 200, Aurora, Illinois 60101 for additional Professional Construction Engineering Services for the Gary Avenue Reconstruction Project for a total amount not to exceed \$124,742 and a total award of \$649,707.

NOW, THEREFORE, BE IT RESOLVED by the Mayor and City Council of the City of Wheaton, Illinois, that:

Section 1. The foregoing recitals are incorporated into and made part of this Resolution as findings of the Mayor and the City Council.

Section 2. The City's Change Order #1 to Agreement No. 455 with Thomas Engineering Group, LLC for additional Professional Construction Engineering Services for the Gary Avenue Reconstruction Project for a total amount not to exceed \$124,742 and a total award of \$649,707, is hereby authorized (the "Change Order"). A copy of the City's Change Order #1 to Agreement No. 455 is on file with the City Clerk's Office and is incorporated herein as if fully set forth as Exhibit A.

Section 3. City staff is authorized and directed to undertake any and all, other tasks necessary, or in the furtherance of, completion of the Change Order.

ADOPTED this 17th day of February 2026.

Mayor

ATTEST:

City Clerk

Roll Call Vote:

Ayes:
Nays:
Absent:



MEMORANDUM

TO: The Honorable Mayor and City Council
FROM: Sam Webb, Fleet Superintendent
DATE: February 17, 2026
SUBJECT: Recommendation to Purchase One (1) Replacement Vehicle for the Police Department - Five Votes Required

Request

Approve the resolution to waive competitive bidding for the purchase one (1) replacement vehicle for the Police Department and purchase directly from the vendor.

Background

Unit 338, a 2018 Dodge Caravan Community Service vehicle, is requested for replacement. The 2026 budget contains funding for this vehicle, and the current unit has exceeded replacement standards with over 102,000 miles of use.

The replacement vehicle is requested to be a 2026 Dodge Ram pickup truck instead of a minivan. After replacing another Community Service Officer (CSO) vehicle in early 2025 with a pickup truck, calls for service data and end user feedback have shown that this vehicle type effectively supports CSO duties and maintains the level of service expected by the Police Department and community.

Procurement Results

Staff typically utilize cooperative contracts to procure vehicles. These contracts undergo a thorough competitive bidding process to solicit, evaluate, and award contracts for goods and services. Periodically, staff seeks pricing from other vendors to confirm that cooperative contracts provide the best pricing available. In this instance, staff compared other Ram pickup trucks with similar options and equivalent Ford models on both local and national cooperative contracts. The best pricing was obtained from one of the City's existing vendors, Bob Ridings, Inc. The following chart shows the vehicles and pricing available for the replacement vehicle:

Table with 4 columns: Vendor, Year/ Make/ Model, Included Options, Delivered Cost. Rows include National Auto Fleet Group, Currie Motors/ SPC Co-Op, and Bob Ridings, Inc.

This request supports the City of Wheaton Strategic Plan 2021-2025 Strategic Priority #3 (Responsive and Efficient Services) by providing a vehicle that helps sustain vital City services. The current Unit 338 will be requested for disposal at a later date.



WHEATON MAYOR PHILIP J. SUESS

CITY MANAGER MICHAEL DZUGAN

Budget Impact

The total budgeted amount for the replacement of Unit 338 is \$59,442. This request is for the vehicle only and will expend \$40,493 of the total budgeted amount leaving \$18,949 for upfitting parts, graphics, and installation. These items will be procured as required during the time between the vehicle order and the vehicle delivery. The requested vehicle is expected to be approximately \$12,176 under budget after upfitting is completed. This under budget amount is from changing to a less expensive vehicle class (from van to pickup truck) and from re-using warning lights and equipment that is in good condition.

Unit 338	Budget	Vehicle Cost	Upfitting Costs	Total Cost	Over/(Under) Budget
Totals	\$ 59,442	\$ 40,493	\$ 6,773	\$ 47,266	\$ (12,176)

Recommendation

Staff recommends that the City Council waive competitive bidding requirements and adopt the resolution authorizing staff to purchase one (1) 2026 Ram 1500 pickup truck from Bob Ridings, Inc. for a total amount not to exceed \$40,493.

The specifications, proposal, quotation, and City's Purchase Order are on file in the City Clerk's office for review.

RESOLUTION R-2026-

A RESOLUTION AUTHORIZING THE PURCHASE OF ONE (1) 2026 DODGE RAM PICKUP TRUCK FROM BOB RIDINGS, INC. FOR A TOTAL AMOUNT NOT TO EXCEED \$40,493

WHEREAS, the City of Wheaton, Illinois, (“City”) is an Illinois home rule municipality pursuant to the provisions of Article VII, Section 6, of the Illinois Constitution of 1970; and as such the City may exercise any power and perform any function pertaining to its government and affairs; and

WHEREAS, annually, the Fleet Superintendent assesses the need for vehicle replacement and has concluded that Unit 338, a 2018 Dodge Caravan community service vehicle, has exceeded replacement standards with over 102,000 miles of use; and

WHEREAS, the replacement vehicle is requested to be a 2026 Dodge Ram pickup truck instead of a minivan; and

WHEREAS, the City budgeted \$59,442 in the Fleet Services Fund for the replacement of Unit 338; and

WHEREAS, in accordance with the City’s purchasing procedures, the City typically procures vehicles through a public bid process or from a government purchasing cooperative. Cooperative contracts undergo a thorough competitive bidding process to solicit, evaluate, and award contracts for goods and services; and

WHEREAS, periodically, staff seeks pricing from other vendors to confirm that cooperative contracts provide the best pricing available. In this instance, staff compared other Ram pickup trucks with similar options and equivalent Ford models on both local and national cooperative contracts. The best pricing was obtained from one of the City’s existing vendors, Bob Ridings, Inc.; and

WHEREAS, pursuant to its Home Rule Powers, the City has the authority to waive the competitive bidding requirements.

NOW, THEREFORE, BE IT RESOLVED by the Mayor and City Council of the City of Wheaton, Illinois, that:

Section 1: The foregoing recitals are incorporated into and are made a part of this Resolution as findings of the Mayor and the City Council.

Section 2: The Mayor and City Council hereby waive the competitive bidding requirement for the procurement of one (1) 2026 Dodge Ram pickup truck.

Section 3: The City’s Purchase Order #2027013 for one (1) 2026 Dodge Ram pickup truck from Bob Ridings, Inc. located at 931 Springfield Road, Taylorville, Illinois, 62568 for a total amount not to exceed \$40,493 is hereby authorized (the “Purchase”).

A copy of the City’s Purchase Order #2027013 is on file with the City Clerk’s office and is incorporated herein as if fully set forth as Exhibit A.

Section 4: City staff is authorized and directed to undertake any and all other tasks necessary, or in furtherance of, completion of the Purchase transaction.

ADOPTED this 17th day of February 2026.

Mayor

ATTEST:

City Clerk

Roll Call Vote:

Ayes:
Nays:
Absent:

MEMORANDUM

TO: The Honorable Mayor and City Council
FROM: Olivia Covert, Project Engineer
DATE: February 17, 2026
SUBJECT: **Recommendation for Professional Engineering Services for the 2026 Fall Sidewalk Program**

Request

Approve a resolution for the award of Professional Engineering Services for the 2026 Fall Sidewalk Program.

Background

Since the Spring of 2022, over 12.5 miles of sidewalks have been installed in accordance with the City Council’s directive of having a sidewalk on at least one side of every street in Wheaton. Additionally, the City’s Comprehensive Plan establishes a goal to provide full connectivity of pedestrian facilities by completing the sidewalk network. The survey and design of the 2026 Fall Sidewalk Program will be completed by a professional engineering consultant. Staff recommend completing one new sidewalk program every year in order to meet the Council’s goal in meeting this objective in 2027.

Scope of Work

The project scope includes surveying and design of approximately 14,000 linear feet (2.65 miles) of sidewalk for the 2026 Fall Sidewalk Program. Construction of the project is intended to be awarded in July 2026, with work to begin in August. The following list contains 26 locations where sidewalks will be surveyed and designed for construction.

#	Street	From	To	Approximate Length (LF)
1	Bridle Lane	Washington Street	Driving Park Road	935
2	Martingale Road	Driving Park Road	Bridle Lane	625
3	Forest Avenue	1410 Forest Ave	Kingston Street	815
4	Glencoe Street	College Avenue	1006 Glencoe Street	180
5	North Path	Cherry Street	President Street	590
6	Webster Avenue	Harrison Avenue	University Place	1,270
7	Thomas Road	Stoddard Avenue	Summit Street	620
8	Prospect Street	Hill Avenue	422 Prospect Street	175
9	Wood Street	Hill Avenue	Avery Avenue	550
10	Wood Street	1520 Avery Avenue	Harwarden Street	170
11	Harwarden Street	Kellogg Place	Williston Street	300
12	Hawthorne Boulevard	Gary Avenue	Morse Street	1,150
13	Fanchon Street	Hawthorne Boulevard	City Limits	415
14	Purnell Street	Hawthorne Boulevard	City Limits	485



15	N Carlton Avenue	Hawthorne Boulevard	1322-1329 N Carlton Avenue	515
16	Morse Street	Hawthorne Boulevard	End	520
17	Thomas Road	ON059 Purnell Street	Papworth Street	1,200
18	W Prairie Avenue	West Street	End	735
19	Circle Avenue	Carlton Avenue	Carlton Avenue	610
20	Coolidge Avenue	President Street	Williston Street	610
21	Williston Street	1121 Elm Street	Coolidge Avenue	500
22	Chase Street	IL 38	Pershing Ave	130
23	Campbell Court	End	Campbell Avenue	110
24	Belleau Woods Drive	McCormick Place	2160 Belleau Woods Drive	145
25	Bates Street	Manchester Road	161 & 180 Bates Street	300
26	Lincoln Avenue	End	915 Lincoln Avenue	345

Procurement Results

The City received eight (8) proposals from the following vendors:

Vendor	Amount
Webster, McGrath & Ahlberg, Ltd.	\$ 93,800.00
Valdes Architecture & Engineering	\$106,953.00
Bodwé-WBK Engineering, LLC	\$119,604.24
Chastain & Associates, LLC	\$126,226.38
Trotter and Associates, Inc.	\$165,372.00
GSG Consultants, Inc.	\$179,560.00
The Will Group, Inc.	\$196,000.00
Engineering Resource Associates, Inc.	\$196,200.00

All proposals were reviewed by Engineering staff using the Qualifications Based Selection (QBS) method for evaluation, as is required for the use of motor fuel tax (MFT) funds for this project.

Webster, McGrath & Ahlberg, Ltd. was determined by staff to be the most advantageous for the City to perform this work due to their ability to meet the schedule, qualifications, and proposed cost. Webster, McGrath & Ahlberg, Ltd. is fully qualified to perform this type of work and has the required design and IDOT and MFT permitting experience needed to complete the project. Webster, McGrath & Ahlberg, Ltd. has performed Professional Engineering Services on previous City sidewalk programs to the satisfaction of City Staff.

Procurement Review

Procurement staff reviewed the bid from Webster, McGrath & Ahlberg, Ltd. for conformity with the City's terms and conditions and insurance requirements. Webster, McGrath & Ahlberg, Ltd. is compliant with the proposal requirements.

Budget Impact

The City budgeted \$150,000 in the Capital Projects Fund for Professional Engineering Services for the 2026 Fall Sidewalk Program. The bid for the project is \$93,800, which is \$56,200 (or -37.5%) under budget.

Recommendation

Staff recommends that the City Council adopt the resolution authorizing the execution of Agreement No. 596 with Webster, McGrath & Ahlberg, Ltd. for Professional Engineering Services for the 2026 Fall Sidewalk Program for a total amount not to exceed \$93,800 and a 10% contingency.

The agreement, RFP package, and responses are on file in the City Clerk's office and available for review.

RESOLUTION R-2026-

**A RESOLUTION AUTHORIZING THE EXECUTION OF AGREEMENT NO. 596
WITH WEBSTER, MCGRATH & AHLBERG, LTD. FOR PROFESSIONAL ENGINEERING SERVICES FOR THE
2026 FALL SIDEWALK PROGRAM FOR A TOTAL AMOUNT NOT TO EXCEED \$93,800 AND A 10%
CONTINGENCY**

WHEREAS, the City of Wheaton, Illinois, (“City”) is an Illinois home rule municipality pursuant to the provisions of Article VII, Section 6, of the Illinois Constitution of 1970; and as such the City may exercise any power and perform any function pertaining to its government and affairs; and

WHEREAS, the City solicited a Request for Proposal package (RFP Number 26-01) for Professional Engineering Services for the 2026 Fall Sidewalk Program and received and reviewed eight (8) proposals; and

WHEREAS, staff determined that the proposal submitted by Webster, McGrath & Ahlberg, Ltd. best meets the City’s needs; and

WHEREAS, the City budgeted \$93,800 in the Capital Projects Fund for Professional Engineering Services for the 2026 Fall Sidewalk Program; and

WHEREAS, both parties agree to the terms and conditions set forth in the Request for Proposal and the agreement contained in the City’s RFP package for Professional Engineering Services for the 2026 Fall Sidewalk Program; and

WHEREAS, the corporate authorities of the City of Wheaton, DuPage County, Illinois find it reasonable and appropriate to enter into an agreement with Webster, McGrath & Ahlberg, Ltd. located at 2100 Manchester Road, Suite 203, Wheaton, IL 60187 for Professional Engineering Services for the 2026 Fall Sidewalk Program for a total amount not to exceed \$93,800 and a 10% contingency.

NOW, THEREFORE, BE IT RESOLVED by the Mayor and City Council of the City of Wheaton, Illinois, that the Mayor is hereby authorized to execute, and the City Clerk is hereby directed to attest to City of Wheaton Agreement No. 596 with Webster, McGrath & Ahlberg, Ltd. for Professional Engineering Services for the 2026 Fall Sidewalk Program; and that a copy of that certain City of Wheaton Agreement No. 596 is on file with the City Clerk’s office and is incorporated herein as if fully set forth as Exhibit A.

ADOPTED this 17th day of February 2026.

Mayor

ATTEST:

City Clerk

Roll Call Vote:

Ayes:
Nays:
Absent:

City of Wheaton, IL
Warrant Report
Warrant Number: 914
Warrant Date: 2/17/2026

To the Treasurer of the City of Wheaton:

You are hereby authorized and directed to make payment on the items as listed and approved by the City Council and to charge the same to the accounts so designated:

Vendor Name	Description	Amount
Fund: 100 - General Fund		
Org: 100 - General Fund		
JONATHAN SHAVER	REF ESCROW-1655 SAWYER AVE	10,000.00
RDB REMODELING GROUP	REF ESCROW-905 WILLOW AVE	500.00
Total Org: 100 - General Fund		\$10,500.00
Org: 10509900 - Building Department Revenue		
BARRINGTON POOLS	REF-DUPLICATE CONTRACTOR REGISTRATION	150.00
Total Org: 10509900 - Building Department Revenue		\$150.00
Org: 11000010 - Mayor and City Council		
MUNICIPAL CLERKS OF DUPAGE COUNTY	MEETING EXPENSES	38.00
PHILIP SUESS	REIMB-CONFERENCE EXPENSES	2,712.91
TOSHIBA FINANCIAL SERVICES	MONTHLY COPIER LEASE	58.83
TOSHIBA FINANCIAL SERVICES	MONTHLY COPIER USAGE	54.35
Total Org: 11000010 - Mayor and City Council		\$2,864.09
Org: 11212000 - Boards and Commissions		
PADDOCK PUBLICATIONS	PUBLIC NOTICE	177.10
PADDOCK PUBLICATIONS	PUBLIC NOTICES	579.60
POSSIBILITY PLACE NURSERY	NATIVE PLANT SALE	1,938.00
VERITEXT LLC	COURT REPORTING FEES	604.00
VERITEXT LLC	PUBLIC HEARING	495.20
Total Org: 11212000 - Boards and Commissions		\$3,793.90
Org: 11500010 - City Manager's Office		
MICHAEL DZUGAN	REIMB-MEETING EXPENSES	33.50
TOSHIBA FINANCIAL SERVICES	MONTHLY COPIER LEASE	58.84
TOSHIBA FINANCIAL SERVICES	MONTHLY COPIER USAGE	54.34
Total Org: 11500010 - City Manager's Office		\$146.68
Org: 11700010 - Legal Services		
CLARK BAIRD SMITH LLP	LABOR ATTORNEY FEES-JANUARY	18,482.50
Total Org: 11700010 - Legal Services		\$18,482.50
Org: 12000010 - Finance		
MARQUETTE ASSOCIATES INC	INVESTMENT CONSULTING SERVICES	7,750.00
PAYMENTECH LLC	CREDIT CARD FEES-JANUARY	1,010.93
PAYMENTECH LLC	CREDIT CARD FEES-JANUARY	1,395.77

Vendor Name	Description	Amount
PAYMENTECH LLC	CREDIT CARD FEES-JANUARY	6,225.79
PAYMENTECH LLC	CREDIT CARD FEES-OCTOBER	663.88
PAYMENTECH LLC	CREDIT CARD FEES-OCTOBER	729.00
PAYMENTECH LLC	CREDIT CARD FEES-OCTOBER	795.19
PAYMENTECH LLC	CREDIT CARD FEES-OCTOBER	8,741.88
PAYMENTECH LLC	CREDIT CARD FEES-JANUARY	527.54
POINT & PAY, LLC DBA POINT & PAY	CREDIT CARD FEES-DECEMBER	2,386.54
SIKICH CPA LLC	2025 AUDIT SERVICES	10,000.00
TOSHIBA FINANCIAL SERVICES	MONTHLY COPIER LEASE	176.51
TOSHIBA FINANCIAL SERVICES	MONTHLY COPIER USAGE	113.59
UNITED STATES POSTAL SERV	POSTAGE	2,000.00
Total Org: 12000010 - Finance		\$42,516.62
Org: 12500010 - Human Resources		
TOSHIBA FINANCIAL SERVICES	MONTHLY COPIER LEASE	58.83
TOSHIBA FINANCIAL SERVICES	MONTHLY COPIER USAGE	54.35
Total Org: 12500010 - Human Resources		\$113.18
Org: 13000015 - Information Technology		
CDW GOVERNMENT INC	TONER	99.90
CDW GOVERNMENT INC	TONER	100.38
CDW GOVERNMENT INC	TONER	129.97
HEARTLAND BUSINESS SYSTEMS LLC	SECURITY NETWORK CONSULTING	375.00
IMAGING ESSENTIALS INC DBA CLIFFORD WALD & CO	MONTHLY PRINTER RENTAL	137.97
IMAGING ESSENTIALS INC DBA CLIFFORD WALD & CO	PLOTTER INK	20.54
TOSHIBA FINANCIAL SERVICES	MONTHLY COPIER USAGE	28.00
Total Org: 13000015 - Information Technology		\$891.76
Org: 14000010 - Planning & Economic Develop		
IMAGING ESSENTIALS INC DBA CLIFFORD WALD & CO	MONTHLY PRINTER RENTAL	20.19
TOSHIBA FINANCIAL SERVICES	MONTHLY COPIER LEASE	98.12
TOSHIBA FINANCIAL SERVICES	MONTHLY COPIER USAGE	51.91
Total Org: 14000010 - Planning & Economic Develop		\$170.22
Org: 14500010 - Engineering		
IMAGING ESSENTIALS INC DBA CLIFFORD WALD & CO	MONTHLY PRINTER RENTAL	104.31
TOSHIBA FINANCIAL SERVICES	MONTHLY COPIER LEASE	58.84
TOSHIBA FINANCIAL SERVICES	MONTHLY COPIER USAGE	20.86
Total Org: 14500010 - Engineering		\$184.01
Org: 15000010 - Building and Code Enforcement		
ELEVATOR INSPECTION SERVICES COMPANY INC	ELEVATOR INSPECTIONS	100.00
IMAGING ESSENTIALS INC DBA CLIFFORD WALD & CO	MONTHLY PRINTER RENTAL	74.03
TOSHIBA FINANCIAL SERVICES	MONTHLY COPIER LEASE	98.11

Vendor Name	Description	Amount
TOSHIBA FINANCIAL SERVICES	MONTHLY COPIER USAGE	51.91
TRANSUNION RISK AND ALTERNATIVE DATA SOLUTION	MONTHLY ACCESS FEES-JANUARY	125.00
Total Org: 15000010 - Building and Code Enforcement		\$449.05
Org: 15540000 - Buildings & Grounds		
AL SCHEFSKE	REIMB-PROTECTIVE GLOVES	74.04
MID-AMERICAN ELEVATOR COMPANY INC	ELEVATOR MAINTENANCE	921.60
Total Org: 15540000 - Buildings & Grounds		\$995.64
Org: 15540020 - Police Station Maintenance		
MID-AMERICAN ELEVATOR COMPANY INC	ELEVATOR MAINTENANCE	460.80
Total Org: 15540020 - Police Station Maintenance		\$460.80
Org: 15540040 - PW Building Maintenance		
MID-AMERICAN ELEVATOR COMPANY INC	ELEVATOR MAINTENANCE	460.80
Total Org: 15540040 - PW Building Maintenance		\$460.80
Org: 15550000 - Facilities		
FOX TOWN PLUMBING INC	PLUMBING MAINTENANCE-FD37	144.00
FOX TOWN PLUMBING INC	PLUMBING MAINTENANCE-ANNEX	84.00
FOX TOWN PLUMBING INC	PLUMBING MAINTENANCE-CH	252.00
FOX TOWN PLUMBING INC	PLUMBING MAINTENANCE-FD39	144.00
FOX TOWN PLUMBING INC	PLUMBING MAINTENANCE-PD	324.00
FOX TOWN PLUMBING INC	PLUMBING MAINTENANCE-PW	168.00
FOX TOWN PLUMBING INC	PLUMBING REPAIRS-CH	182.00
FOX TOWN PLUMBING INC	PLUMBING REPAIRS-FD38	1,279.00
FOX TOWN PLUMBING INC	WATER HEATER REPLACEMENT-PD	12,254.00
GRAYBAR ELECTRIC CO INC	ELECTRICAL OUTLETS-FD37	154.80
PERFORMANCE CHEMICAL & SUPPLY INC	JANITORIAL SUPPLIES-CH	112.44
PERFORMANCE CHEMICAL & SUPPLY INC	JANITORIAL SUPPLIES-FD37	134.11
PERFORMANCE CHEMICAL & SUPPLY INC	JANITORIAL SUPPLIES-FD38	232.00
PERFORMANCE CHEMICAL & SUPPLY INC	JANITORIAL SUPPLIES-FD38	302.82
PERFORMANCE CHEMICAL & SUPPLY INC	JANITORIAL SUPPLIES-FD39	373.94
PERFORMANCE CHEMICAL & SUPPLY INC	JANITORIAL SUPPLIES-PD, PW	224.88
PERFORMANCE CHEMICAL & SUPPLY INC	JANITORIAL SUPPLIES-PW	242.40
THE TIDY QUEENS	MONTHLY JANITORIAL SERVICE-JANUARY	13,285.98
WEBMARC DOORS	DOOR REPAIR-FD37	718.33
Total Org: 15550000 - Facilities		\$30,612.70
Org: 16010020 - Police Administrative		
COLLEGE OF DUPAGE	POLICE ACADEMY-3 POLICE OFFICERS	15,496.80
RAYMOND O'HERRON CO INC	AMMUNITION	10,925.00
TOSHIBA FINANCIAL SERVICES	MONTHLY COPIER LEASE	78.57
TOSHIBA FINANCIAL SERVICES	MONTHLY COPIER USAGE	17.99
Total Org: 16010020 - Police Administrative		\$26,518.36
Org: 16050220 - Police Support Services		

Vendor Name	Description	Amount
ALPHAGRAPHICS	PRINTING-TOW STICKERS	453.00
DUPAGE COUNTY	DUJIS ANNUAL OPERATIONAL COST	99,379.30
GALL'S LLC	UNIFORM ALLOWANCE	275.19
ITOUCH BIOMETRICS LLC	SOFTWARE MAINTENANCE	3,380.00
TOSHIBA FINANCIAL SERVICES	MONTHLY COPIER LEASE	176.50
TOSHIBA FINANCIAL SERVICES	MONTHLY COPIER USAGE	58.84
Total Org: 16050220 - Police Support Services		\$103,722.83

Org: 16052020 - Police Investigative Services

DUPAGE JUVENILE OFFICERS ASSOCIATION	POLICE TRAINING	70.00
PETTY CASH	COMPLIANCE CHECKS, INVESTIGATIONS FUNDS	2,000.00
RELX INC	INVESTIGATIVE SOFTWARE-DECEMBER	231.53
DBA LEXISNEXIS RISK SOLUTIONS		
RELX INC	INVESTIGATIVE SOFTWARE-JANUARY	231.53
DBA LEXISNEXIS RISK SOLUTIONS		
T-MOBILE USA INC	SEARCH WARRANT FEES	50.00
T-MOBILE USA INC	SEARCH WARRANT FEES	165.00
TOSHIBA FINANCIAL SERVICES	MONTHLY COPIER LEASE	78.57
TOSHIBA FINANCIAL SERVICES	MONTHLY COPIER USAGE	43.52
TRANSUNION RISK AND ALTERNATIVE DATA SOLUTION	MONTHLY ACCESS FEES-JANUARY	297.20

Total Org: 16052020 - Police Investigative Services

\$3,167.35

Org: 16053020 - Traffic Patrol Services

CARLOS PLIEGO	REIMB-TRAINING EXPENSES	165.30
COLLEGE OF DUPAGE	POLICE TRAINING	474.00
COREY WHITE	REIMB-TRAINING EXPENSES	14.50
CRYSTAL MIROBALLI	REIMB-TRAINING EXPENSES	14.50
IL STATE TOLL HIGHWAY AUTHORITY	IPASS TOLLS	13.10
IVAN LICHVAN	REIMB-TRAINING EXPENSES	115.42
MATEUSZ PYTKA	REIMB-TRAINING EXPENSES	165.30
MICHAEL SHEAHAN	REIMB-TRAINING EXPENSES	16.64
RAYMOND O'HERRON CO INC	UNIFORM ALLOWANCE	10.00
RAYMOND O'HERRON CO INC	UNIFORM ALLOWANCE	430.76
RAYMOND O'HERRON CO INC	UNIFORM ALLOWANCE	441.76
RAYMOND O'HERRON CO INC	UNIFORM ALLOWANCE	445.47
RAYMOND O'HERRON CO INC	UNIFORM ALLOWANCE	520.84
TIMOTHY KOLZOW	REIMB-TRAINING EXPENSES	59.89
TOSHIBA FINANCIAL SERVICES	MONTHLY COPIER LEASE	78.57
TOSHIBA FINANCIAL SERVICES	MONTHLY COPIER USAGE	56.53

Total Org: 16053020 - Traffic Patrol Services

\$3,022.58

Org: 16560031 - Fire Administrative

ADDISON FIRE PROTECTION	RMS SOFTWARE	5,000.00
COMCAST	EMS COMMUNICATIONS	10.50
COMCAST	EMS COMMUNICATIONS	84.35
COMCAST	MONTHLY CABLE SERVICE	10.50
ESO SOLUTIONS INC	HISTORICAL DATA ACCESS	500.00

Vendor Name	Description	Amount
ON TIME EMBROIDERY INC DBA THE LOCKER SHOP	UNIFORM ALLOWANCE	26.00
ON TIME EMBROIDERY INC DBA THE LOCKER SHOP	UNIFORM ALLOWANCE	205.00
ON TIME EMBROIDERY INC DBA THE LOCKER SHOP	UNIFORM ALLOWANCE	216.00
ON TIME EMBROIDERY INC DBA THE LOCKER SHOP	UNIFORM ALLOWANCE	268.00
TARGETSOLUTIONS LEARNING, LLC	ENTERPRISE SOLUTION SOFTWARE	56.03
TOSHIBA FINANCIAL SERVICES	MONTHLY COPIER LEASE	78.57
TOSHIBA FINANCIAL SERVICES	MONTHLY COPIER USAGE	77.88
Total Org: 16560031 - Fire Administrative		\$6,532.83
Org: 16562000 - Firefighting/Investigation		
AIR ONE EQUIPMENT INC	AIR QUALITY TEST	1,350.42
KNOX COMPANY	KNOX KEY SUPPLIES	320.00
ON TIME EMBROIDERY INC DBA THE LOCKER SHOP	UNIFORM ALLOWANCE	46.00
ON TIME EMBROIDERY INC DBA THE LOCKER SHOP	UNIFORM ALLOWANCE	70.00
ON TIME EMBROIDERY INC DBA THE LOCKER SHOP	UNIFORM ALLOWANCE	73.00
ON TIME EMBROIDERY INC DBA THE LOCKER SHOP	UNIFORM ALLOWANCE	89.00
ON TIME EMBROIDERY INC DBA THE LOCKER SHOP	UNIFORM ALLOWANCE	95.00
ON TIME EMBROIDERY INC DBA THE LOCKER SHOP	UNIFORM ALLOWANCE	111.00
ON TIME EMBROIDERY INC DBA THE LOCKER SHOP	UNIFORM ALLOWANCE	150.00
ON TIME EMBROIDERY INC DBA THE LOCKER SHOP	UNIFORM ALLOWANCE	169.00
ON TIME EMBROIDERY INC DBA THE LOCKER SHOP	UNIFORM ALLOWANCE	178.00
ON TIME EMBROIDERY INC DBA THE LOCKER SHOP	UNIFORM ALLOWANCE	236.00
WW GRAINGER INC	HARDWARE SUPPLIES RETURNED	-144.69
WW GRAINGER INC	TOOL CLEANING PACKS	114.97
Total Org: 16562000 - Firefighting/Investigation		\$2,857.70
Org: 16563000 - Fire Communications		
DINGES PARTNERS GROUP LLC DBA DINGES FIRE COMPANY	CAMERA CHARGER	86.09
Total Org: 16563000 - Fire Communications		\$86.09
Org: 16565000 - Medical/Rescue Services		
BOUND TREE MEDICAL LLC	EMS SUPPLIES	80.96
BOUND TREE MEDICAL LLC	EMS SUPPLIES	1,308.97
BOUND TREE MEDICAL LLC	EMS SUPPLIES	1,364.98
METRO PARAMEDIC SERVICES INC	PARAMEDIC SERVICES-FEBRUARY	213,736.43
STRYKER SALES CORPORATION	BATTERY	52.73
Total Org: 16565000 - Medical/Rescue Services		\$216,544.07
Org: 17010040 - Public Works Administrative		
JASON HARDTKE	REIMB-CDL RENEWAL	61.35

Vendor Name	Description	Amount
TOSHIBA FINANCIAL SERVICES	MONTHLY COPIER LEASE	78.57
TOSHIBA FINANCIAL SERVICES	MONTHLY COPIER USAGE	40.91
Total Org: 17010040 - Public Works Administrative		\$180.83
Org: 17030701 - Special Events		
WINTERGREEN CORPORATION	HOLIDAY LIGHTS	6,188.16
Total Org: 17030701 - Special Events		\$6,188.16
Org: 17031721 - Street Lights & Traffic Signal		
AEP ENERGY	ELECTRICITY	20.20
COMMONWEALTH EDISON	ELECTRICITY	78.78
CONSTELLATION NEWENERGY	ELECTRICITY	5.17
CONSTELLATION NEWENERGY	ELECTRICITY	9.32
CONSTELLATION NEWENERGY	ELECTRICITY	25.86
CONSTELLATION NEWENERGY	ELECTRICITY	130.45
CONSTELLATION NEWENERGY	ELECTRICITY	315.22
CONSTELLATION NEWENERGY	ELECTRICITY	342.95
CONSTELLATION NEWENERGY	ELECTRICITY	5,772.39
CONSTELLATION NEWENERGY	ELECTRICITY	7,719.08
Total Org: 17031721 - Street Lights & Traffic Signal		\$14,419.42
Org: 17031722 - Snow and Ice Control		
MURRAY AND TRETTEL INC	STORM WARNING SERVICE	2,045.00
PRECISE MOBILE RESOURCE MANAGEMENT LLC	GPS DATA TRACKING	190.00
Total Org: 17031722 - Snow and Ice Control		\$2,235.00
Org: 18050130 - Senior Citizens Programs		
HOUSING ASSISTANCE	COMMUNITY ASSISTANCE	10,380.00
Total Org: 18050130 - Senior Citizens Programs		\$10,380.00
Total Fund: 100 - General Fund		\$508,647.17
Fund: 232 - State Forfeiture Fund		
Org: 23208000 - State Article36 Seizure Revenu		
ILLINOIS STATE POLICE	ARTICLE 36 FINE COLLECTION	500.00
Total Org: 23208000 - State Article36 Seizure Revenu		\$500.00
Org: 23280010 - State Article36 Seizure Expens		
AREA DUPAGE TOWING	POLICE TOWING CHARGES	165.00
Total Org: 23280010 - State Article36 Seizure Expens		\$165.00
Total Fund: 232 - State Forfeiture Fund		\$665.00
Fund: 400 - Capital Projects Fund		
Org: 400 - Capital Projects Fund		
R W DUNTEMAN COMPANY	2025 R,S,W REHAB PROGRAM RETAINAGE	10,686.55
R W DUNTEMAN COMPANY	2025 R,S,W REHAB PROGRAM RETAINAGE	24,965.83
Total Org: 400 - Capital Projects Fund		\$35,652.38

Vendor Name	Description	Amount
Org: 40085010 - Capital Projects Expense		
ELECTRICAL RESOURCE MANAGEMENT, INC.	RESIDENT ENGINEER SERVICE-2025 R,S,W REHAB PROGRAM	1,280.00
LYONS ELECTRIC CO INC	STREETLIGHT FIXTURES INSTALLATION	9,730.00
R W DUNTEMAN COMPANY	2025 R,S,W REHAB PROGRAM	489,891.95
Total Org: 40085010 - Capital Projects Expense		\$500,901.95
Total Fund: 400 - Capital Projects Fund		\$536,554.33
Fund: 410 - 2018 G.O. Bond Fund		
Org: 410 - 2018 G.O. Bond Fund		
R W DUNTEMAN COMPANY	2025 R,S,W REHAB PROGRAM RETAINAGE	10,121.58
Total Org: 410 - 2018 G.O. Bond Fund		\$10,121.58
Total Fund: 410 - 2018 G.O. Bond Fund		\$10,121.58
Fund: 500 - Water Fund		
Org: 500 - Water Fund		
HIGH STANDARD SERVICES (GC)	REF-HYDRANT METER DEPOSIT	680.00
R W DUNTEMAN COMPANY	2025 R,S,W REHAB PROGRAM RETAINAGE	752.00
R W DUNTEMAN COMPANY	2025 R,S,W REHAB PROGRAM RETAINAGE	18,650.19
R W DUNTEMAN COMPANY	2025 R,S,W REHAB PROGRAM RETAINAGE	33,409.58
ROYAL OAKS TREE CARE, INC	REF-HYDRANT METER DEPOSIT	554.73
Total Org: 500 - Water Fund		\$54,046.50
Org: 50055045 - Water Building Maintenance		
ARMBRUST PLUMBING HEATING & AIR CONDITIONING INC	PUMPING STATION REPAIRS	5,360.00
FOX TOWN PLUMBING INC	PLUMBING MAINTENANCE-WATER	144.00
PERFORMANCE CHEMICAL & SUPPLY INC	JANITORIAL SUPPLIES-WATER	239.83
THE TIDY QUEENS	MONTHLY JANITORIAL SERVICE-JANUARY	2,064.13
Total Org: 50055045 - Water Building Maintenance		\$7,807.96
Org: 50070010 - Water Administrative		
TOSHIBA FINANCIAL SERVICES	MONTHLY COPIER LEASE	78.57
TOSHIBA FINANCIAL SERVICES	MONTHLY COPIER USAGE	42.47
WW GRAINGER INC	EAR PLUGS, SAFETY GLASSES	720.43
Total Org: 50070010 - Water Administrative		\$841.47
Org: 50070220 - Water Distribution		
BELL CARTAGE CORP	DIRT HAULING	19,836.00
BLUFF CITY MATERIALS INC	DUMP FEES	1,833.60
BLUFF CITY MATERIALS INC	DUMP FEES	3,820.00
BLUFF CITY MATERIALS INC	DUMP FEES	4,278.40
HD SUPPLY INC	PIPE DESCALER	479.98
DBA USA BLUE BOOK		
HD SUPPLY INC	PIPE DESCALING TOOL	355.75
DBA USA BLUE BOOK		

Vendor Name	Description	Amount
HIBS ENTERPRISES LLC	PRINTING-WATER METER TAGS	812.50
DBA CROWN GRAPHICS		
HINES BUILDING SUPPLY	LUMBER	96.48
MID AMERICAN WATER INC	REPAIR CLAMPS	854.00
MID AMERICAN WATER INC	REPAIR CLAMPS, BRASS COUPLINGS	1,531.60
MIDWEST METER INC	WATER METER SUPPLIES	682.00
PLOTE CONSTRUCTION INC	WATER MAIN REPAIR	3,252.46
VULCAN MATERIALS COMPANY	GRAVEL	439.14
DBA VULCAN CONSTRUCTION MATERIALS LLC		
VULCAN MATERIALS COMPANY	GRAVEL	439.89
DBA VULCAN CONSTRUCTION MATERIALS LLC		
Total Org: 50070220 - Water Distribution		\$38,711.80
Org: 50070230 - Water Supply		
COMMONWEALTH EDISON	ELECTRICITY	364.37
COMMONWEALTH EDISON	ELECTRICITY	412.58
COMMONWEALTH EDISON	ELECTRICITY	504.47
DYNEGY ENERGY SERVICES INC LLC	ELECTRICITY	1,433.42
DYNEGY ENERGY SERVICES INC LLC	ELECTRICITY	3,314.68
DYNEGY ENERGY SERVICES INC LLC	ELECTRICITY	4,273.41
DYNEGY ENERGY SERVICES INC LLC	ELECTRICITY	6,270.83
HD SUPPLY INC	LAB SUPPLIES	480.87
DBA USA BLUE BOOK		
HD SUPPLY INC	LAB SUPPLIES	563.07
DBA USA BLUE BOOK		
MCMaster-CARR SUPPLY CO	VALVE REPAIR KITS	838.21
METIRI ANALYTICAL GROUP INC	WATER SAMPLE TESTING	1,314.00
Total Org: 50070230 - Water Supply		\$19,769.91
Org: 50085000 - Water Capital Projects		
ARCADIS US INC	WATER DISTRIBUTION ANALYSIS	2,224.82
ARCADIS US INC	WATER DISTRIBUTION ANALYSIS	9,900.00
CLARK DIETZ INC	ENGINEERING SERVICES-VARIABLE FREQUENCY DRIVES	306.25
R W DUNTEMAN COMPANY	2025 R,S,W REHAB PROGRAM	109,233.84
Total Org: 50085000 - Water Capital Projects		\$121,664.91
Total Fund: 500 - Water Fund		\$242,842.55
Fund: 510 - Sanitary Sewer Fund		
Org: 51070420 - Sanitary Sewer Maintenance		
DYNEGY ENERGY SERVICES INC LLC	ELECTRICITY	214.81
DYNEGY ENERGY SERVICES INC LLC	ELECTRICITY	288.50
DYNEGY ENERGY SERVICES INC LLC	ELECTRICITY	379.89
DYNEGY ENERGY SERVICES INC LLC	ELECTRICITY	516.68
DYNEGY ENERGY SERVICES INC LLC	ELECTRICITY	563.42
DYNEGY ENERGY SERVICES INC LLC	ELECTRICITY	822.95
ENVIRONMENTAL PRODUCTS & ACCESSORIES	CONNECTORS, SOCKET, CLAMP	551.90
ENVIRONMENTAL PRODUCTS & ACCESSORIES	JETTER HOSE	849.58
IDEX HOLDINGS INC	CAMERA SYSTEM	10,513.72
DBA ENVIROSIGHT LLC		

Vendor Name	Description	Amount
SAUBER MFG CO	TOOLBOX #5	735.00
Total Org: 51070420 - Sanitary Sewer Maintenance		\$15,436.45
Org: 51085000 - SanitarySewer Capital Projects		
MCCANN INDUSTRIES INC	HYDROSTATIC ROLLER	10,657.97
RJN GROUP INC	BASIN 3 & 4 DISCHARGE IMPROVEMENTS	2,978.70
Total Org: 51085000 - SanitarySewer Capital Projects		\$13,636.67
Total Fund: 510 - Sanitary Sewer Fund		\$29,073.12
Fund: 515 - Storm Sewer Fund		
Org: 515 - Storm Sewer Fund		
R W DUNTEMAN COMPANY	2025 R,S,W REHAB PROGRAM RETAINAGE	2,353.35
R W DUNTEMAN COMPANY	2025 R,S,W REHAB PROGRAM RETAINAGE	2,362.85
R W DUNTEMAN COMPANY	2025 R,S,W REHAB PROGRAM RETAINAGE	2,868.30
Total Org: 515 - Storm Sewer Fund		\$7,584.50
Org: 51570440 - Storm Sewer Maintenance		
ENVIRONMENTAL PRODUCTS & ACCESSORIES	CONNECTORS, SOCKET, CLAMP	551.89
ENVIRONMENTAL PRODUCTS & ACCESSORIES	JETTER HOSE	849.57
IDEX HOLDINGS INC	CAMERA SYSTEM	10,513.71
DBA ENVIROSIGHT LLC		
SAUBER MFG CO	TOOLBOX #5	735.00
Total Org: 51570440 - Storm Sewer Maintenance		\$12,650.17
Org: 51585000 - Storm Sewer Capital Projects		
ENGINEERING RESOURCE ASSOCIATES INC	GLENDALE AVENUE FLOOD IMPROVEMENT PROJECT- DECEMBER	8,561.06
ENGINEERING RESOURCE ASSOCIATES INC	GLENDALE AVENUE FLOOD IMPROVEMENT PROJECT- NOVEMBER	2,121.00
MCCANN INDUSTRIES INC	HYDROSTATIC ROLLER	10,657.98
R W DUNTEMAN COMPANY	2025 R,S,W REHAB PROGRAM	1,213.50
Total Org: 51585000 - Storm Sewer Capital Projects		\$22,553.54
Total Fund: 515 - Storm Sewer Fund		\$42,788.21
Fund: 520 - Parking Fund		
Org: 52030000 - Commuter Parking		
FOX TOWN PLUMBING INC	PLUMBING REPAIRS-COLLEGE AVE TS	139.00
THE TIDY QUEENS	MONTHLY JANITORIAL SERVICE-JANUARY	1,847.62
Total Org: 52030000 - Commuter Parking		\$1,986.62
Org: 52040000 - Downtown Parking		
DYNEGY ENERGY SERVICES INC LLC	ELECTRICITY	1,839.01
MID-AMERICAN ELEVATOR COMPANY INC	ELEVATOR MAINTENANCE	460.80
MID-AMERICAN ELEVATOR COMPANY INC	ELEVATOR MAINTENANCE	540.75
THE TIDY QUEENS	MONTHLY JANITORIAL SERVICE-JANUARY	2,472.95
Total Org: 52040000 - Downtown Parking		\$5,313.51

Vendor Name	Description	Amount
Total Fund: 520 - Parking Fund		\$7,300.13
Fund: 600 - Fleet Services Fund		
Org: 60070647 - Fleet Services Expense		
AL WARREN OIL CO INC	DIESEL FUEL	2,169.90
AL WARREN OIL CO INC	DIESEL FUEL	3,054.15
AL WARREN OIL CO INC	DIESEL FUEL	3,632.98
AL WARREN OIL CO INC	GASOLINE	3,023.22
AL WARREN OIL CO INC	GASOLINE	3,434.99
AL WARREN OIL CO INC	GASOLINE	3,484.81
AL WARREN OIL CO INC	OIL	2,080.86
ALTORFER INDUSTRIES INC	ELEMENTS, FILTERS, SEAT BELT, THERMOSTAT #168	550.61
BUMPER TO BUMPER WHEATON	CIRCULATION HEATER	124.74
BUMPER TO BUMPER WHEATON	FILTER, PLUG RETURNED	-39.48
BUMPER TO BUMPER WHEATON	FILTERS	17.86
BUMPER TO BUMPER WHEATON	FILTERS	24.35
BUMPER TO BUMPER WHEATON	FILTERS	346.06
BUMPER TO BUMPER WHEATON	FILTERS	381.65
BUMPER TO BUMPER WHEATON	FILTERS, FENDER	218.54
BUMPER TO BUMPER WHEATON	SPOTLIGHT #86	359.49
CHICAGO PARTS & SOUND LLC	BATTERIES	526.32
CHICAGO PARTS & SOUND LLC	BATTERIES	1,220.62
CHICAGO PARTS & SOUND LLC	BATTERY	220.56
CHICAGO PARTS & SOUND LLC	CORE CREDITS	-102.00
CHICAGO PARTS & SOUND LLC	EVAPORATOR CORE RETURNED	-61.30
CINTAS CORP	TOWELS	23.40
CINTAS CORP	UNIFORM SERVICE	71.75
CINTAS CORP	UNIFORM SERVICE	103.24
CINTAS CORP	UNIFORM SERVICE	134.73
CLARK DIETZ INC	ENGINEERING SERVICES-FUEL ISLAND RENOVATION	1,053.85
CROWNE INDUSTRIES INC	FUEL ISLAND RENOVATION	356,472.00
FAUST INC	EQUIPMENT INSTALLATION #363	4,945.00
DBA ABC AUTOMOTIVE ELECTRONICS FAUST INC	EQUIPMENT REMOVAL #363	855.00
DBA ABC AUTOMOTIVE ELECTRONICS GENSERVE LLC	THERMOSTAT KIT #14	52.00
GRAY MANUFACTURING CO INC	LATCH	105.31
HAGGERTY FORD	BRACKET	101.40
HAGGERTY FORD	BRAKE LINING, HUB ASSEMBLY, HARDWARE #944	622.03
HAGGERTY FORD	HEATER HOSE CLAMP #83	34.10
HAGGERTY FORD	LAMP #97	139.45
HAGGERTY FORD	MOTOR ASSEMBLY #83	54.76
HAGGERTY FORD	RADIATOR, EVAPORATOR CORE #83	303.27
HAGGERTY FORD	V-BELT, PULLEY ASSEMBLY, TENSIONER #355	191.95
HAGGERTY FORD	VISOR ASSEMBLY RETURNED	-143.00
HAGGERTY FORD	VISOR ASSEMBLY, HARDWARE	143.00
HAGGERTY FORD	WIRE ASSEMBLY #361	94.75
HAGGERTY FORD	WIRE ASSEMBLY #361	345.95

Vendor Name	Description	Amount
HENDERSON PRODUCTS INC	FLOW SENSOR	188.10
HENDERSON PRODUCTS INC	FLOW SENSORS	357.28
INTERSTATE POWER SYSTEMS INC	WATER PUMP REPLACEMENT #15	1,993.41
JERRY HAGGERTY CHEVROLET	RESERVOIR CAP #364	7.21
JERRY HAGGERTY CHEVROLET	SURGE TANK #364	35.27
JX ENTERPRISES INC	ALTERNATOR #31	207.99
JX ENTERPRISES INC	EGR COOLER, TUBES, GASKETS, VALVES, CLAMP #96	2,459.20
JX ENTERPRISES INC	EXHAUST TUBE #96	152.72
JX ENTERPRISES INC	HOSE, TUBES #96	157.62
JX ENTERPRISES INC	SENSOR TUBE, WASHERS	117.38
JX ENTERPRISES INC	TUBE #96	184.11
JX ENTERPRISES INC	WIPER ARM, BLADE #51	186.83
LAWSON PRODUCTS INC	CLAMPS	22.10
MACQUEEN EQUIPMENT LLC	BALL JOINTS #923	4,459.91
DBA MACQUEEN EMERGENCY GROUP		
MACQUEEN EQUIPMENT LLC	DRAIN #930	493.17
DBA MACQUEEN EMERGENCY GROUP		
MACQUEEN EQUIPMENT LLC	SPEED SENSOR #923	145.70
DBA MACQUEEN EMERGENCY GROUP		
MCMMASTER-CARR SUPPLY CO	GROMMETS	27.38
MCMMASTER-CARR SUPPLY CO	WIRE CABLE #361	234.85
NAPA AUTO & TRUCK PARTS	BATTERY, FITTINGS, COUPLERS #51	79.17
NAPA AUTO & TRUCK PARTS	BRAKE ADJUSTER #930	152.25
NAPA AUTO & TRUCK PARTS	DRILL BITS	14.70
NAPA AUTO & TRUCK PARTS	HYDRAULIC FLUID	61.62
NAPA AUTO & TRUCK PARTS	RELAY #361	36.48
NAPA AUTO & TRUCK PARTS	WIPER BLADES, ADHESIVE	17.98
NAPA AUTO & TRUCK PARTS	WIPER BLADES, ADHESIVE	28.98
NAPA AUTO & TRUCK PARTS	WIPER BLADES, HOSE FITTINGS	110.84
NORTHERN SAFETY CO INC	PAINT MARKERS	23.52
NORTHERN SAFETY CO INC	SAFETY GLASSES	39.44
PATSON INC	SEAL #49	175.13
DBA TRANSCHICAGO TRUCK GROUP		
POMP'S TIRE SERVICE INC	TIRE MOUNTING	894.82
REGIONAL TRUCK EQUIPMENT COMPANY INC	RAM ASSEMBLY #10	396.10
RIVER FRONT CHRYSLER JEEP DODGE	GENERATOR ENGINE, TENSIONER BELT #338	753.70
RUSH TRUCK CENTERS OF ILLINOIS INC	BRAKE SHOE LININGS RETURNED	-223.44
RUSH TRUCK CENTERS OF ILLINOIS INC	CONNECTOR	76.90
RUSH TRUCK CENTERS OF ILLINOIS INC	EXHAUST TUBE #96	220.00
S & S AUTOMOTIVE LLC	SILICONE SPRAY	53.88
DBA S & S AUTOMOTIVE		
SUBURBAN ACCENTS INC	VEHICLE GRAPHICS #930	4,200.00
TENNANT SALES & SERVICE COMPANY	SHOCK ABSORBER, BEARINGS #192	193.10
TERMINAL SUPPLY INC	HOSE	155.69
TERMINAL SUPPLY INC	WIRE	392.59
USSI RENTALS INC	AERIAL INSPECTION #23	595.00
VERMEER-ILLINOIS INC	SWITCH #182	31.66
VERMEER-ILLINOIS INC	SWITCH, MOUNT #182	127.97
WELDSTAR COMPANY	CYLINDER RENTAL	362.39
WHEATON CAR WASH	CAR WASHES	340.00

Vendor Name	Description	Amount
Total Org: 60070647 - Fleet Services Expense		\$411,113.57
Total Fund: 600 - Fleet Services Fund		\$411,113.57
Fund: 620 - Liability Insurance Fund		
Org: 62020010 - Liability Insurance Expense		
CCMSI-CLAIMS	GENERAL LIABILITY CLAIMS EXPENSES	25.00
CCMSI-CLAIMS	GENERAL LIABILITY CLAIMS EXPENSES	7,461.98
CCMSI-CLAIMS	WORKERS' COMP CLAIMS EXPENSES	1,956.40
CCMSI-CLAIMS	WORKERS' COMP CLAIMS EXPENSES	2,038.81
MARSH & MCLENNAN AGENCY LLC	AUTO INSURANCE PREMIUM	747.00
WESTERN SURETY COMPANY DBA CNA SURETY	NOTARY BOND RENEWAL	30.00
WESTERN SURETY COMPANY DBA CNA SURETY	NOTARY BOND RENEWAL	30.00
Total Org: 62020010 - Liability Insurance Expense		\$12,289.19
Total Fund: 620 - Liability Insurance Fund		\$12,289.19
Fund: 630 - Health Insurance Fund		
Org: 63020010 - Health Insurance Expense		
IPBC	DENTAL INSURANCE PREMIUMS-FEBRUARY	18,755.29
IPBC	HEALTH INSURANCE PREMIUMS-FEBRUARY	468,861.56
IPBC	LIFE INSURANCE PREMIUMS-FEBRUARY	1,203.05
IPBC	VISION INSURANCE PREMIUMS-FEBRUARY	1,542.18
MARY COLLEEN KLIMCZAK DBA PEACE OF MIND PROFESSIONAL ORGANIZI	WELLNESS PRESENTATION	250.00
WAGeworks INC	FLEX PLAN FEES-JANUARY	926.40
Total Org: 63020010 - Health Insurance Expense		\$491,538.48
Total Fund: 630 - Health Insurance Fund		\$491,538.48
Fund: 642 - Building Renewal Fund		
Org: 64255010 - Building Renewal Expenses		
CLARK DIETZ INC	ENGINEERING SERVICES-GENERATOR REPLACEMENT #2	4,900.00
PRIME SCAFFOLD INC	PD PEDESTRIAN CANOPY	2,465.00
Total Org: 64255010 - Building Renewal Expenses		\$7,365.00
Total Fund: 642 - Building Renewal Fund		\$7,365.00
Total Warrants		\$2,300,298.33